



SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (NORTH)

644 37 ST. SW (NORTH), CALGARY, AB



SHEET LIST		
SHEET#	SHEET NAME	ISSUED
A00	TITLE SHEET	03/19/2026
A01	NOTES & LEGENDS	03/19/2026
A02	SITE PHOTOS	03/19/2026
A03	BLOCK PLAN - EXISTING	03/19/2026
A04	BLOCK PLAN - PROPOSED	03/19/2026
A05	SITE PLAN - PROPOSED	03/19/2026
A06.N	FRONT & REAR ELEVATION	03/19/2026
A07.N	LEFT ELEVATION	03/19/2026
A08.N	RIGHT ELEVATION	03/19/2026
A09.N	BASEMENT, MAIN FLOOR PLAN	03/19/2026
A10.N.E	BASEMENT, MAIN - ELECTRICAL	03/19/2026
A11.N	SECOND, THIRD FLOOR PLAN	03/19/2026
A12.N.E	SECOND, THIRD - ELECTRICAL	03/19/2026
A13.N	ROOF PLAN	03/19/2026
A14.N	SECTION 1	03/19/2026
A15.N	SECTION 2	03/19/2026
A16.S	FRONT & REAR ELEVATION	03/19/2026
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A19.S	BASEMENT, MAIN FLOOR PLAN	03/19/2026
A20.S.E	BASEMENT, MAIN - ELECTRICAL	03/19/2026
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A22.S.E	SECOND, THIRD - ELECTRICAL	03/19/2026
A23.S	ROOF PLAN	03/19/2026
A24.S	SECTION 1	03/19/2026
A25.S	SECTION 2	03/19/2026
A26	GARAGE ELEVATIONS	03/19/2026
A27	GARAGE PLANS & SECTION	03/19/2026
A28	DETAILS 1	03/19/2026
A29	DETAILS 2	03/19/2026
A30	DETAILS 3	03/19/2026
A31	TREE PROTECTION PLAN	03/19/2026

PROJECT DATA/BYLAW REVIEW		
ITEM	DESCRIPTION	REFERENCE
LAND USE (EXISTING)	H-GO (HOUSING - GRADE ORIENTED)	
PROJECT TYPE	SINGLE DETACHED DWELLING, ACCESSORY RESIDENTIAL BUILDING	
FLOOD PROTECTION ZONE	N/A	
AVPA	N/A	
LANDFILL SETBACK	N/A	
ABANDONED WELLS	N/A	
HERITAGE STATUS	N/A	
APPLICABLE BYLAW	CITY OF CALGARY LUB1P2007	9/10/2025
PERMITTED USES	DWELLING UNIT, ACCESSORY RESIDENTIAL BUILDING	1387
AT GRADE ORIENTATION OF UNITS	ALL UNITS MUST PROVIDE INDIVIDUAL, SEPARATE, DIRECT ACCESS TO GRADE	1391(1)
	UNITS WITH AN EXTERIOR WALL FACING A STREET MUST PROVIDE AN ENTRANCE THAT IS VISIBLE FROM THE STREET AND SIDEWALKS THAT PROVIDE DIRECT EXTERIOR ACCESS TO THE UNIT	1391(2)(a)(b)
PARCEL COVERAGE	MAX 45.0%; PROVIDED: 45.0%	1392(1)(a)
BUILDING DEPTH AND SEPARATION	65% OF PARCEL DEPTH, 23.6m	1393(1)
BUILDING SETBACKS	FRONT: 3.0m	1395
	SIDES: 1.2m	1396(1)
	REAR: 1.2m (LANED PARCEL)	1397(2)
PROJECTIONS INTO SETBACK AREAS	MAX. 0.6m (EAVES) ; MAX 0.8m (WINDOW WELLS)	1398(6)
	LANDINGS NOT EXCEEDING 2.5m²	1398(7)
BUILDING HEIGHT	MAX. 12.0 m FROM GRADE	1399
LANDSCAPING REQUIREMENTS	2 UNITS OR LESS RULES OF SECTION 346.1 APPLY	1402(1.1)
PLANTING REQUIREMENTS	REQ. 2.0 TREES, PROVIDED 2.0 TREES	346.1(3)
AMENITY SPACE	EACH UNIT AND SUITE MUST HAVE AMENITY SPACE THAT IS LOCATED OUTDOORS	1405(1)
	MAY BE PROVIDED AS A COMMON OR PRIVATE SPACE, OR BOTH	1405(2)
RETAINING WALLS	LESS THAN 1.2m IN HEIGHT; MEASURED FROM LOWEST GRADE	1406(1)
	MIN. 1.0m HORIZONTAL SEPARATION BETWEEN RETAINING WALL	1406(2)
FENCES	MAX. 2.0m THAT DO NOT EXTEND BEYOND BUILDINGS	1407
DECKS AND PATIOS	HEIGHT MAX. 1.5m ABOVE GRADE	1409(1)
	PRIVACY WALL MAX. 2.0m HEIGHT	1409(2)
BALCONIES	MAX. AREA 50.0% OF THE HORIZONTAL CROSS SECTION OF THE STOREY BELOW	1410(2)
MOTOR VEHICLE PARKING STALLS	MIN. 0.5 STALLS/DWELLING OR SUITE REQ. 1 STALL PER PARCEL, PROVIDED: 2	1411
WASTE, RECYCLING AND ORGANICS	CONTAINERS MUST BE STORED IN A SCREENED LOCATION	1415
APPLICABLE BUILDING CODE	NATIONAL BUILDING CODE OF CANADA - ALBERTA ED.	2023

CONSTRUCTION NOTES				
GENERAL				
1. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL. ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION. ONCE CONSTRUCTION COMMENCES, IT IS ASSUMED THAT THE OWNER AND/OR CONTRACTOR HAVE ACCEPTED THE DRAWINGS AS TRUE, CORRECT AND COMPLETE.				
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND ANY OTHER APPLICABLE ENGINEERING DRAWINGS AND SPECIFICATIONS PROVIDED FOR THIS PROJECT.				
3. MANUFACTURER'S SPECIFICATIONS ARE TO TAKE PRECEDENCE OVER TYPICAL DETAILS SHOWN IN THESE DRAWINGS.				
4. ALL BUILDING OUTLINES, ELEVATIONS AND LEVELS ARE INDICATIVE ONLY. ALLOW FOR MINOR VARIATIONS DUE TO MARGIN OF ERROR OF THE SURVEYED INFORMATION, GROUND MOVEMENT AND ACTUAL MATERIAL SIZE. MINOR VARIATIONS ARE CONSIDERED TO BE +/- 25mm (1").				
5. CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.				
6. ALL BUILDING DIMENSIONS ARE TO FACE OF CONCRETE, STUD, OR SHEATHING.				
7. ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.				
8. ALL FRAMING TO BE S.P.F. #2 OR BETTER.				
SITE				
1. ALL DIMENSIONS ARE IN METERS, UNLESS OTHERWISE SHOWN.				
2. THIS PROPERTY DOES NOT FALL WITHIN THE FLOODWAY, FLOOD FRINGE, OR OVERLAND FLOW REGION ACCORDING TO THE www.calgary.ca FLOOD HAZARD MAP.				
AIR BARRIER SYSTEM				
1. ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT.				
2. HOUSE WRAP APPROACH (HWA).				
BASEMENT				
1. CONTRACTOR TO DETERMINE IF SOIL CONDITIONS ARE SUITABLE BEFORE START OF CONSTRUCTION.				
2. ALL FOOTINGS TO BE PLACED ON UNDISTURBED NATIVE SOIL AND BE A MIN OF 4" BELOW GRADE. STEP FOOTING AS REQUIRED.				
3. POSTS AND COLUMNS SHALL BE CENTERED ON CONCRETE PADS. SIZES TO BE DETERMINED BY STRUCTURAL ENGINEER.				
4. PROVIDE SLEEVES THROUGH CONCRETE FOR FURNACE C/A & F/A VENTS.				
ELECTRICAL				
1. ELECTRICAL LAYOUT SHOWN IS ONLY TO BE USED AS A GUIDELINE.				
2. FINAL LAYOUT TO BE CONFIRMED WITH THE CLIENT DURING THE PRE-INSTALLATION WALK-THROUGH. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN MEETS MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES.				
ELEVATION				
1. FINAL GRADES MAY ALTER EXTERIOR APPEARANCE.				
2. TOP OF DECK TO BE 3" BELOW TOP OF FLOOR UNLESS NOTED.				
EXTERIOR WINDOWS, DOORS AND SKYLIGHTS				
1.	THERMAL CHARACTERISTICS			
	MAX. U-VALUE	MIN. RSI-VALUE	MAX. U-VALUE	MIN. ENERGY RATING
	WINDOWS & DOORS	0.625	1.61	25
	SKYLIGHTS	0.370	2.75	
	VEHICLE ACCESS DOOR	1.100	0.91	
2.	FENESTRATION PERFORMANCE REQUIREMENTS			
	TERRAIN TYPE			ROUGH
	PERFORMANCE CLASS			R
	PERFORMANCE GRADE			PG 25
	MIN. POSITIVE DESIGN PRESSURE			1,200 PA
	MIN. NEGATIVE DESIGN PRESSURE			1,200 PA
	MIN. WATER PENETRATION RESISTANCE TEST PRESSURE			260 PA
	MIN. CANADIAN AIR INFILTRATION/EXFILTRATION			A2
3. GLAZING INSTALLED OVER STAIRS, RAMPS AND LANDINGS THAT IS LESS THAN 900mm (3') ABOVE THE SURFACE OF THE TREADS, RAMP OR LANDING SHALL BE PROTECTED BY GUARDS OR BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LATERAL LOADS FOR BALCONY GUARDS AS PROVIDED IN ARTICLE 4.1.5.14 OF THE NBC 2023-AE.				
4. LINTELS FOR OPENINGS UP TO 6'-0" TO BE 2-2x8 SPF #2, AND OVER 6'-0" TO BE 2-2x10 SPF #2 (UNLESS OTHERWISE NOTED).				
5. ALL WINDOW AND DOOR TOPS TO HAVE FLASHING.				
MECHANICAL				
1. HVAC				
	AC, SPLIT SYSTEM:	SEER = 14.5		
	GAS-FIRED BOILER:	AFUE ≥ 90%		
	GAS-FIRED FURNACE:	AFUE ≥ 95%		
2. HEAT RECOVERY VENTILATOR (HRV)				
	MIN. SENSIBLE HEAT RECOVERY, EFFICIENCY OF	60%		
3. SERVICE WATER & IN-FLOOR HEATING				
	ELECTRIC, STORAGE:	SL ≥ 35+(0.20V)		
	GAS-FIRED STORAGE:	UEF ≥ 0.3456-(0.00053V)		
	GAS-FIRED TANKLESS:	UEF ≥ 0.86		
ROOF				
1. TRUSS MANUFACTURER MUST VERIFY ALL ROOF SLOPES AND THE CEILING HEIGHTS/SLOPES IN EACH ROOM PRIOR TO MATERIAL ORDER.				
2. ROOF SHALL BE VENTED AS PER THE NBC 2023-AE.				
3. 24" OVERHANG c/w ROUGH FASCIA & SOFFIT UNLESS NOTED.				
4. 22"x30" SKYLIGHTS AND ROOF ACCESS HATCH TO FIT WITHIN THE 22.5" CLEARANCE BETWEEN TRUSSES.				
SECONDARY SUITES				
1. SECONDARY SUITE EXTERIOR ENTRY DOORS TO BE INSULATED HOLLOW METAL DOORS WITH A 45 MIN. FIRE RATING, AND BE PROVIDED WITH SELF-CLOSING DEVICES.				
2. DOORS LOCATED IN SMOKE SEALED WALLS TO BE MIN. 45mm THICK SOLID CORE WOOD, C/W SELF-CLOSING DEVICE, SWEEP, AND A PERIMETER SMOKE SEAL.				

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
\$	SWITCH - SINGLE
\$3	SWITCH - 3-WAY
\$4	SWITCH - 4-WAY
\$D	SWITCH - DIMMER
⓪	OUTLET - 110V
⓪	OUTLET - FLOOR MOUNTED
⓪	OUTLET - SWITCHED
WP ⓪	OUTLET - WEATHERPROOF
GFI ⓪	OUTLET - GROUND FAULT INTERRUPT
220 ⓪	OUTLET - 220V
⓪	DIRECT CONNECTION
TV	CABLE TV
V	DATA/PHONE
⓪	MOTION DETECTOR
⓪	THERMOSTAT
⓪	LIGHT - CEILING MOUNTED
⓪	LIGHT - POT
⓪	LIGHT - PULL CHAIN
⓪	LIGHT - WALL MOUNTED
—○—○—	LIGHT - TRACK
⌵	LIGHT - UNDER CABINET
—	LIGHT - WRAP AROUND
⓪	LIGHT - PANEL
SD	SMOKE DETECTOR
SD/CO	SMOKE & CO DETECTOR
⓪	EXIT LIGHT c/w BATTERY PACK
⓪	BATHROOM FAN
⓪	VACUFLOW
ELEC.	ELECTRICAL PANEL
—	ELECTRICAL WIRE

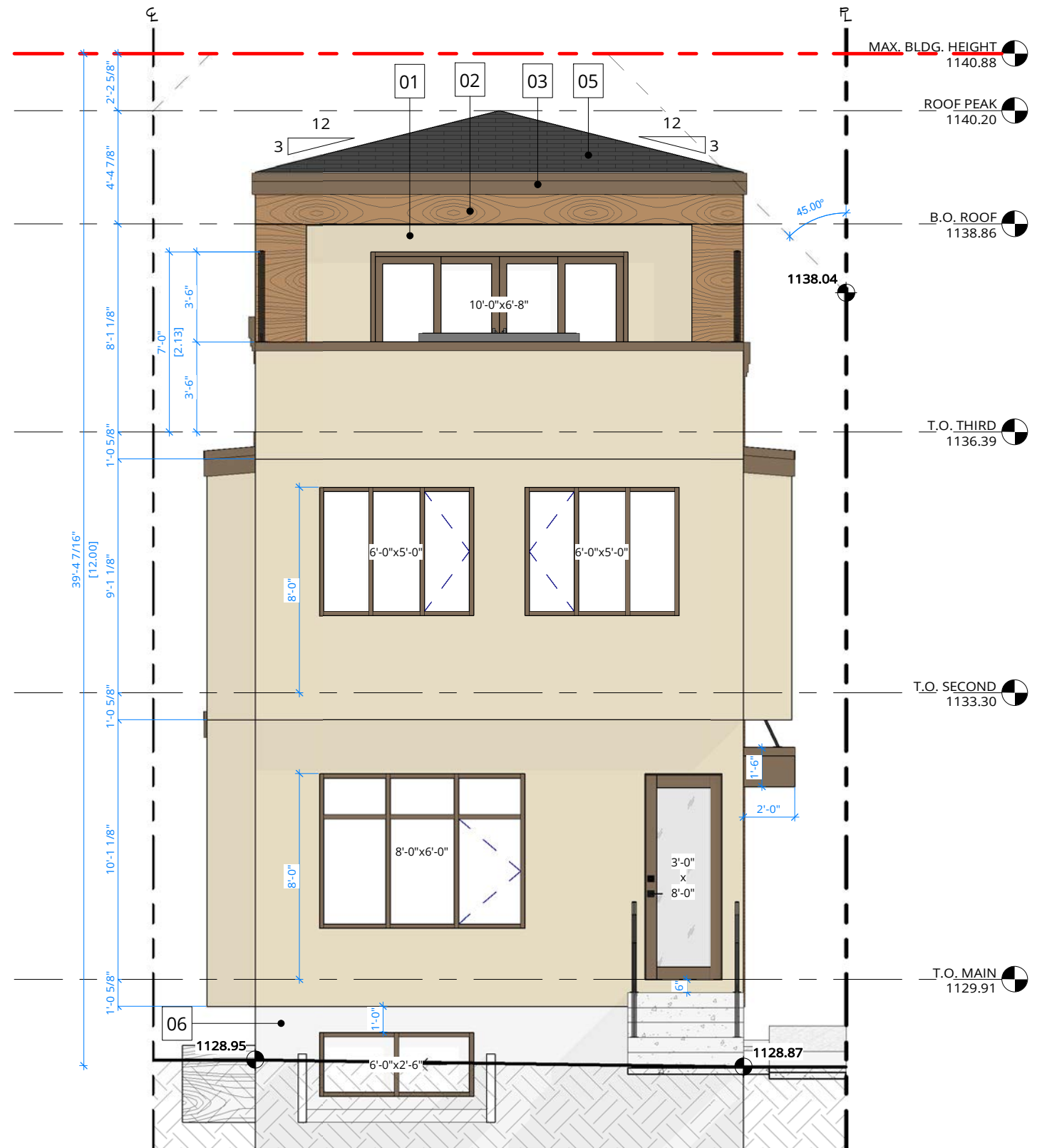
FLOOR PLAN LEGEND	
—	INTERIOR WALLS (2x4)
▨	INTERIOR PLUMBING WALLS (2x6)
▨	INTERIOR SMOKE SEPARATION WALLS (2x6)
▨	EXTERIOR FOUNDATION WALLS
▨	EXTERIOR WALLS (2x6)
▨	TALL WALLS
▨	PARTY WALLS (2-2x4)
▨	FIRE WALL (8" CONCRETE) (2-2x6)
ELEVATION LEGEND	
▨	OPERABLE WINDOW
▨	CLEAR GLASS
▨	OBSCURED GLASS
▨	PROTECTED OPENINGS (WIRED GLASS OR FIRE SHUTTERS)
MECHANICAL LEGEND	
TWH	TANKLESS WATER HEATER
FD	FLOOR DRAIN
SP	SUMP PUMP
HWT	HOT WATER TANK
⓪	RADON DEPRESSURIZATION
⓪	COMBUSTION AIR & FRESH AIR VENTS
⓪	HEAT RECOVERY VENTILATOR (HRV)
HEEL	HIGH EFFICIENCY FURNACE

SITE LEGEND	
—	SUBJECT PROPERTY
—	ADJACENT PROPERTY
—	SETBACKS
—	ROOF OVERHANG
—	WINDOW WELLS
—E—	UNDERGROUND ELECTRICAL
—OH—	OVERHEAD ELECTRICAL
—G—	GAS
—W—	WATER
—S—	SANITARY
—ST—	STORM
—X—	FENCE
—	TREE PROTECTION ZONE
—	LIMIT OF LAND DISTURBANCE
—	RETAINING WALLS
▨	EXISTING BUILDINGS
▨	DWELLING, GARAGE & M.F. PROJECTIONS
▨	COVERED PORCH & ROOF DEPTH >1.0m
▨	WOOD DECK
▨	EXISTING LANDSCAPING
▨	SOD on 130mm TOPSOIL
▨	MULCH BED
▨	CONCRETE PAD/WALK
▨	EXPOSED AGGREGATE
▨	GRAVEL
▨	BRICK WALK
▨	CONSTRUCTION MATERIAL STORAGE
▨	VISIBILITY TRIANGLE
⓪	EXISTING GEODETICS
⓪	PROPOSED GEODETICS
⓪	CONIFEROUS TREES
⓪	DECIDUOUS TREES
⓪	CONIFEROUS SHRUBS
⓪	DECIDUOUS SHRUBS
GRO	GARBAGE, RECYCLING, & ORGANICS BINS
▲	DWELLING ACCESS
▲	SECONDARY SUITE ACCESS
BOS BOC LOG	BACK OF SIDEWALK BACK OF CURB LIP OF GUTTER
TOW BOW	TOP OF WALL BOTTOM OF WALL
B, M, 2 & 3-W	BASEMENT, MAIN, SECOND & THIRD FLOOR WINDOW
B, M, 2 & 3-D	BASEMENT, MAIN, SECOND & THIRD FLOOR DOOR
FS RS SS	FRONT SETBACK REAR SETBACK SIDE SETBACK

ARC1 DESIGN BUILD		
PHONE	(403)816-6342	
EMAIL	info@arc1design.ca	
DISCLAIMER		
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1 FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"

ARC1
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EXTERIOR FINISHES		
TAG #	DESCRIPTION	
01	STUCCO, DESERT SAND	
02	TRIM, WOOD	
03	TRIM, CHESTNUT	
04	STONE, RUBBLE	
05	ASPHALT SHINGLES, DARK GREY	
06	<varies>	

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.12	03/19/2026

PROJECT NAME & ADDRESS

NAME SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (NORTH)
ADDRESS 644 37 ST. SW (NORTH) CALGARY, AB

LEGAL LOT 23; BLOCK 15; PLAN 2566GQ
USE H-GO

PRINT DATE 3/22/2026 10:05:05 AM

DRAWING

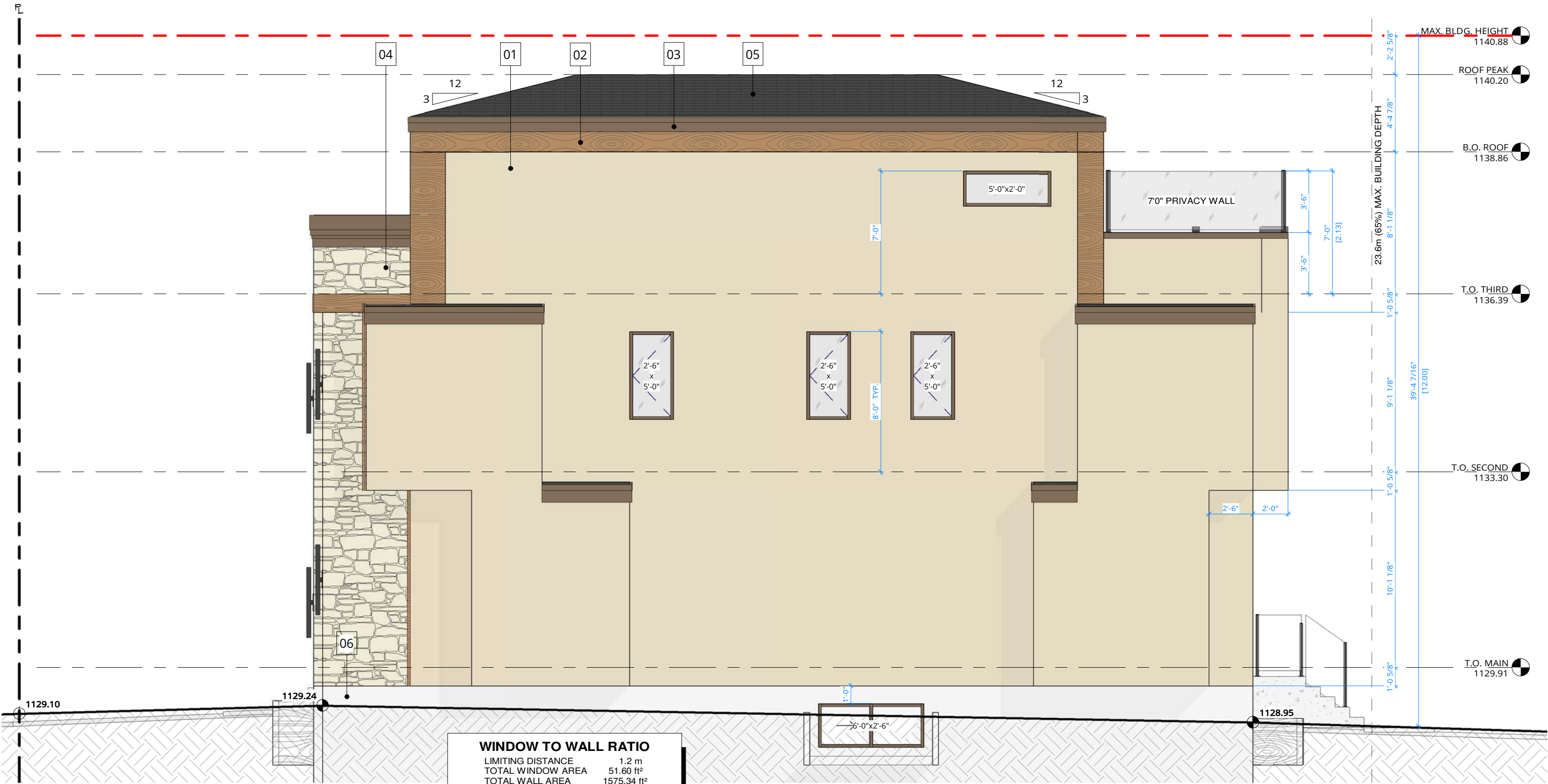
FRONT & REAR ELEVATION

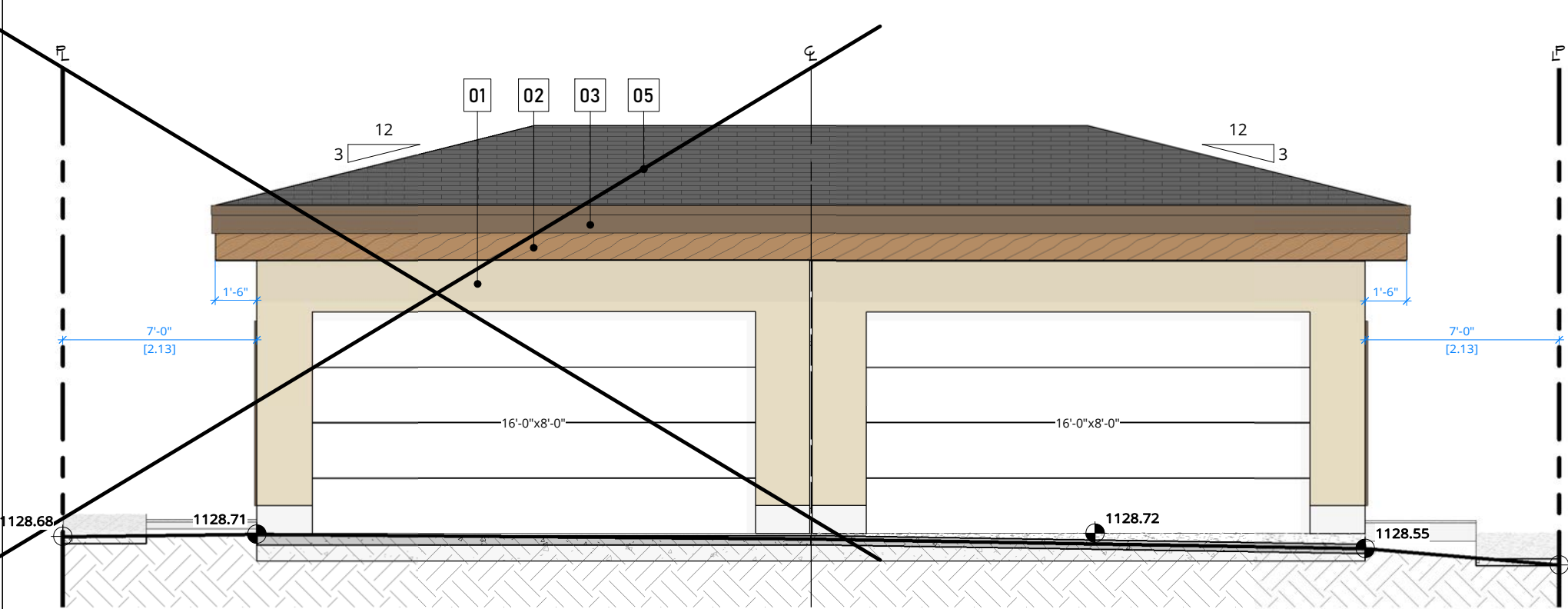
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CHECKED BY SS

SHEET

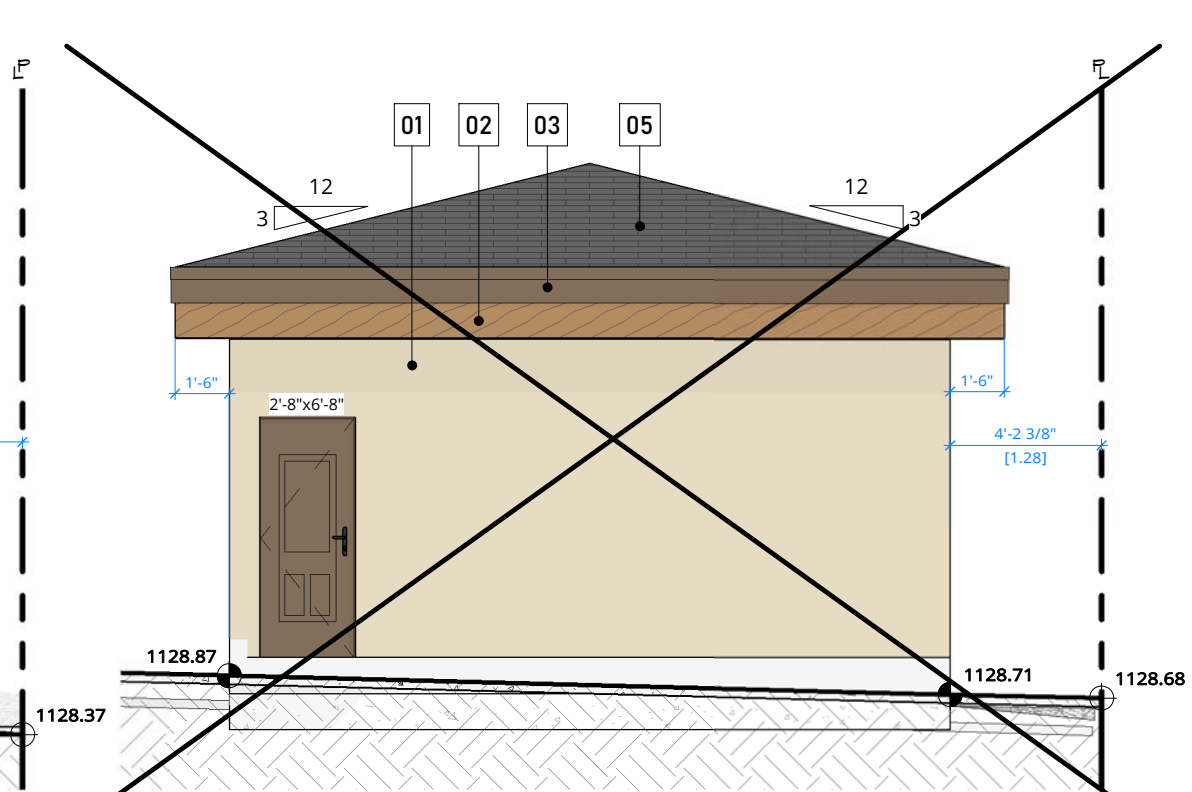
A06.N

SCALE 3/16" = 1'-0"

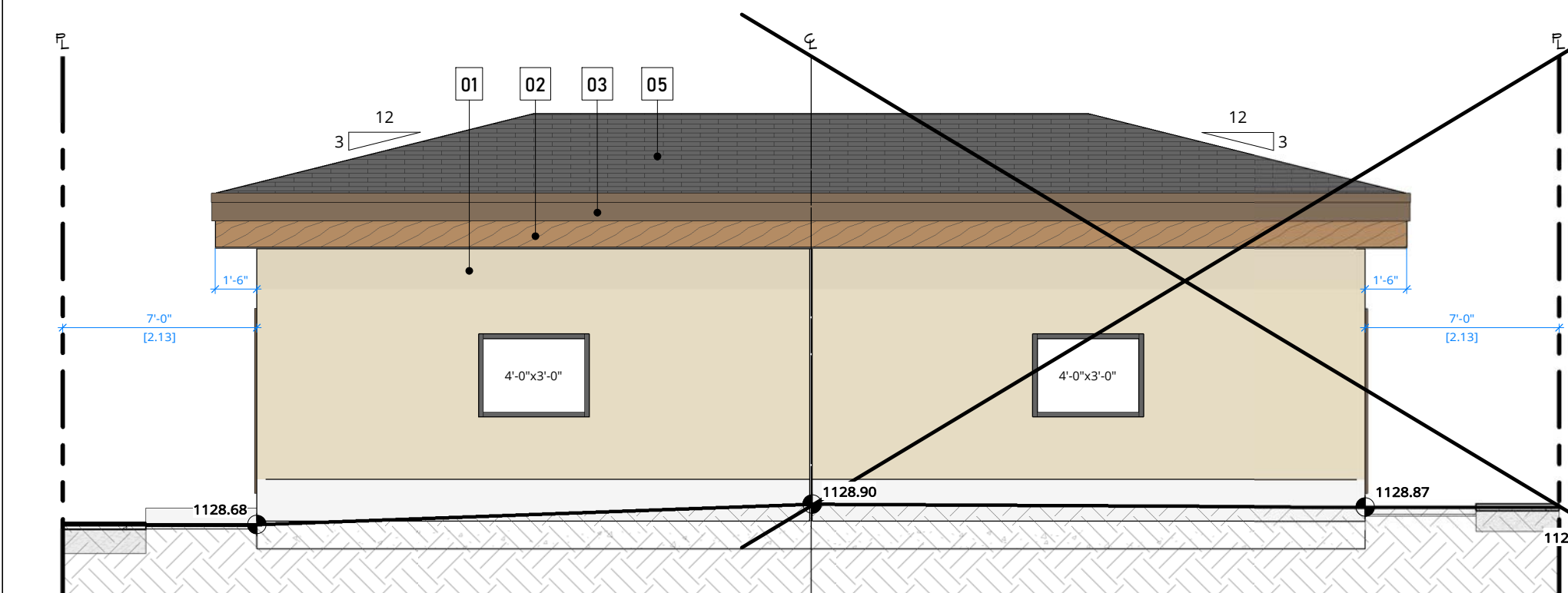




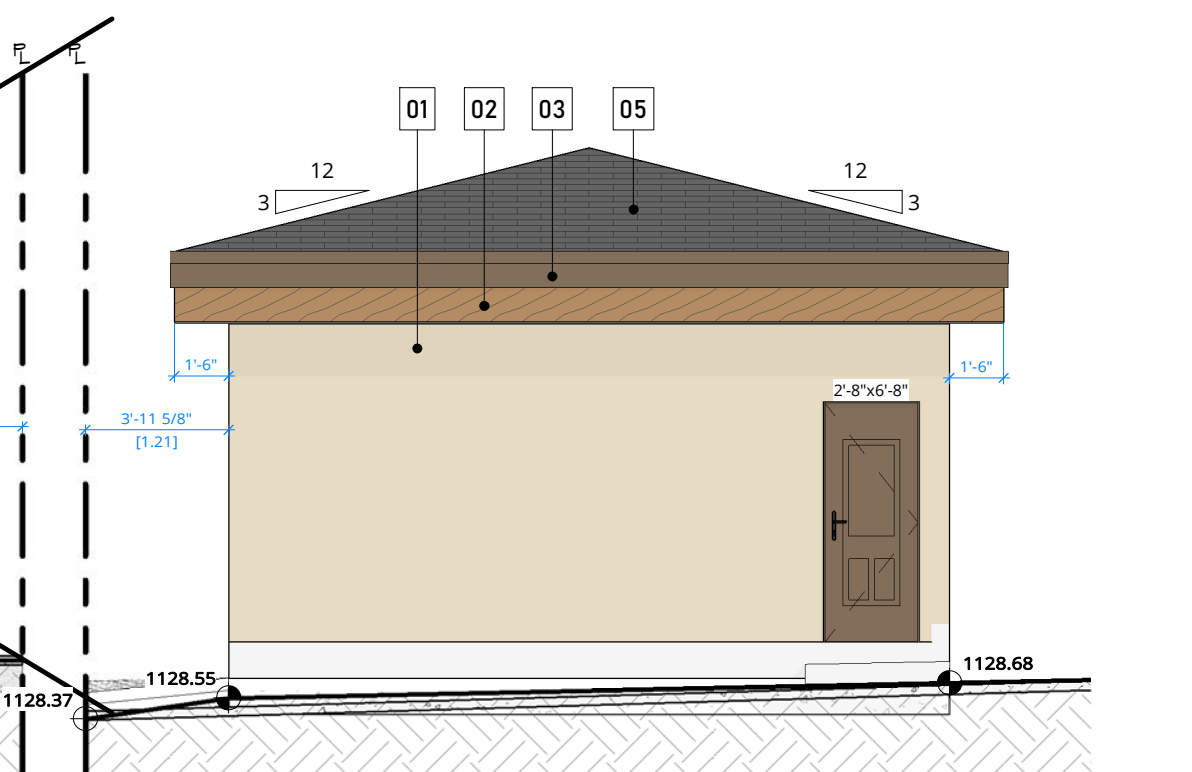
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4 GARAGE - RIGHT ELEVATION
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ARC1

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USE H-GO

PRINT DATE 3/22/2026 10:05:31 AM

DRAWING

GARAGE ELEVATIONS

DRAWN BY

VT

CHECKED BY

SS

SHEET

A26

SCALE

3/16" = 1'-0"



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	PRIVACY WALL MAX. 2.0m HEIGHT	1409(2)
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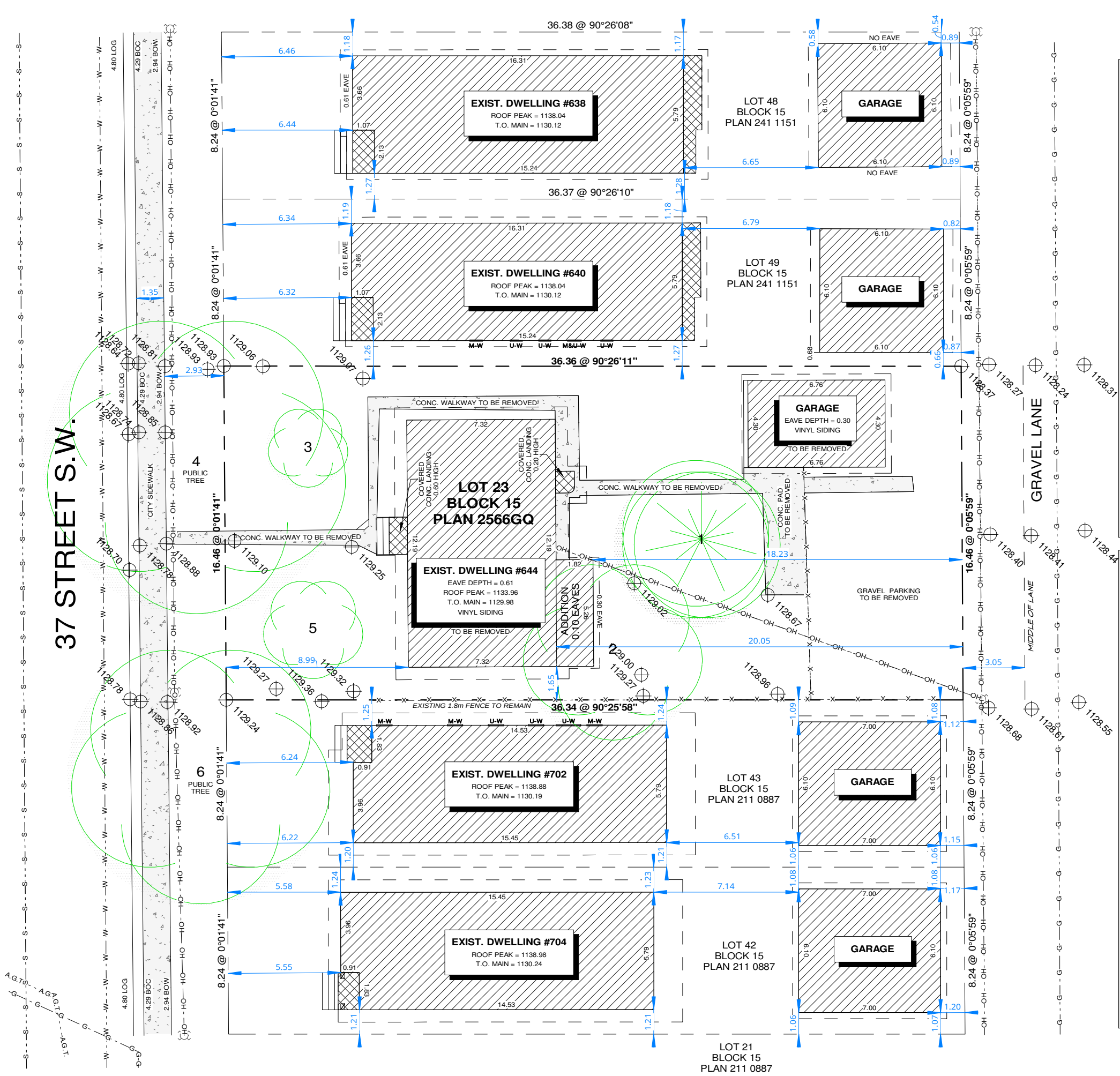
CONSTRUCTION NOTES				
GENERAL				
1. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL. ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION. ONCE CONSTRUCTION COMMENCES, IT IS ASSUMED THAT THE OWNER AND/OR CONTRACTOR HAVE ACCEPTED THE DRAWINGS AS TRUE, CORRECT AND COMPLETE.				
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND ANY OTHER APPLICABLE ENGINEERING DRAWINGS AND SPECIFICATIONS PROVIDED FOR THIS PROJECT.				
3. MANUFACTURER'S SPECIFICATIONS ARE TO TAKE PRECEDENCE OVER TYPICAL DETAILS SHOWN IN THESE DRAWINGS.				
4. ALL BUILDING OUTLINES, ELEVATIONS AND LEVELS ARE INDICATIVE ONLY. ALLOW FOR MINOR VARIATIONS DUE TO MARGIN OF ERROR OF THE SURVEYED INFORMATION, GROUND MOVEMENT AND ACTUAL MATERIAL SIZE. MINOR VARIATIONS ARE CONSIDERED TO BE +/- 25mm (1").				
5. CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.				
6. ALL BUILDING DIMENSIONS ARE TO FACE OF CONCRETE, STUD, OR SHEATHING.				
7. ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.				
8. ALL FRAMING TO BE S.P.F. #2 OR BETTER.				
SITE				
1. ALL DIMENSIONS ARE IN METERS, UNLESS OTHERWISE SHOWN.				
2. THIS PROPERTY DOES NOT FALL WITHIN THE FLOODWAY, FLOOD FRINGE, OR OVERLAND FLOW REGION ACCORDING TO THE www.calgary.ca FLOOD HAZARD MAP.				
AIR BARRIER SYSTEM				
1. ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT.				
2. HOUSE WRAP APPROACH (HWA).				
BASEMENT				
1. CONTRACTOR TO DETERMINE IF SOIL CONDITIONS ARE SUITABLE BEFORE START OF CONSTRUCTION.				
2. ALL FOOTINGS TO BE PLACED ON UNDISTURBED NATIVE SOIL AND BE A MIN OF 4" BELOW GRADE. STEP FOOTING AS REQUIRED.				
3. POSTS AND COLUMNS SHALL BE CENTERED ON CONCRETE PADS. SIZES TO BE DETERMINED BY STRUCTURAL ENGINEER.				
4. PROVIDE SLEEVES THROUGH CONCRETE FOR FURNACE C/A & F/A VENTS.				
ELECTRICAL				
1. ELECTRICAL LAYOUT SHOWN IS ONLY TO BE USED AS A GUIDELINE.				
2. FINAL LAYOUT TO BE CONFIRMED WITH THE CLIENT DURING THE PRE-INSTALLATION WALK-THROUGH. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN MEETS MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES.				
ELEVATION				
1. FINAL GRADES MAY ALTER EXTERIOR APPEARANCE.				
2. TOP OF DECK TO BE 3" BELOW TOP OF FLOOR UNLESS NOTED.				
EXTERIOR WINDOWS, DOORS AND SKYLIGHTS				
1.	THERMAL CHARACTERISTICS			
	MAX. U-VALUE	MIN. RSI-VALUE	MAX. U-VALUE	MIN. ENERGY RATING
	WINDOWS & DOORS	0.625	1.61	25
	SKYLIGHTS	0.370	2.75	
	VEHICLE ACCESS DOOR	1.100	0.91	
2.	FENESTRATION PERFORMANCE REQUIREMENTS			
	TERRAIN TYPE			ROUGH
	PERFORMANCE CLASS			R
	PERFORMANCE GRADE			PG 25
	MIN. POSITIVE DESIGN PRESSURE			1,200 PA
	MIN. NEGATIVE DESIGN PRESSURE			1,200 PA
	MIN. WATER PENETRATION RESISTANCE TEST PRESSURE			260 PA
	MIN. CANADIAN AIR INFILTRATION/EXFILTRATION			A2
3. GLAZING INSTALLED OVER STAIRS, RAMPS AND LANDINGS THAT IS LESS THAN 900mm (3') ABOVE THE SURFACE OF THE TREADS, RAMP OR LANDING SHALL BE PROTECTED BY GUARDS OR BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LATERAL LOADS FOR BALCONY GUARDS AS PROVIDED IN ARTICLE 4.1.5.14 OF THE NBC 2023-AE.				
4. LINTELS FOR OPENINGS UP TO 6'-0" TO BE 2-2x8 SPF #2, AND OVER 6'-0" TO BE 2-2x10 SPF #2 (UNLESS OTHERWISE NOTED).				
5. ALL WINDOW AND DOOR TOPS TO HAVE FLASHING.				
MECHANICAL				
1. HVAC				
	AC, SPLIT SYSTEM:	SEER = 14.5		
	GAS-FIRED BOILER:	AFUE ≥ 90%		
	GAS-FIRED FURNACE:	AFUE ≥ 95%		
2. HEAT RECOVERY VENTILATOR (HRV)				
	MIN. SENSIBLE HEAT RECOVERY, EFFICIENCY OF	60%		
3. SERVICE WATER & IN-FLOOR HEATING				
	ELECTRIC, STORAGE:	SL ≥ 35+(0.20V)		
	GAS-FIRED STORAGE:	UEF ≥ 0.3456-(0.00053V)		
	GAS-FIRED TANKLESS:	UEF ≥ 0.86		
ROOF				
1. TRUSS MANUFACTURER MUST VERIFY ALL ROOF SLOPES AND THE CEILING HEIGHTS/SLOPES IN EACH ROOM PRIOR TO MATERIAL ORDER.				
2. ROOF SHALL BE VENTED AS PER THE NBC 2023-AE.				
3. 24" OVERHANG c/w ROUGH FASCIA & SOFFIT UNLESS NOTED.				
4. 22"x30" SKYLIGHTS AND ROOF ACCESS HATCH TO FIT WITHIN THE 22.5" CLEARANCE BETWEEN TRUSSES.				
SECONDARY SUITES				
1. SECONDARY SUITE EXTERIOR ENTRY DOORS TO BE INSULATED HOLLOW METAL DOORS WITH A 45 MIN. FIRE RATING, AND BE PROVIDED WITH SELF-CLOSING DEVICES.				
2. DOORS LOCATED IN SMOKE SEALED WALLS TO BE MIN. 45mm THICK SOLID CORE WOOD, C/W SELF-CLOSING DEVICE, SWEEP, AND A PERIMETER SMOKE SEAL.				

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
\$	SWITCH - SINGLE
\$3	SWITCH - 3-WAY
\$4	SWITCH - 4-WAY
\$D	SWITCH - DIMMER
⊕	OUTLET - 110V
⊞	OUTLET - FLOOR MOUNTED
⊖	OUTLET - SWITCHED
WP	OUTLET - WEATHERPROOF
GFI	OUTLET - GROUND FAULT INTERRUPT
220	OUTLET - 220V
⊙	DIRECT CONNECTION
TV	CABLE TV
V	DATA/PHONE
M	MOTION DETECTOR
T	THERMOSTAT
⊗	LIGHT - CEILING MOUNTED
P	LIGHT - POT
⊗P	LIGHT - PULL CHAIN
⊗	LIGHT - WALL MOUNTED
—○—○—	LIGHT - TRACK
⌵	LIGHT - UNDER CABINET
⌒	LIGHT - WRAP AROUND
□	LIGHT - PANEL
SD	SMOKE DETECTOR
SD/CO	SMOKE & CO DETECTOR
⊗	EXIT LIGHT c/w BATTERY PACK
⊖F	BATHROOM FAN
V C	VACUFLOW
ELEC.	ELECTRICAL PANEL
— — —	ELECTRICAL WIRE

FLOOR PLAN LEGEND	
	INTERIOR WALLS (2x4)
	INTERIOR PLUMBING WALLS (2x6)
	INTERIOR SMOKE SEPARATION WALLS (2x6)
	EXTERIOR FOUNDATION WALLS
	EXTERIOR WALLS (2x6)
	TALL WALLS
	PARTY WALLS (2-2x4)
	FIRE WALL (8" CONCRETE) (2-2x6)
ELEVATION LEGEND	
	OPERABLE WINDOW
	CLEAR GLASS
	OBSCURED GLASS
	PROTECTED OPENINGS (WIRED GLASS OR FIRE SHUTTERS)
MECHANICAL LEGEND	
	TANKLESS WATER HEATER
	FLOOR DRAIN
	SUMP PUMP
	HOT WATER TANK
	RADON DEPRESSURIZATION
	COMBUSTION AIR & FRESH AIR VENTS
	HEAT RECOVERY VENTILATOR (HRV)
	HIGH EFFICIENCY FURNACE

SITE LEGEND	
	SUBJECT PROPERTY
	ADJACENT PROPERTY
	SETBACKS
	ROOF OVERHANG
	WINDOW WELLS
	UNDERGROUND ELECTRICAL
	OVERHEAD ELECTRICAL
	GAS
	WATER
	SANITARY
	STORM
	FENCE
	TREE PROTECTION ZONE
	LIMIT OF LAND DISTURBANCE
	RETAINING WALLS
	EXISTING BUILDINGS
	DWELLING, GARAGE & M.F. PROJECTIONS
	COVERED PORCH & ROOF DEPTH >1.0m
	WOOD DECK
	EXISTING LANDSCAPING
	SOD on 130mm TOPSOIL
	MULCH BED
	CONCRETE PAD/WALK
	EXPOSED AGGREGATE
	GRAVEL
	BRICK WALK
	CONSTRUCTION MATERIAL STORAGE
	VISIBILITY TRIANGLE
	EXISTING GEODETICS
	PROPOSED GEODETICS
	CONIFEROUS TREES
	DECIDUOUS TREES
	CONIFEROUS SHRUBS
	DECIDUOUS SHRUBS
	GARBAGE, RECYCLING, & ORGANICS BINS
	DWELLING ACCESS
	SECONDARY SUITE ACCESS
	BACK OF SIDEWALK BACK OF CURB LIP OF GUTTER
	TOP OF WALL BOTTOM OF WALL
	BASEMENT, MAIN, SECOND & THIRD FLOOR WINDOW
	BASEMENT, MAIN, SECOND & THIRD FLOOR DOOR
	FRONT SETBACK REAR SETBACK SIDE SETBACK

ARC1 DESIGN BUILD		
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TREE SCHEDULE				
TREE	TYPE	SPECIES	DIAMETER	CANOPY
6	DECIDUOUS	AMERICAN ELM	0.70 m	13.00 m
7	DECIDUOUS	ASPEN COLUMNAR	0.60 m	10.00 m
8	DECIDUOUS	ASPEN COLUMNAR	0.60 m	10.00 m
9	DECIDUOUS	ASPEN COLUMNAR	0.60 m	10.00 m
10	DECIDUOUS	ASPEN COLUMNAR	0.60 m	10.00 m

TREE SCHEDULE				
TREE	TYPE	SPECIES	DIAMETER	CANOPY
1	CONIFEROUS	WHITE SPRUCE	0.50 m	8.00 m
2	DECIDUOUS	GREEN ASH	0.60 m	9.00 m
3	DECIDUOUS	GREEN ASH	0.16 m	4.00 m
4	DECIDUOUS	AMERICAN ELM	0.70 m	15.00 m
5	DECIDUOUS	GREEN ASH	0.30 m	5.00 m

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NO.	DESCRIPTION	DATE
1	DESIGN v1.12	03/19/2026

PROJECT NAME & ADDRESS

NAME SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (NORTH)

ADDRESS 644 37 ST. SW (NORTH) CALGARY, AB

LEGAL

LOT 23; BLOCK 15; PLAN 2566GQ

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PRINT DATE

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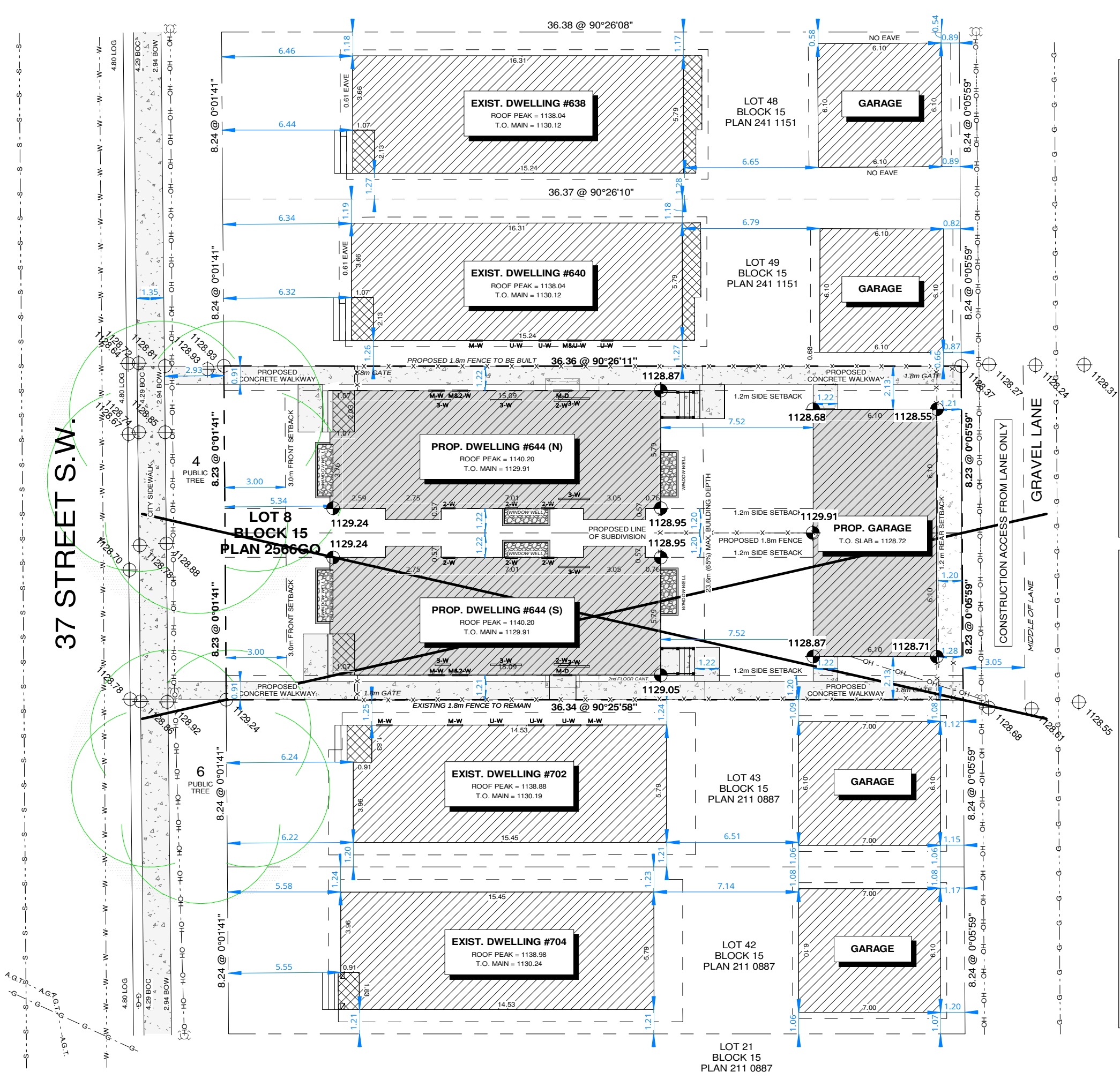
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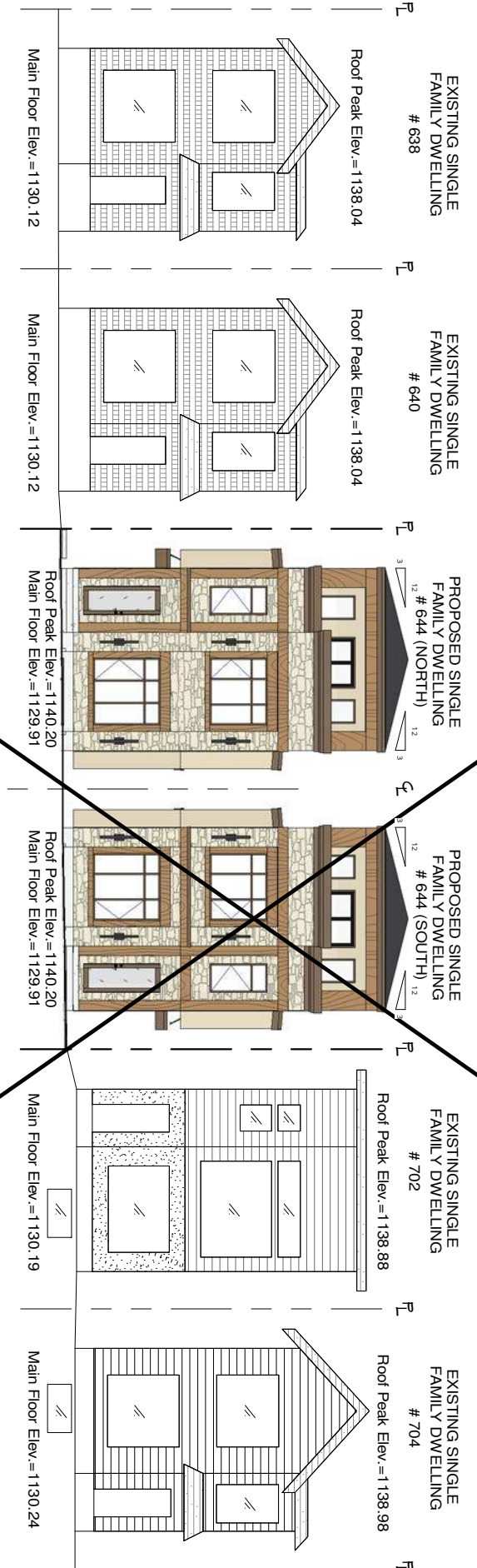
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