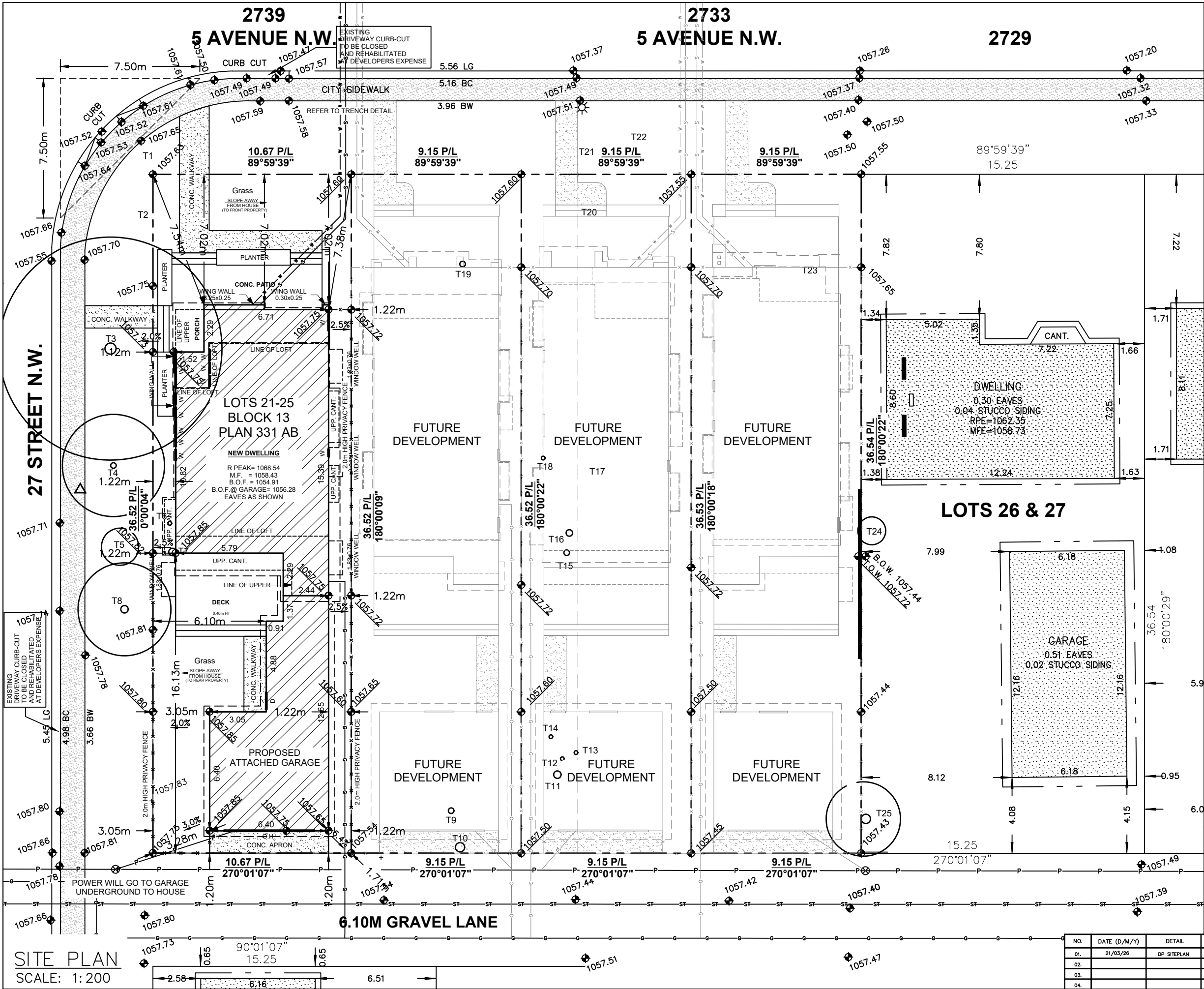




# SITE PLAN

**LEGEND**

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
AND ARE DERIVED FROM ASCMS 140368  
ASCMS 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers  
'Enc.' denotes Encroach(es)  
'BW' denotes Back of Walkway  
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete  
'Ret.' denotes Retaining  
'BC' denotes Back of Curb  
'TOW' denotes Top of Wall

**Disclaimer**  
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
Grade-Oriented Infill

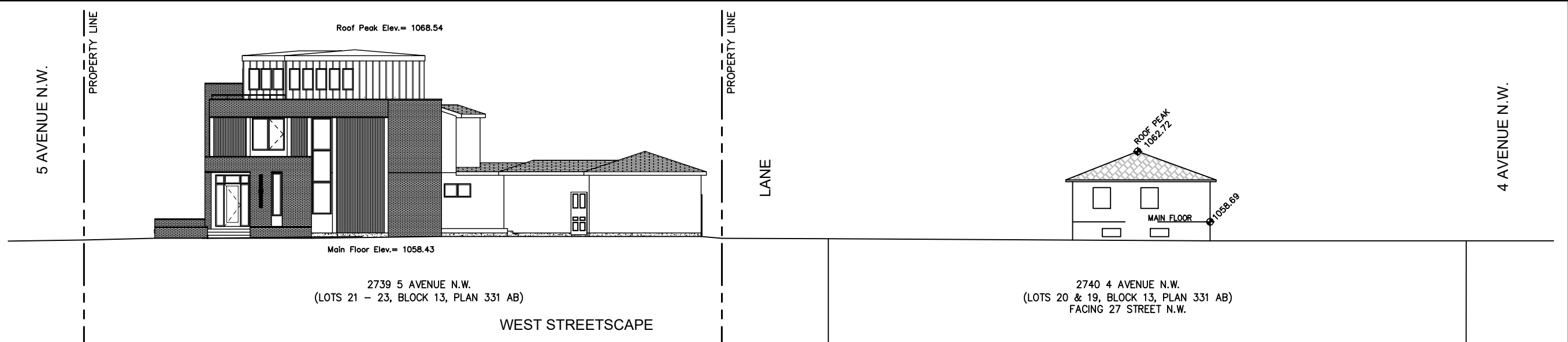
**SCALE** 1:200

**LEGAL DESCRIPTION:**  
Lots 21-25  
Block 13  
Plan 331 AB

**MUNICIPAL ADDRESS:**  
2733 & 2739 - 5th AVENUE N.W.  
Calgary, Alberta

**LOT COVERAGE DETAIL:**  
(SINGLE LOT AND HOUSE)  
LOT SIZE: 389.702 SQ M  
HOUSE+ATTACHED GARAGE: 170.616 SQ M  
COVERED PORCH: 3.484 SQ M  
CANT.: 0.000 SQ M  
WING WALL: 1.177 SQ M  
TOTAL: 175.277/389.702  
= 44.98%

| NO. | DATE (D/M/Y) | DETAIL      | BY   | PROJECT NAME AND ADDRESS:                     | PROJECT:           | SCALE:                |
|-----|--------------|-------------|------|-----------------------------------------------|--------------------|-----------------------|
| 01. | 21/03/26     | DP SITEPLAN | D.L. | 2739 & 2733 5th AVENUE NW<br>Calgary, Alberta | NEW HOME           | 1: 200                |
| 02. |              |             |      | Lots 21 to 25<br>Block 13<br>Plan 331 AB      | DATE: MAR 21, 2026 | DIVISION NUMBER: S 01 |
| 03. |              |             |      |                                               |                    |                       |
| 04. |              |             |      |                                               |                    |                       |

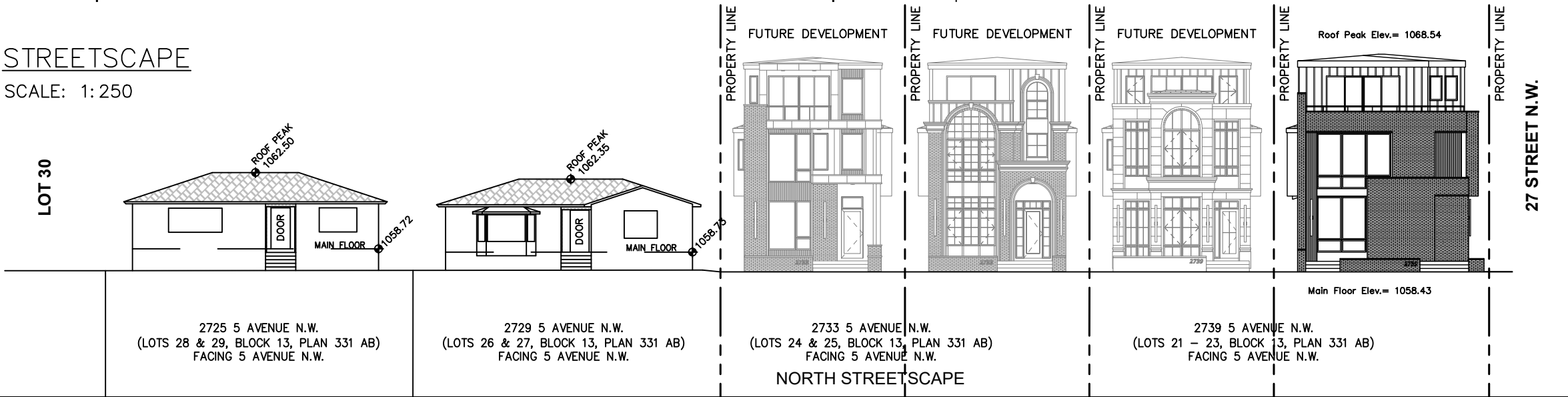


NEW HOME SQFT:

|                 | AREA          |
|-----------------|---------------|
| BASEMENT        | 1485.11 SQ FT |
| ATTACHED GARAGE | 653.00 SQ FT  |
| MAIN FLOOR      | 1183.50 SQ FT |
| UPPER FLOOR     | 1320.50 SQ FT |
| LOFT FLOOR      | 870.25 SQ FT  |
| TOTAL AREA      | 3374.25 SQ FT |

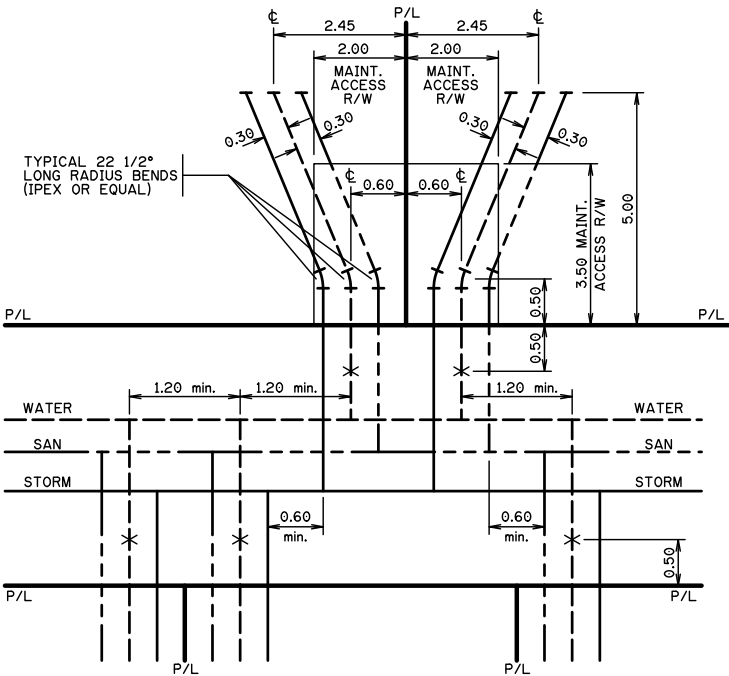
STREETSCAPE

SCALE: 1:250



NOTES:

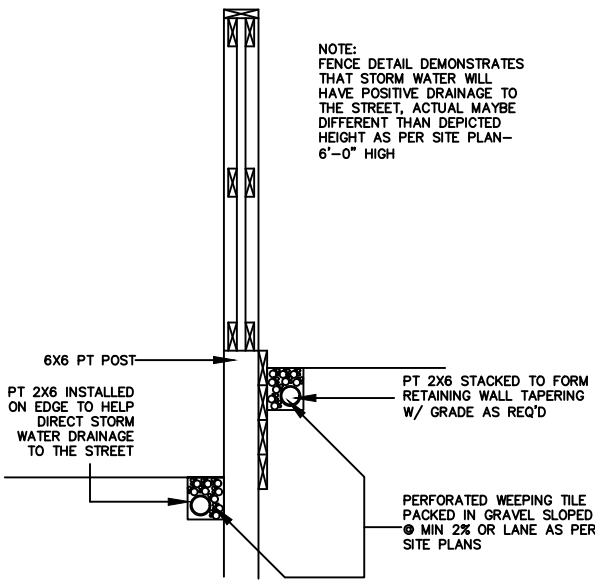
1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 15m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
  - THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
  - WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL  
SCALE: NTS

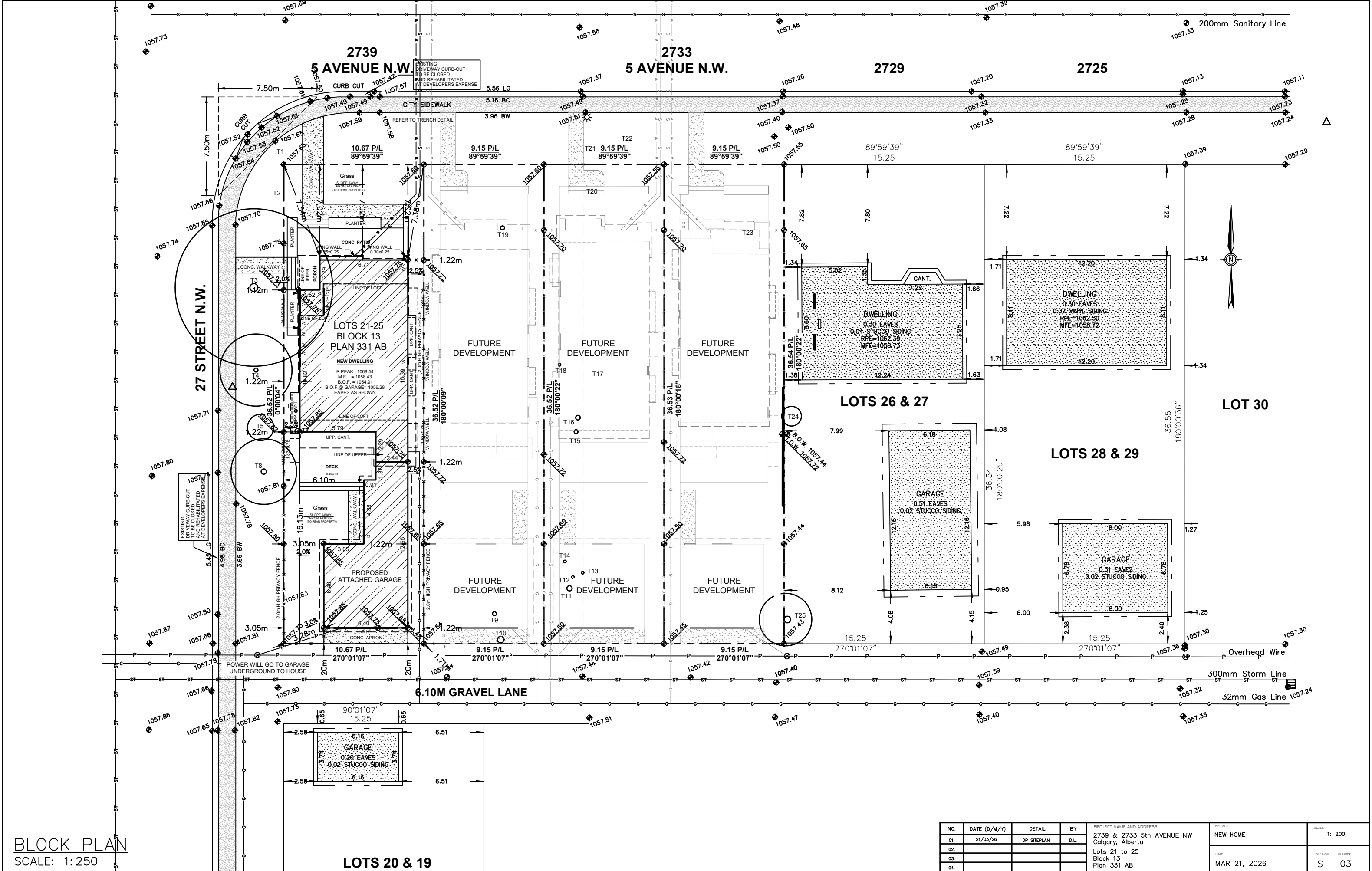
TREE SCHEDULE:

| Tree No. | Variety    | Trunk (ø±) | Canopy (ø±) | Height (±) | Location             | Disposition   |
|----------|------------|------------|-------------|------------|----------------------|---------------|
| T1       | Hedge      | —          | 0.60        | 0.60       | In City Property     | To Be Removed |
| T2       | Hedge      | —          | 0.60        | 0.60       | On Property Line     | To Be Removed |
| T3       | Deciduous  | 0.60       | 12.00       | 5.50       | In City Property     | To Stay       |
| T4       | Coniferous | 0.30       | 5.50        | 5.00       | In City Property     | To Stay       |
| T5       | Bush       | —          | 2.00        | 2.50       | In City Property     | To Stay       |
| T6       | Coniferous | 0.20       | 4.00        | 4.50       | In Subject Property  | To Be Removed |
| T7       | Coniferous | 0.40       | 5.00        | 6.50       | In Subject Property  | To Be Removed |
| T8       | Coniferous | 0.40       | 5.00        | 6.50       | In City Property     | To Stay       |
| T9       | Deciduous  | 0.30       | 6.50        | 6.50       | In Subject Property  | To Be Removed |
| T10      | Deciduous  | 0.50       | 6.50        | 6.50       | In Subject Property  | To Be Removed |
| T11      | Deciduous  | 0.40       | 3.50        | 4.00       | In Subject Property  | To Be Removed |
| T12      | Deciduous  | 0.20       | 2.00        | 4.00       | In Subject Property  | To Be Removed |
| T13      | Deciduous  | 0.20       | 2.00        | 4.00       | In Subject Property  | To Be Removed |
| T14      | Deciduous  | 0.20       | 2.00        | 4.00       | In Subject Property  | To Be Removed |
| T15      | Deciduous  | 0.30       | 5.00        | 9.00       | In Subject Property  | To Be Removed |
| T16      | Coniferous | 0.35       | 3.00        | 8.00       | In Subject Property  | To Be Removed |
| T17      | Bush       | —          | 3.00        | 2.50       | In Subject Property  | To Be Removed |
| T18      | Deciduous  | 0.20       | 5.00        | 4.00       | In Subject Property  | To Be Removed |
| T19      | Coniferous | 0.30       | 7.00        | 4.00       | In Subject Property  | To Be Removed |
| T20      | Hedge      | —          | 0.60        | 0.90       | In Subject Property  | To Be Removed |
| T21      | Hedge      | —          | 0.60        | 0.90       | In City Property     | To Be Removed |
| T22      | Bush       | —          | 3.00        | 4.00       | In City Property     | To Be Removed |
| T23      | Bush       | —          | 1.20        | 1.00       | In Subject Property  | To Be Removed |
| T24      | Bush       | —          | 1.50        | 1.00       | In Adjacent Property | To Stay       |
| T25      | Coniferous | 0.50       | 4.00        | 6.00       | In Adjacent Property | To Stay       |



FENCE SECTION DETAIL  
SCALE: NTS

| NO. | DATE (D/M/Y) | DETAIL      | BY   | PROJECT NAME AND ADDRESS:                     | PROJECT: | SCALE:   |
|-----|--------------|-------------|------|-----------------------------------------------|----------|----------|
| 01. | 21/03/26     | DP SITEPLAN | D.L. | 2739 & 2733 5th AVENUE NW<br>Calgary, Alberta | NEW HOME | AS SHOWN |
| 02. |              |             |      | Lots 21 to 25<br>Block 13                     |          |          |
| 03. |              |             |      | Plan 331 AB                                   |          |          |
| 04. |              |             |      |                                               |          |          |
|     |              |             |      | DATE:                                         | DIVISION | NUMBER   |
|     |              |             |      | MAR 21, 2026                                  | S        | 02       |



BLOCK PLAN  
SCALE: 1:250

| NO. | DATE (D/M/Y) | DETAIL      | BY   | PROJECT NAME AND ADDRESS:                     | PROJECT:     | SCALE:           |
|-----|--------------|-------------|------|-----------------------------------------------|--------------|------------------|
| 01. | 21/03/26     | DP SITEPLAN | D.L. | 2739 & 2733 5th AVENUE NW<br>Calgary, Alberta | NEW HOME     | 1: 200           |
| 02. |              |             |      | Lots 21 to 25<br>Block 13<br>Plan 331 AB      | DATE:        | DIVISION NUMBER: |
| 03. |              |             |      |                                               | MAR 21, 2026 | S 03             |
| 04. |              |             |      |                                               |              |                  |



| LIST OF DRAWINGS |                                       |
|------------------|---------------------------------------|
| A-0.0            | Cover Page                            |
| A-1.0            | Foundation Plan & Basement Floor Plan |
| A-1.1            | Main Floor Plan & Upper Floor Plan    |
| A-1.2            | Loft Floor Plan & Roof Plan           |
| A-2.0            | Front & Rear Elevation                |
| A-2.1            | Right Elevation                       |
| A-2.2            | Left Elevation                        |

FLOOR AREA

|          |                   |
|----------|-------------------|
| BASEMENT | = 1465.11 SQ. FT. |
| GARAGE   | = 653.00 SQ. FT.  |
| MAIN     | = 1183.50 SQ. FT. |
| UPPER    | = 1320.50 SQ. FT. |
| LOFT     | = 870.25 SQ. FT.  |
| TOTAL    | = 3374.25 SQ. FT. |



GENERAL NOTES:

MUNICIPAL ADDRESS:  
2739 5 Ave N.W.  
CALGARY, ALBERTA

PROJECT:  
NEW HOME

PROJECT NUMBER:  
126 - 26

STATUS:

--

LEGAL LAND DISCRIPTION:  
LOT: BLOCK: PLAN:

-- -- --

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH  
ALL OTHER APPLICABLE CONSULTANT DRAWINGS  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL  
DETAILS WITH SITE CONDITIONS AND OTHER  
CONSULTANT DRAWINGS PRIOR TO STARTING  
CONSTRUCTION.  
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REGISTERED PROFESSIONAL.

| NO. | DATE(D/M/Y) | DETAIL   | BY   |
|-----|-------------|----------|------|
| 01. | 21/03/26    | DP PLANS | D.L. |
| 02. | --          | --       | --   |
| 03. | --          | --       | --   |
| 04. | --          | --       | --   |
| 05. | --          | --       | --   |
| 06. | --          | --       | --   |

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OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND  
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY  
TRADES/CONTRACTOR AND HOME OWNER. ANY  
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER  
TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

|                    |           |
|--------------------|-----------|
| MAIN FLOOR AREA:   | -- SQ.FT. |
| UPPER FLOOR AREA:  | -- SQ.FT. |
| LOFT FLOOR AREA:   | -- SQ.FT. |
| TOTAL ABOVE GRADE: | -- SQ.FT. |
| BASEMENT AREA:     | -- SQ.FT. |
| GARAGE AREA:       | -- SQ.FT. |

DRAWING SET:

SHEET NAME:  
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-03-24 5:09:03 PM

SCALE:

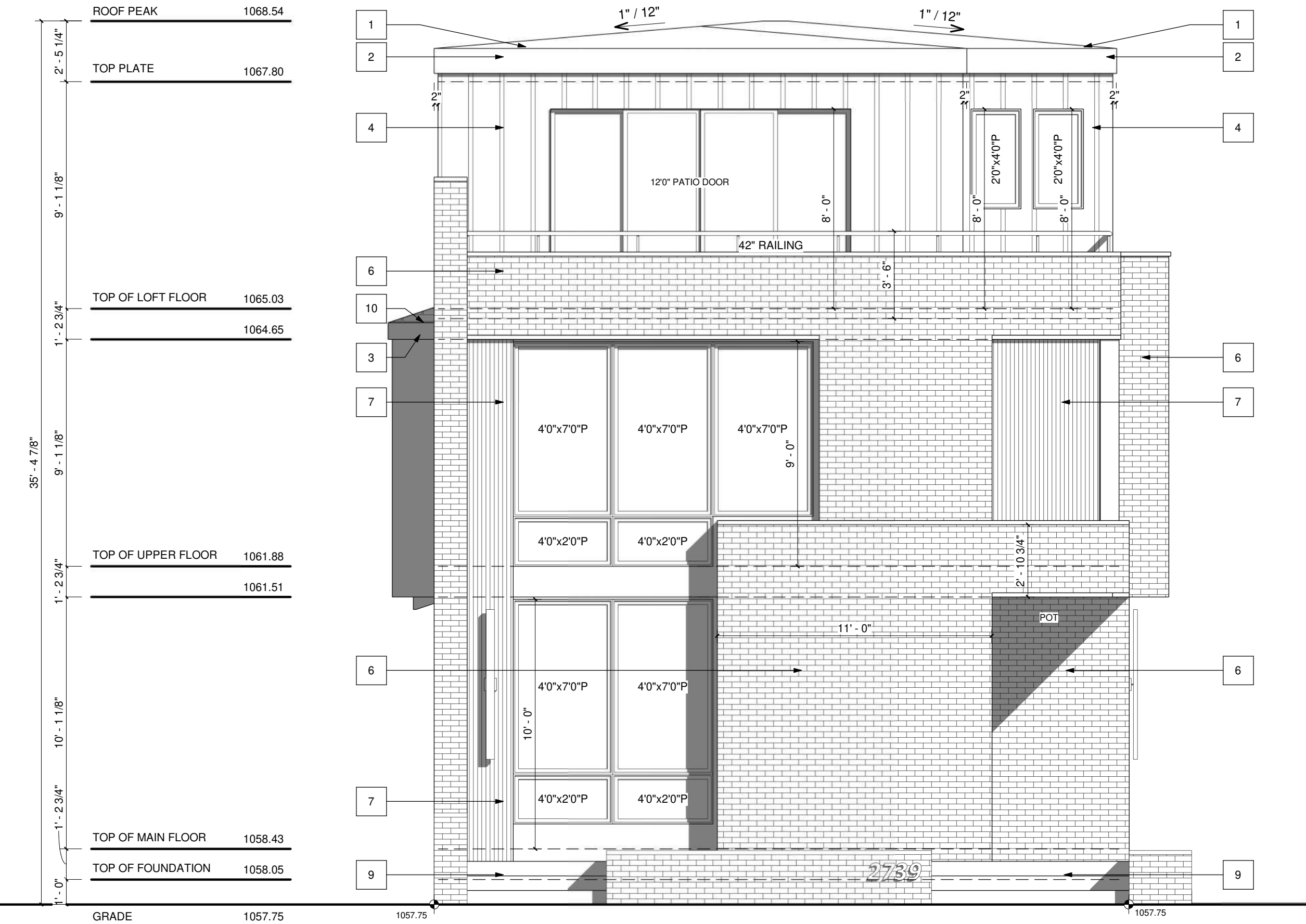
PAGE: A-0.0



EXTERIOR FINISHES:

|   |                        |    |                                 |
|---|------------------------|----|---------------------------------|
| 1 | TORCH ON ROOF          | 6  | BRICK FINISH AS SPEC'D.         |
| 2 | 12" ALUMNIMUM FASCIA   | 7  | VERTICAL SLAT - DARK GREY/BLACK |
| 3 | 8" ALUMNIMUM FASCIA    | 8  | CONCRETE PARGING                |
| 4 | VERTICAL SIDING - DARK | 9  | CAST-IN-PLACE CONCRETE          |
| 5 | SMOOTH STUCCO - DARK   | 10 | ASPHALT SHINGLES                |

VENTED SOFFIT NOTES:  
-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

|   |                        |    |                                 |
|---|------------------------|----|---------------------------------|
| 1 | TORCH ON ROOF          | 6  | BRICK FINISH AS SPEC'D.         |
| 2 | 12" ALUMNIMUM FASCIA   | 7  | VERTICAL SLAT - DARK GREY/BLACK |
| 3 | 8" ALUMNIMUM FASCIA    | 8  | CONCRETE PARGING                |
| 4 | VERTICAL SIDING - DARK | 9  | CAST-IN-PLACE CONCRETE          |
| 5 | SMOOTH STUCCO - DARK   | 10 | ASPHALT SHINGLES                |

VENTED SOFFIT NOTES:  
-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

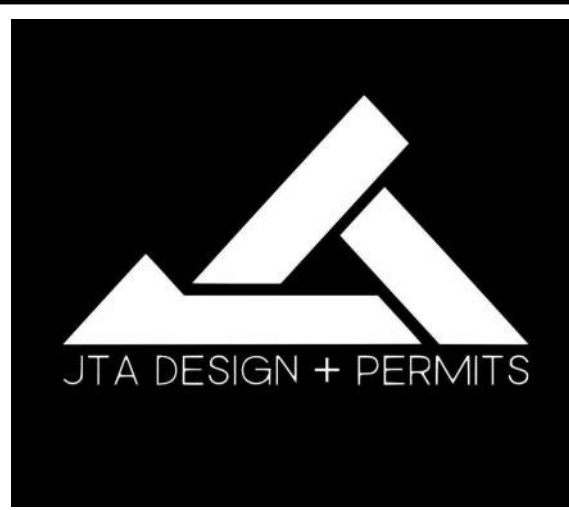
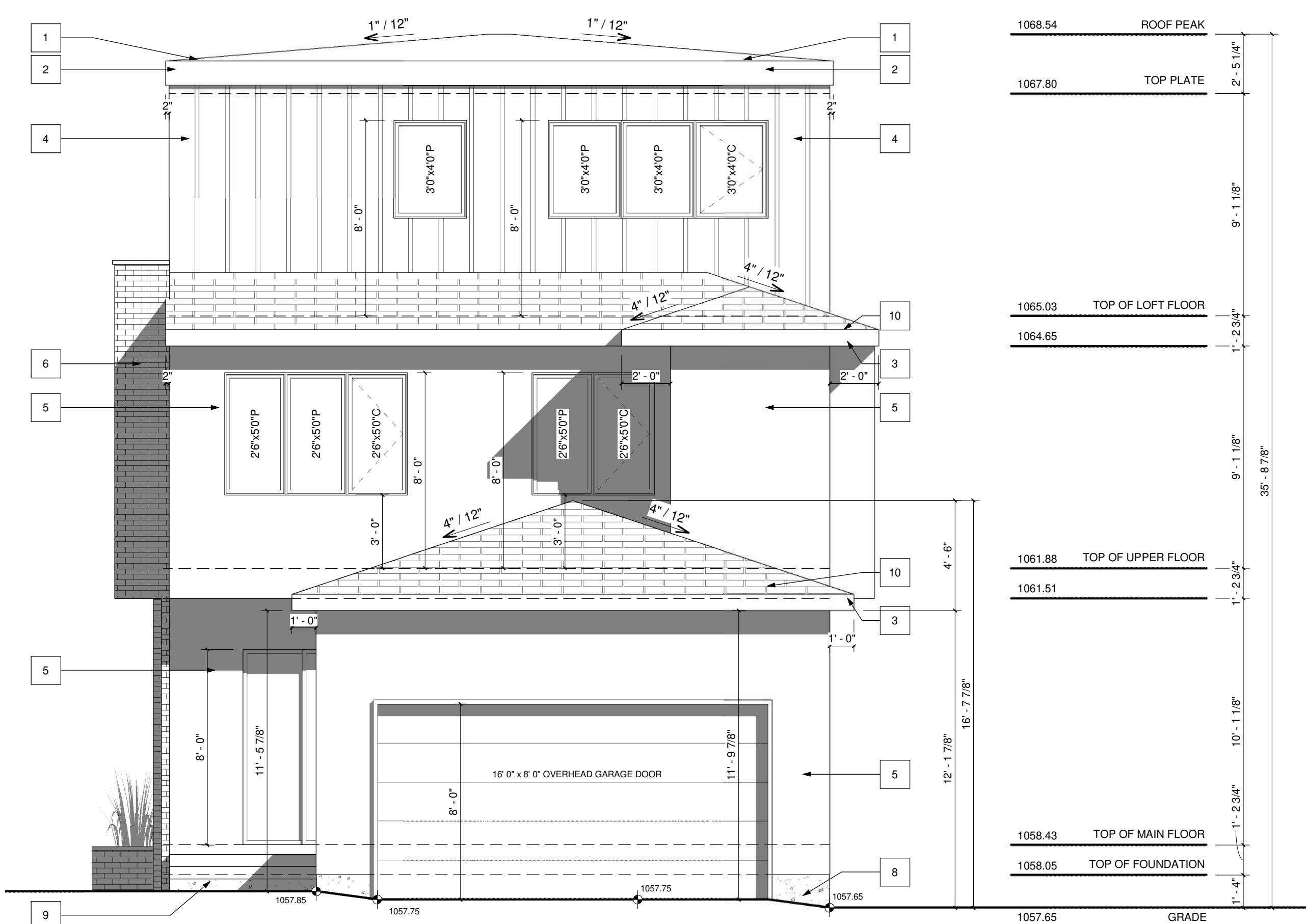
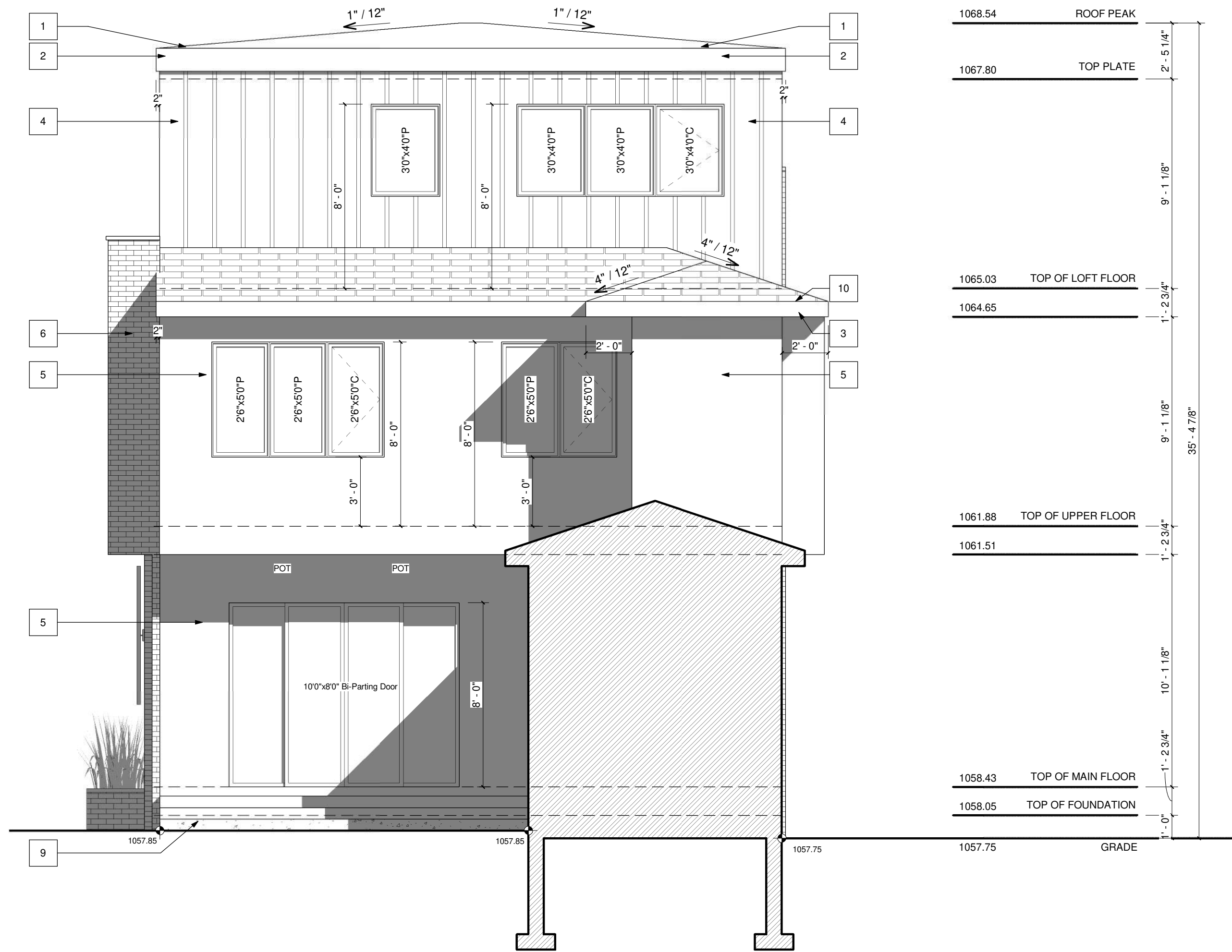
REAR ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

|   |                        |    |                                 |
|---|------------------------|----|---------------------------------|
| 1 | TORCH ON ROOF          | 6  | BRICK FINISH AS SPEC'D.         |
| 2 | 12" ALUMNIMUM FASCIA   | 7  | VERTICAL SLAT - DARK GREY/BLACK |
| 3 | 8" ALUMNIMUM FASCIA    | 8  | CONCRETE PARGING                |
| 4 | VERTICAL SIDING - DARK | 9  | CAST-IN-PLACE CONCRETE          |
| 5 | SMOOTH STUCCO - DARK   | 10 | ASPHALT SHINGLES                |

VENTED SOFFIT NOTES:  
-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

REAR ELEVATION @ GARAGE  
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:

2739 5 Ave N.W.  
CALGARY, ALBERTA

PROJECT:

NEW HOME

PROJECT NUMBER:

126 - 26

STATUS:

-

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

---

DO NOT SCALE DRAWINGS.  
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| NO. | DATE(D/M/Y) | DETAIL   | BY   |
|-----|-------------|----------|------|
| 01. | 21/03/26    | DP PLANS | D.L. |
| 02. | --          | --       | --   |
| 03. | --          | --       | --   |
| 04. | --          | --       | --   |
| 05. | --          | --       | --   |
| 06. | --          | --       | --   |

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-03-24 5:09:08 PM

SCALE: 1/4" = 1'-0"

PAGE: A-2.0

EXTERIOR FINISHES:

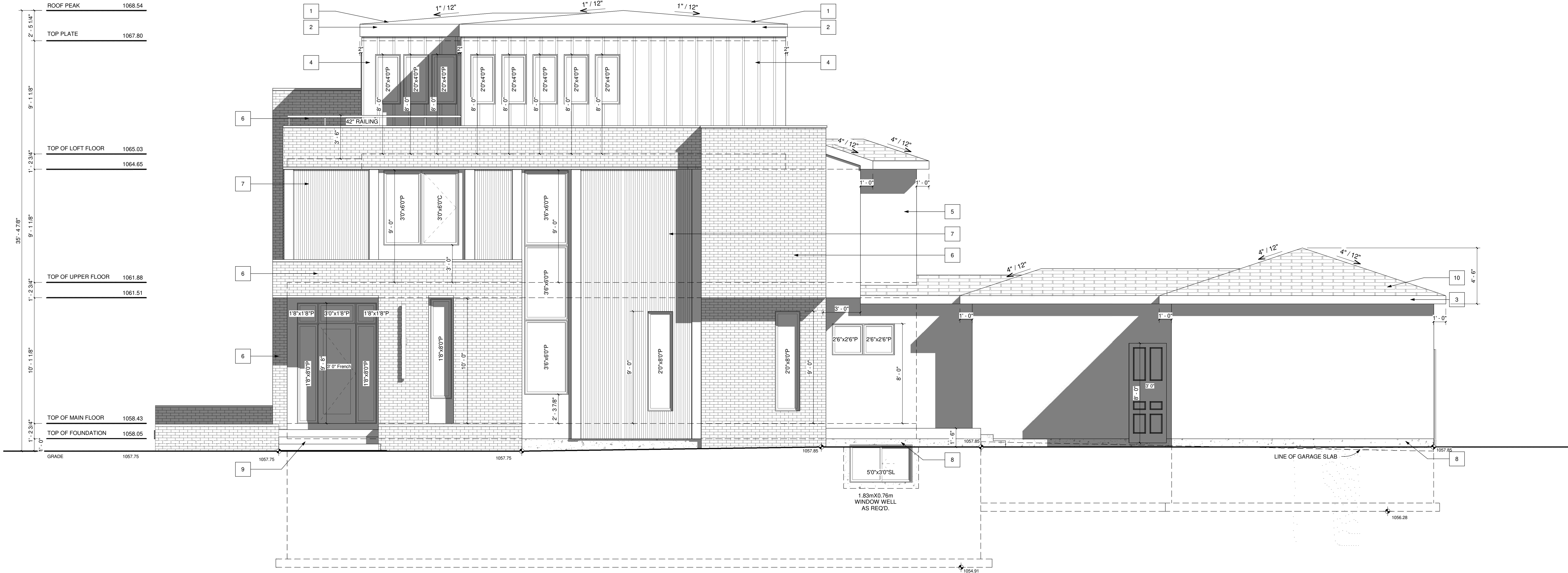
|   |                        |    |                                 |
|---|------------------------|----|---------------------------------|
| 1 | TORCH ON ROOF          | 6  | BRICK FINISH AS SPEC'D.         |
| 2 | 12" ALUMINUM FASCIA    | 7  | VERTICAL SLAT - DARK GREY/BLACK |
| 3 | 8" ALUMINUM FASCIA     | 8  | CONCRETE PAVING                 |
| 4 | VERTICAL SIDING - DARK | 9  | CAST-IN-PLACE CONCRETE          |
| 5 | SMOOTH STUCCO - DARK   | 10 | ASPHALT SHINGLES                |

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :

WALL AREA= 1326.52 SQ. FT.  
WINDOW AREA = 280.25 SQ. FT.  
TOTAL: 280.25/1326.52 = 21.13%



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:  
2739 5 Ave N.W.  
CALGARY, ALBERTA

PROJECT:  
NEW HOME

PROJECT NUMBER:  
126 - 26

STATUS:

-

LEGAL LAND DISCRIPTION:  
LOT: BLOCK: PLAN:  
-- -- --

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| NO. | DATE(D/M/Y) | DETAIL   | BY   |
|-----|-------------|----------|------|
| 01. | 21/03/26    | DP PLANS | D.L. |
| 02. | --          | --       | --   |
| 03. | --          | --       | --   |
| 04. | --          | --       | --   |
| 05. | --          | --       | --   |
| 06. | --          | --       | --   |

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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Right Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-03-24 5:09:09 PM

SCALE: 1/4" = 1'-0"

PAGE: A-2.1

EXTERIOR FINISHES:

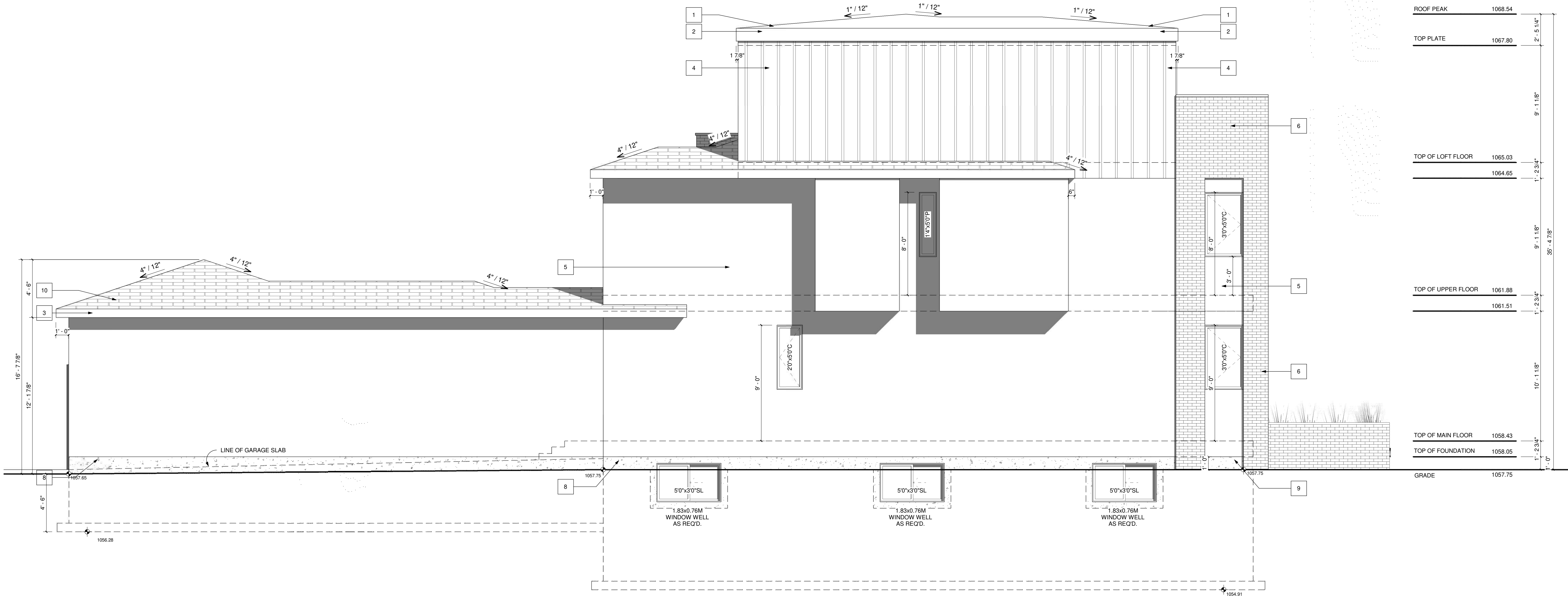
|   |                        |    |                                 |
|---|------------------------|----|---------------------------------|
| 1 | TORCH ON ROOF          | 6  | BRICK FINISH AS SPEC'D.         |
| 2 | 12" ALUMNIMUM FASCIA   | 7  | VERTICAL SLAT - DARK GREY/BLACK |
| 3 | 8" ALUMNIMUM FASCIA    | 8  | CONCRETE PARGING                |
| 4 | VERTICAL SIDING - DARK | 9  | CAST-IN-PLACE CONCRETE          |
| 5 | SMOOTH STUCCO - DARK   | 10 | ASPHALT SHINGLES                |

VENTED SOFFIT NOTES:

· VENTED SOFFIT (FRONT AND BACK)  
· VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
· NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :

WALL AREA= 1531.02 SQ. FT.  
WINDOW AREA = 58.03 SQ. FT.  
TOTAL: 58.03/1531.02 = 3.79%



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:

2739 5 Ave N.W.  
CALGARY, ALBERTA

PROJECT:

NEW HOME

PROJECT NUMBER:

126 - 26

STATUS:

-

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

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| NO. | DATE(D/M/Y) | DETAIL   | BY   |
|-----|-------------|----------|------|
| 01. | 21/03/26    | DP PLANS | D.L. |
| 02. | --          | --       | --   |
| 03. | --          | --       | --   |
| 04. | --          | --       | --   |
| 05. | --          | --       | --   |
| 06. | --          | --       | --   |

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Left Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-03-24 5:09:11 PM

SCALE: 1/4" = 1'-0"

PAGE:

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