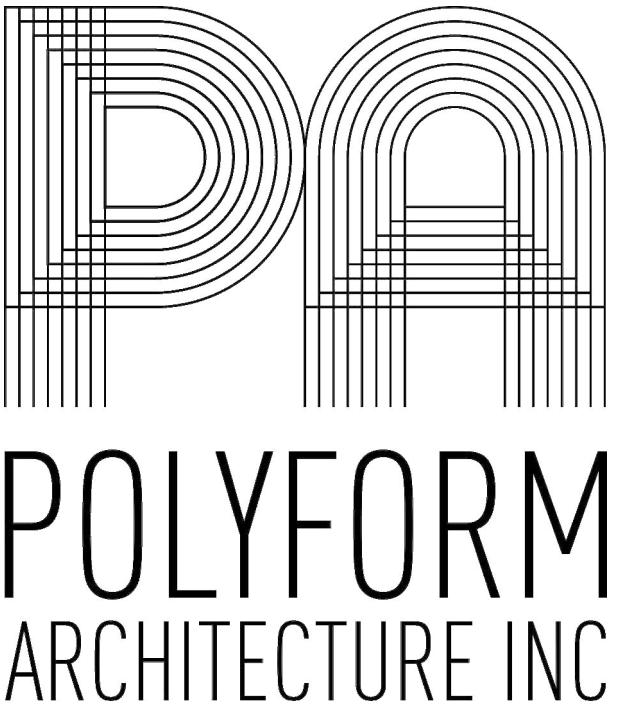


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CALGARY, AB
NICK SHERBY, PRESIDENT & CFO
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TUXEDO PARK TOWNHOMES

223 22ND AVE NE CALGARY AB T2E 1T6 CANADA

LOTS 53,54 AND E 1/2 OF LOT 55, BLOCK 4, PLAN

1367 0 W/I THE SE 1/4 SEC 27 TWP 24 RGE 1 W5M

ISSUED FOR DEVELOPMENT PERMIT PRIOR TO 2026-06-09



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DEVELOPMENT
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PLANNING ANALYSIS RATIONALE

FIVE-UNIT TOWNHOUSE + 3 SECONDARY SUITE DEVELOPMENT – 223 22 ND AVE NE, TUXEDO PARK, CALGARY

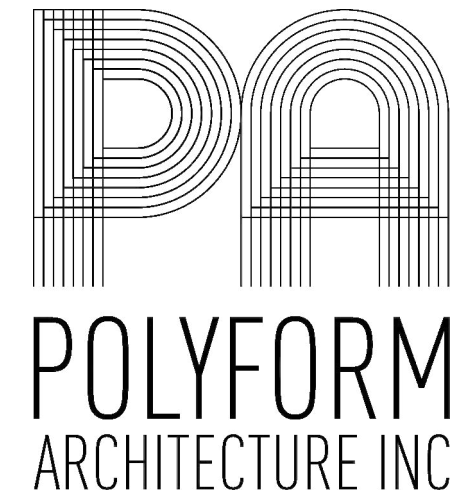


LANE VIEW SHOWING THE 20.51' (6.25m) SECOND STOREY SETBACK FOR THE REAR BUILDING FROM THE REAR (LANE) PROPERTY LINE

4. CONCLUSION

This five-unit townhouse development demonstrates how thoughtful design can balance gentle density, family-oriented housing, and neighbourhood compatibility within the RC-G Land Use District.

The requested 1.64 m rear height relaxation is limited in scope and essential to achieving high-quality, livable homes with meaningful outdoor amenity space. The design makes efficient use of the site, minimizes impacts on the public realm and neighbouring properties, and will contribute positively to the ongoing evolution of Tuxedo Park as a diverse, family-friendly inner-city community.



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PROJECT 2510

TUXEDO PARK TOWNHOMES
ADDRESS: 223 22ND AVE NE CALGARY AB T2E 1T6 CANADA
LEGAL: LOTS 53,54 AND E 12 OF 56, BLOCK 4, PLAN 1367 O WIL THE SE 1/4 SEC 27 TWP 24 RGE 1 W3M

CLIENT
SNG DEVELOPMENT
909-17 AVE SW
CALGARY
CANADA T2T 0A4



Table with 3 columns: ID, DESCRIPTION, DATE. Rows include development permit issued, development permit prior to, and development permit prior to.

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PLANNING ANALYSIS RATIONALE

A0.3

1. PROJECT OVERVIEW, LOCATION AND DESIGN INTENT

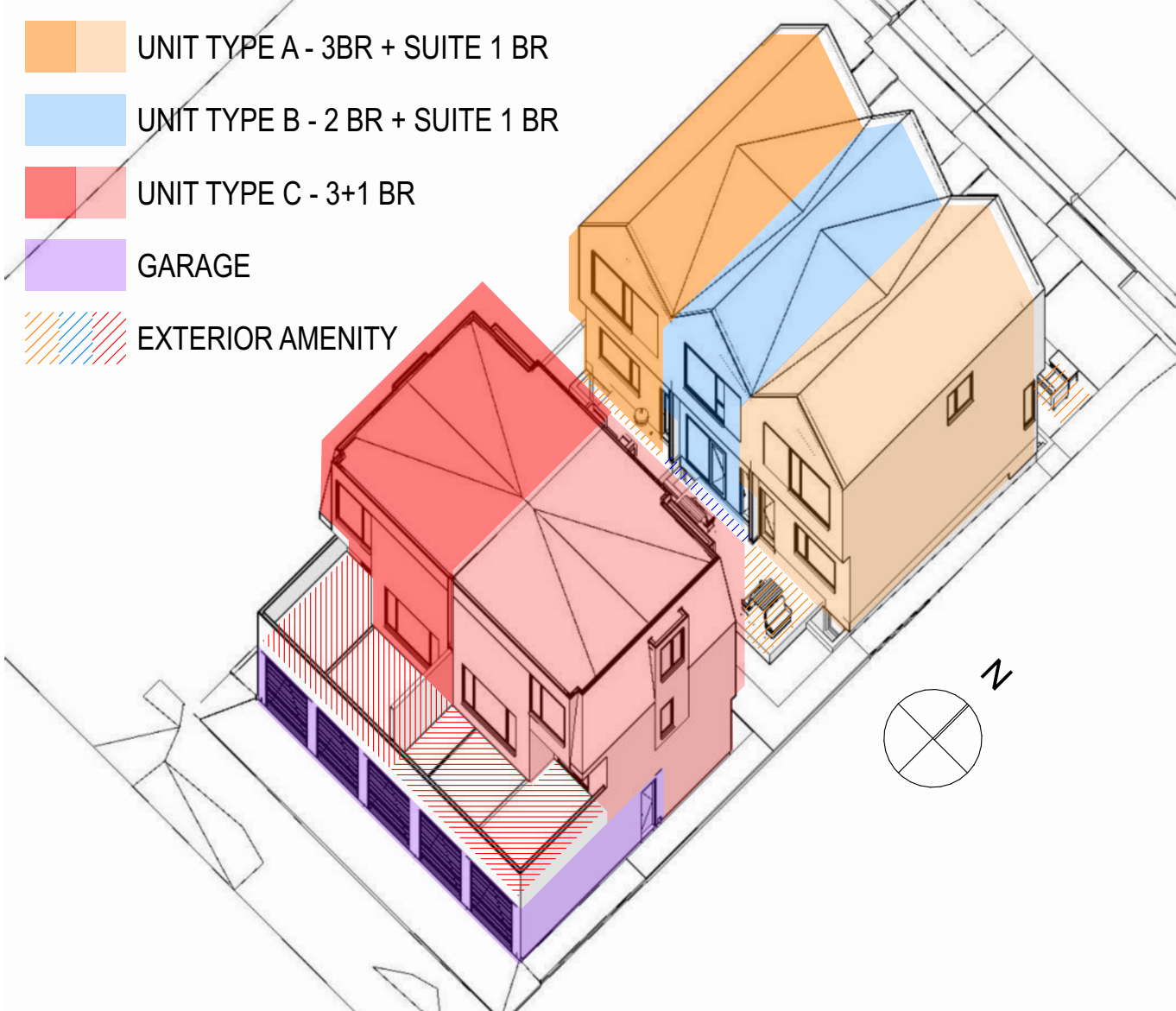
This project proposes a thoughtfully designed five-unit townhouse development within the established inner-city neighbourhood of Tuxedo Park. The intent of the design is to deliver family-oriented, ground-oriented townhomes that respond sensitively to the surrounding residential context while making efficient and responsible use of an infill site governed by the RC-G Land Use District. The project is organized in two buildings:

- A front building addressing 22nd Ave NE, and containing three (3) dwelling units with three (3) secondary suites.
- A rear building with main access via a shared internal courtyard and pedestrian mews, and fronting on the lane South of 22nd Ave NE. The rear building contains two (2) dwelling units and five (5) private enclosed garages with a common access corridor.

This configuration reinforces a strong street presence while allowing the interior of the site to function as a semi-private, landscaped and private / semi-private space, supporting both neighbourly interaction and family living.

The proposed project uses the benefits of the street-oriented townhome façade to enhance the streetscape and provide welcoming entrances for the front building units. All three of the units facing the street have doors and recessed front porches that face 22nd Ave to create a welcoming rhythm.

The rear building is tucked behind the front building however it faces a proposed 5.39m wide courtyard designed with a sidewalk, amenity spaces and landscaping. These entrances have a more private feel but will still have a street-like appearance with the internal sidewalk, front porches and landscaping that is proposed.



AXONOMETRIC DIAGRAM OF THE DWELLING UNIT ARRANGEMENTS ON THE PARCEL

2. FAMILY-ORIENTED LIVING AND OUTDOOR AMENITY STRATEGY

A central design driver for this project is the creation of livable homes suitable for families, which is increasingly important in inner-city neighbourhoods where outdoor space is often limited.

Rather than relying solely on small, fragmented ground-level yards, the project strategically places large, private outdoor amenity spaces above the attached garages of the rear building.

Placing the will beThis approach allows:

- meaningful, useable outdoor spaces sized appropriately for families, while giving more of the courtyard side over to the front building units to have their own sizeable and usable outdoor amenity space,
- improved sunlight access and privacy compared to grade-level yards, and
- efficient use of site area without increasing building footprint or site coverage.

These elevated outdoor spaces function as extensions of the primary living areas located on the second storey and are designed to support everyday family use, including play, gathering, and outdoor dining.

By placing these amenity spaces on the roof of the first storey and above the garage volume, the design prioritizes quality of life and livability without compromising the pedestrian-scaled character of the development.

The fire separations and sprinkler requirements per NBC-AE for the rear building will be maintained between the attached garage and the adjacent dwelling units.

Solid parapet walls and a privacy demising wall between units (per Section 340 (3) or the zoning bylaw) provide privacy from the public lane and allow the residents to feel safe and secure.



REAR BUILDING SOUTH BALCONIES ON LEVEL 2

3. NEIGHBOURHOOD FIT AND BUILT FORM

The overall massing, roof forms, and building scale are consistent with the evolving character of Tuxedo Park, where small-scale multi-residential infill is increasingly present.

- The project maintains a residential scale through:
- Massing and articulated building volumes,
 - Pitched roof forms that reflect nearby housing typologies and roof peak heights,
 - A clear distinction between public, semi-private, and private outdoor spaces.

The massing of the proposed development has been carefully considered in direct response to the immediate neighbouring properties, the public street, the rear lane condition and the maximum permitted building height.

For example, along the West Property Line, the rear building is intentionally designed to be comparable in overall height and scale to the existing adjacent residential building.

The adjacent roof peak is at 1089.19m above sea level while the front and rear buildings of the proposed development are 1088.17m and 1090.05m respectively.

This response ensures a consistent built form condition and avoids introducing an abrupt change in massing at the shared property line. The modest height relaxation requested results in a rear building that exceeds the established height of the neighbouring structure by 0.86m (2.82') and therefore maintains a compatible and respectful relationship between developments and the streetscape.

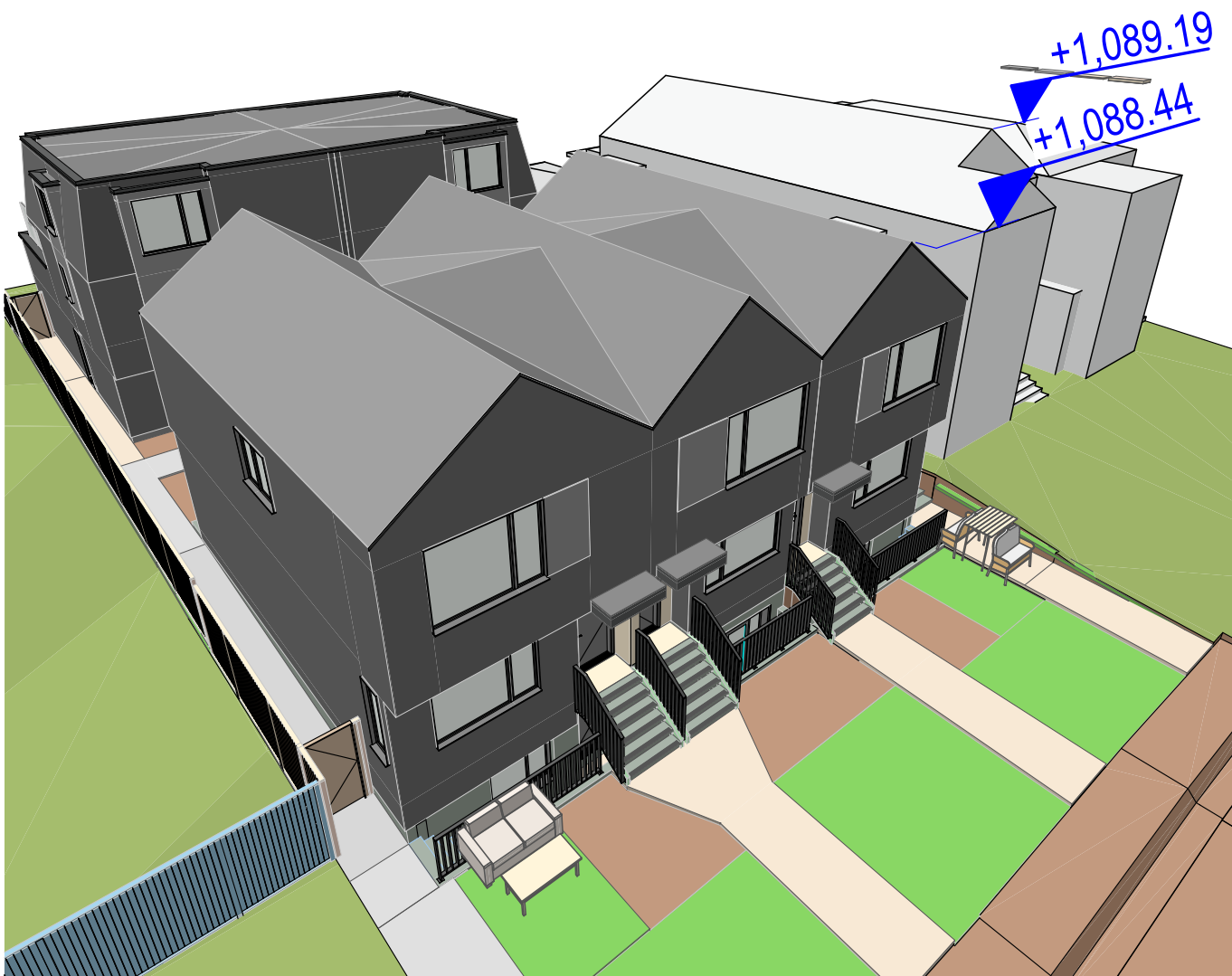


DIAGRAM SHOWING ROOF PEAK HEIGHTS IN RELATION TO THE ADJACENT NEIGHBOUR TO THE WEST

Across the street, the front building scale and massing addresses the public realm and aligns with the recently constructed duplex homes. The building height, roof forms, and overall massing reflect the evolving character of Tuxedo Park, where duplex and townhouse developments are increasingly prevalent and supported forms of infill. This consistency contributes to a cohesive and well-scaled streetscape.



DUPLEX ACCROSS THE STREET AT 224/226 22ND AVE NE



TWO STOREY AND GABLE ROOF DUPLEX BUILDINGS DOWN THE STREET AT 254 - 260 22ND AVE NE

In addition, the rear building is setback 6.25 metres from the lane at level 2, a distance that exceeds what is typically required for a rear building in the RC-G zone. This significantly reduces the perceived massing along the lane edge. This generous setback creates a softer transition between the building and the public lane, improves light penetration, and allows for the large amenity balconies to be located above the garage. As a result, the lane interface reads at a more pedestrian scale and residential character rather than visually dominated by built form.



RENDERING FROM 22ND AVE NE LOOKING SOUTH WEST

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3 LANE PERSPECTIVE



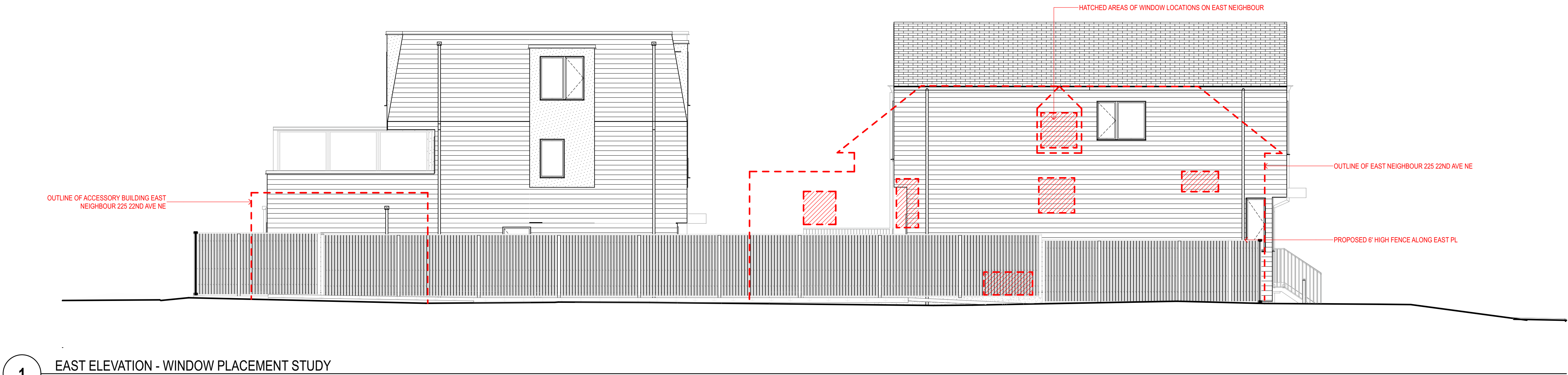
1 FRONT PERSPECTIVE



4 REAR BUILDING



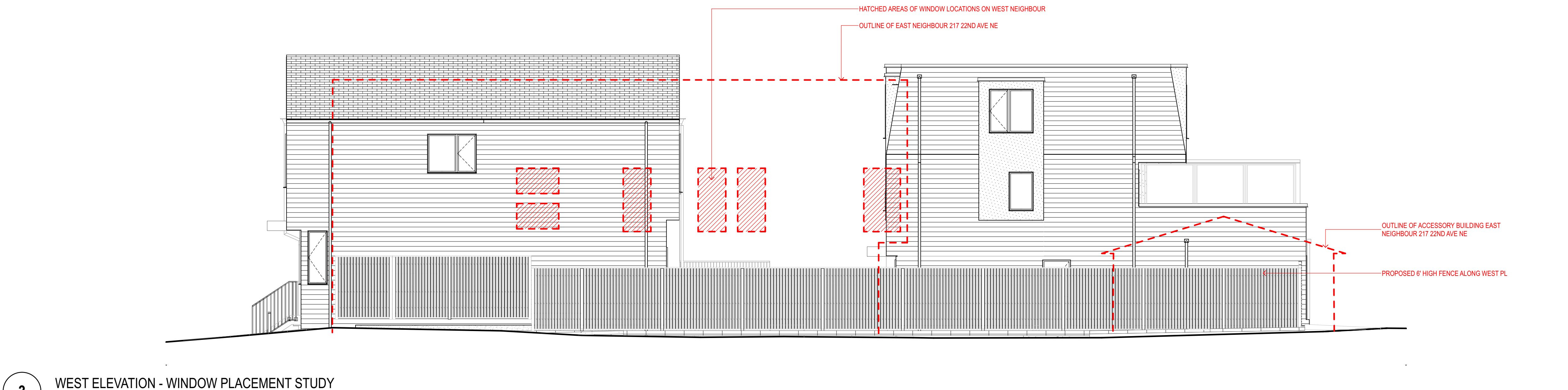
2 AERIAL LOOKING WEST



1 EAST ELEVATION - WINDOW PLACEMENT STUDY
SCALE: 1:75



2 NORTH ELEVATION - STREETSCAPE
SCALE: 1:75



3 WEST ELEVATION - WINDOW PLACEMENT STUDY
SCALE: 1:75

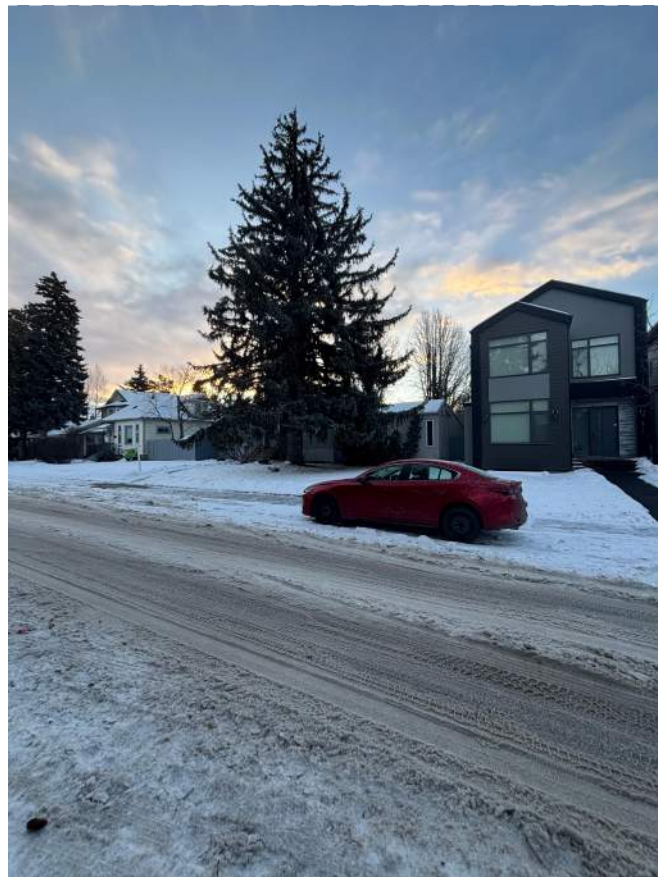
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1 NE VIEW



2 N VIEW



3 NW VIEW



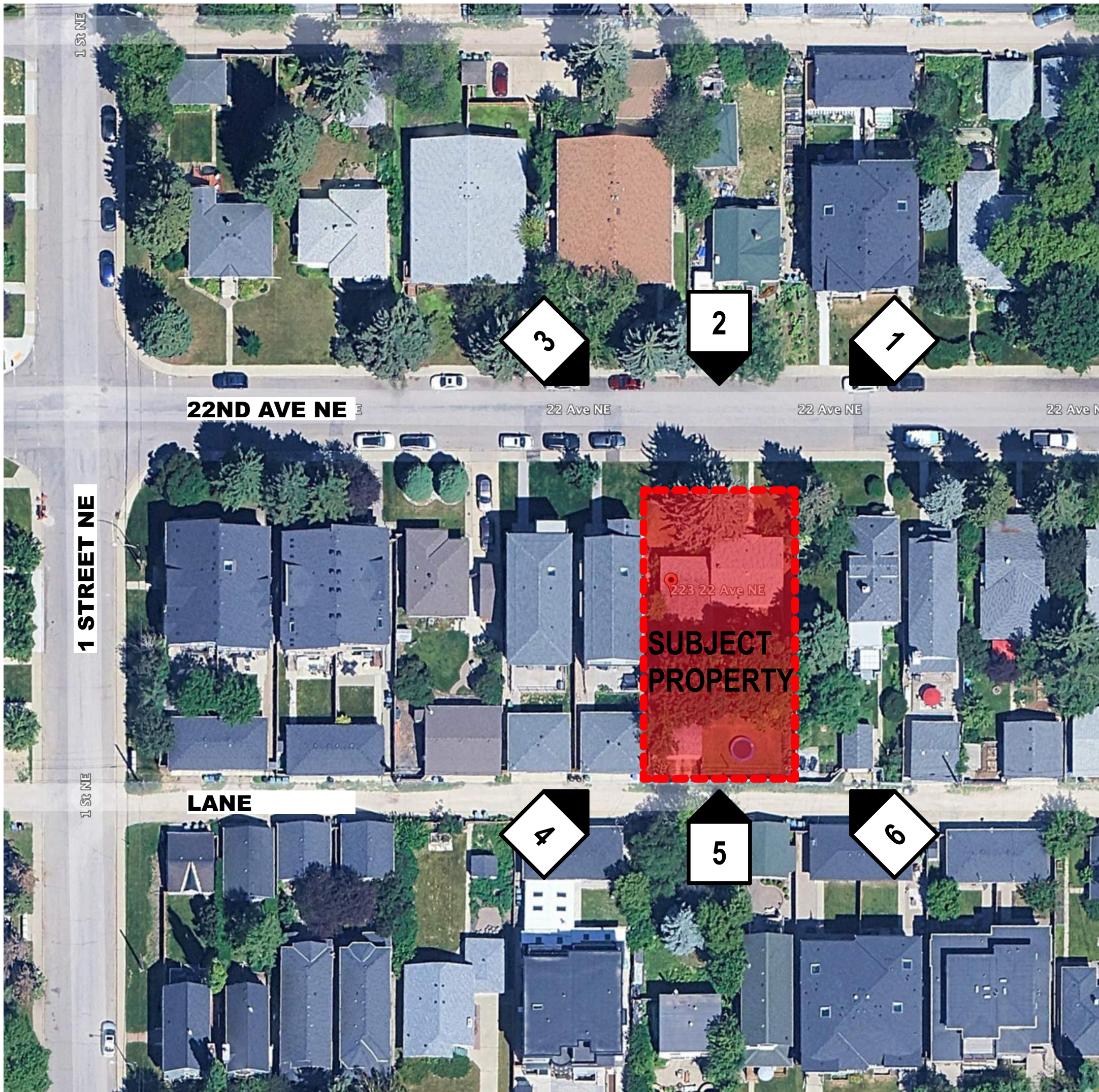
4 SW VIEW



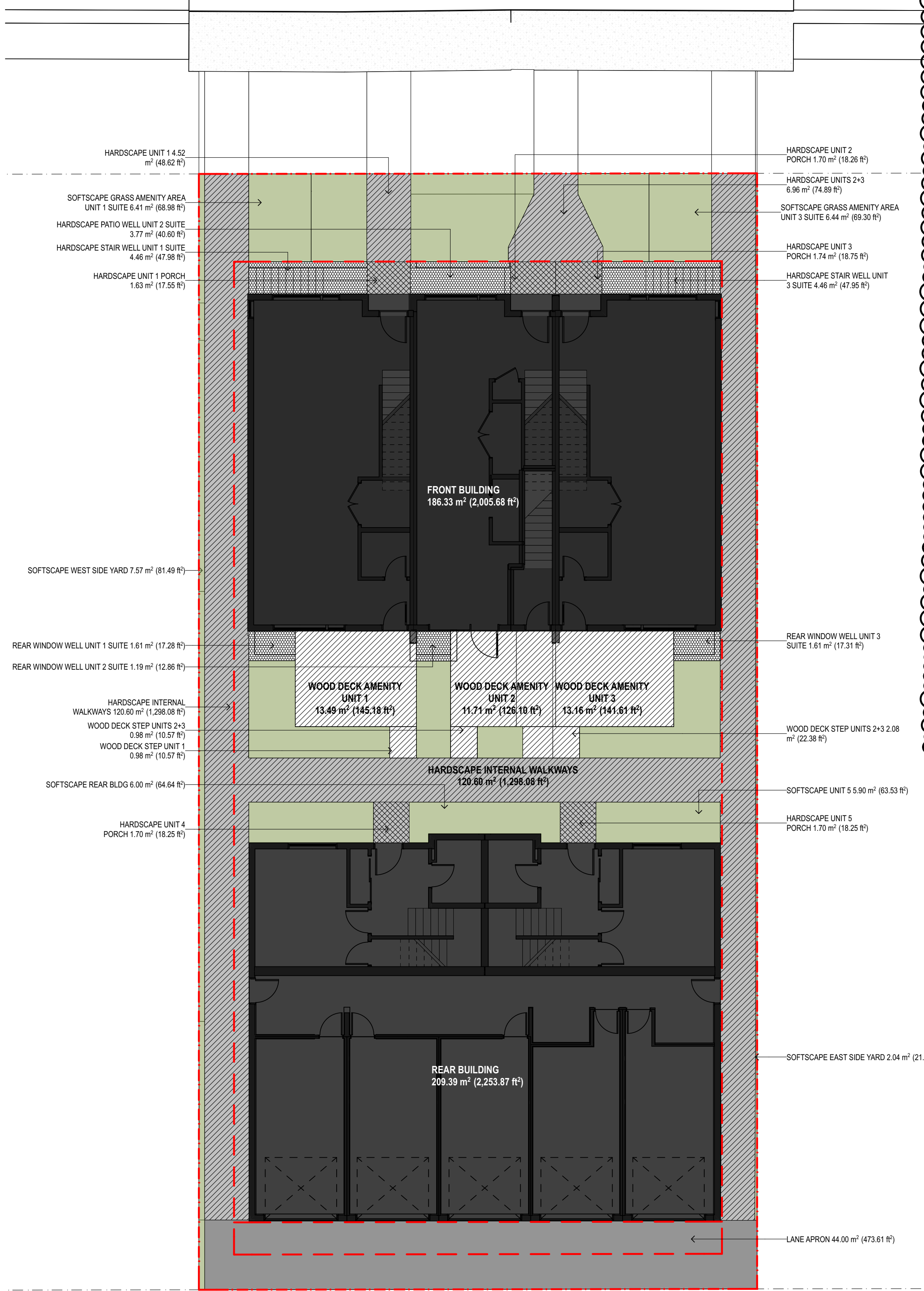
5 S VIEW



6 SE VIEW



1 BLOCK PLAN
SCALE: 1:500

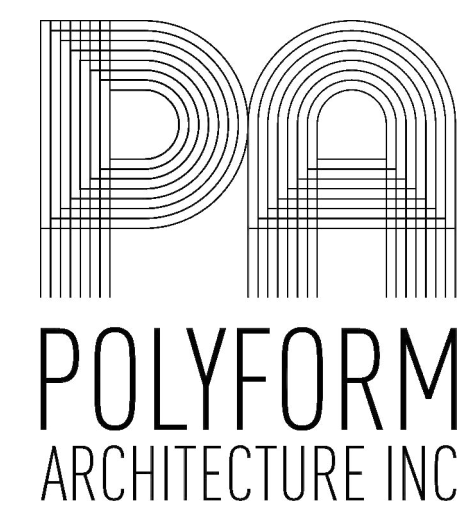


2 PARCEL COVERAGE PLAN
SCALE: 1:100

SITE COVERAGE PLAN LEGEND

	BUILDING COVERAGE
	HARD LANDSCAPING
	SOFT LANDSCAPING
	WOOD DECK / PATIO
	WINDOW WELL
	LANE APRON

PARCEL COVERAGE	COVERAGE TYPE	LOCATION	AREA (sq.ft.)	AREA (sq.m.)
BUILDING		FRONT BUILDING	2,005.68	186.33
		REAR BUILDING	2,253.87	209.39
			4,259.55	395.72
DRIVEWAY/PARKING		LANE APRON	473.61	44.00
			473.61	44.00
HARDSCAPE		HARDSCAPE INTERNAL WALKWAYS	1,298.08	120.60
		HARDSCAPE PATIO WELL UNIT 2 SUITE	40.60	3.77
		HARDSCAPE STAIR WELL UNIT 1 SUITE	47.98	4.46
		HARDSCAPE STAIR WELL UNIT 3 SUITE	47.95	4.46
		HARDSCAPE UNIT 1	48.62	4.52
		HARDSCAPE UNIT 1 PORCH	17.55	1.63
		HARDSCAPE UNIT 2 PORCH	18.26	1.70
		HARDSCAPE UNIT 3 PORCH	18.75	1.74
		HARDSCAPE UNIT 4 PORCH	18.25	1.70
		HARDSCAPE UNIT 5 PORCH	18.25	1.70
		HARDSCAPE UNITS 2+3	74.89	6.96
		REAR WINDOW WELL UNIT 1 SUITE	17.28	1.61
		REAR WINDOW WELL UNIT 2 SUITE	12.86	1.19
		REAR WINDOW WELL UNIT 3 SUITE	17.31	1.61
		WOOD DECK AMENITY UNIT 1	145.18	13.49
		WOOD DECK AMENITY UNIT 2	126.10	11.71
		WOOD DECK AMENITY UNIT 3	141.61	13.16
		WOOD DECK STEP UNIT 1	10.57	0.98
		WOOD DECK STEP UNITS 2+3	22.38	2.08
SOFTSCAPE			2,142.47	199.07
		SOFTSCAPE EAST SIDE YARD	21.97	2.04
		SOFTSCAPE GRASS AMENITY AREA UNIT 1 SUITE	68.98	6.41
		SOFTSCAPE GRASS AMENITY AREA UNIT 3 SUITE	69.30	6.44
		SOFTSCAPE REAR BLDG	64.64	6.00
		SOFTSCAPE UNIT 1 FRONT	61.46	5.71
		SOFTSCAPE UNIT 1 REAR	94.32	8.76
		SOFTSCAPE UNIT 2 FRONT	122.94	11.42
		SOFTSCAPE UNIT 2 REAR	17.94	1.67
		SOFTSCAPE UNIT 2 REAR	41.60	3.86
		SOFTSCAPE UNIT 3 FRONT	65.85	6.12
		SOFTSCAPE UNIT 3 REAR	94.04	8.74
		SOFTSCAPE UNIT 4	63.75	5.92
		SOFTSCAPE UNIT 5	63.53	5.90
		SOFTSCAPE WEST SIDE YARD	81.49	7.57
		WOOD DECK STEP UNITS 2+3	10.57	0.98
			942.38	87.54
			7,818.01	726.33



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PROJECT 2510

TUXEDO PARK TOWNHOMES

ADDRESS: 223 22ND AVE NE CALGARY AB T2E 1T6 CANADA
LEGAL: LOTS 53,54 AND E 12 OF LOT 56, BLOCK 4, PLAN 1367 0 W/ THE SE 1/4 SEC 27 TWP 24 RGE 1 W3M

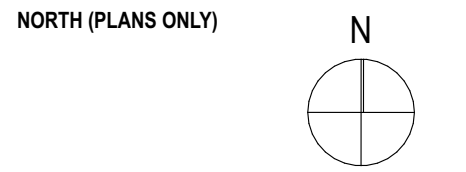
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CANADA T2T 0A4

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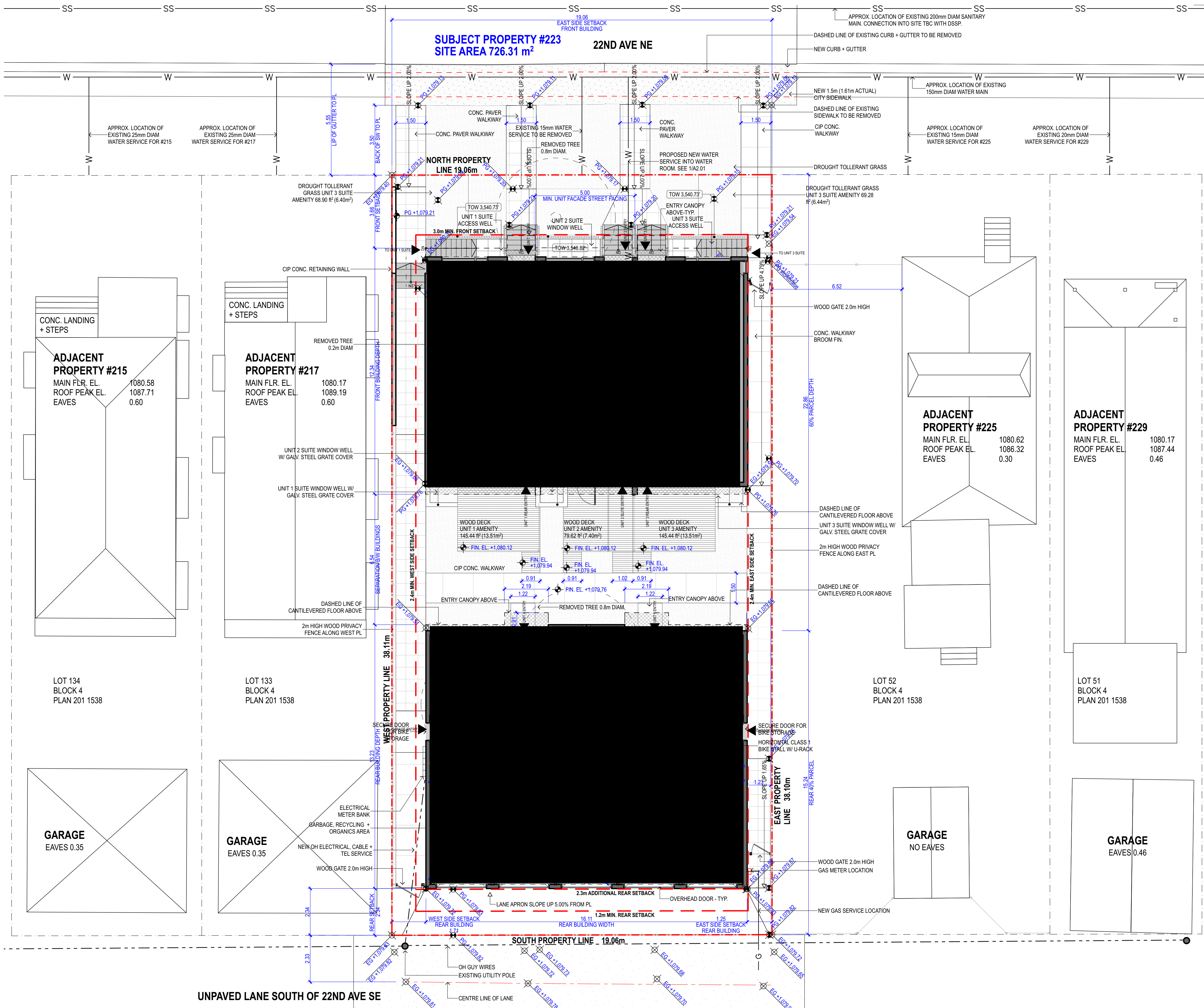
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SITE CONTEXT +
COVERAGE PLANS

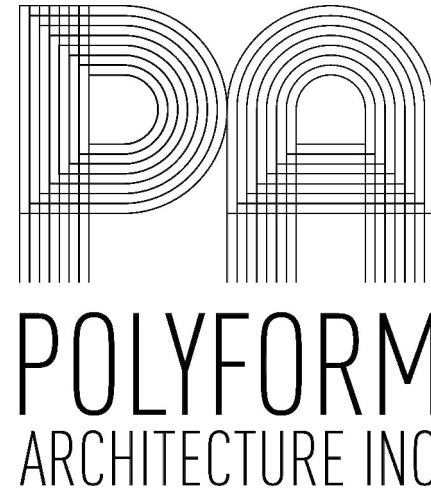
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1 PROPOSED SITE / BLOCK PLAN
SCALE: 1:100

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- TOPOGRAPHY CONTOUR LINES
Major and Minor Polyline
- BUILDING OUTLINE
- CIP CONC. PAVING
- ASPHALT PAVING
- PRE-CAST CONC. PAVERS 24"x24"
- WOOD DECK PRESSURE TREATED
- DRAUGHT TOLLERANT GRASSES
MIN. 300mm SOIL DEPTH
- PLANTING BED MIN. 600mm SOIL DEPTH
- CHAINLINK FENCE
- WOOD FENCE F-1
- TREE PROTECTION
- W WATER SERVICE
- G NATURAL GAS SERVICE
- SS SANITARY SERVICE
- SD STORM SERVICE
- UTILITY POLE
- OVERHEAD GUY WIRES



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TUXEDO PARK TOWNHOMES

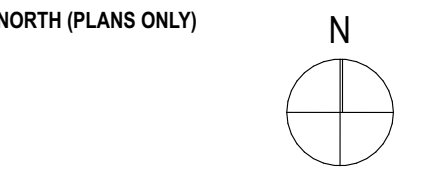
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TUXEDO PARK TOWNHOMES

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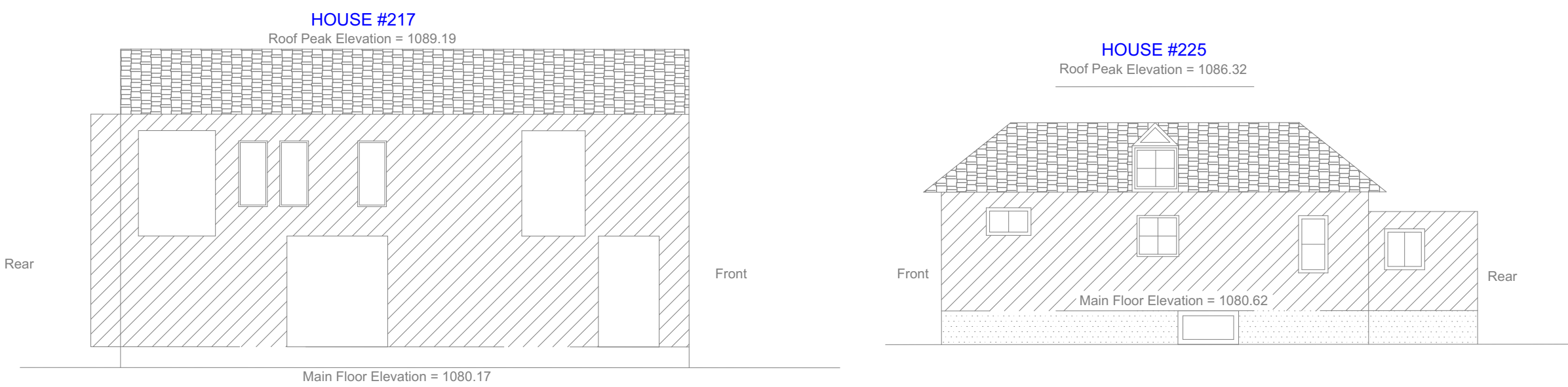
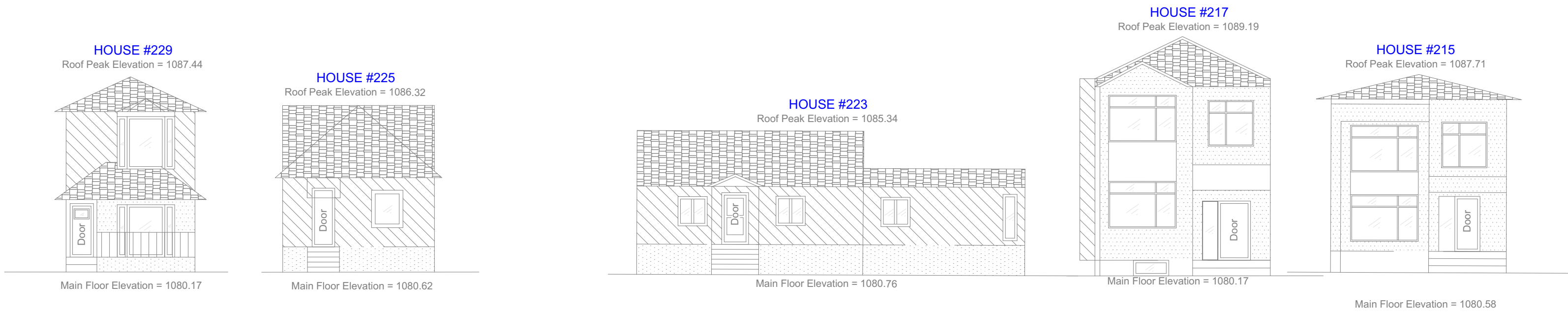
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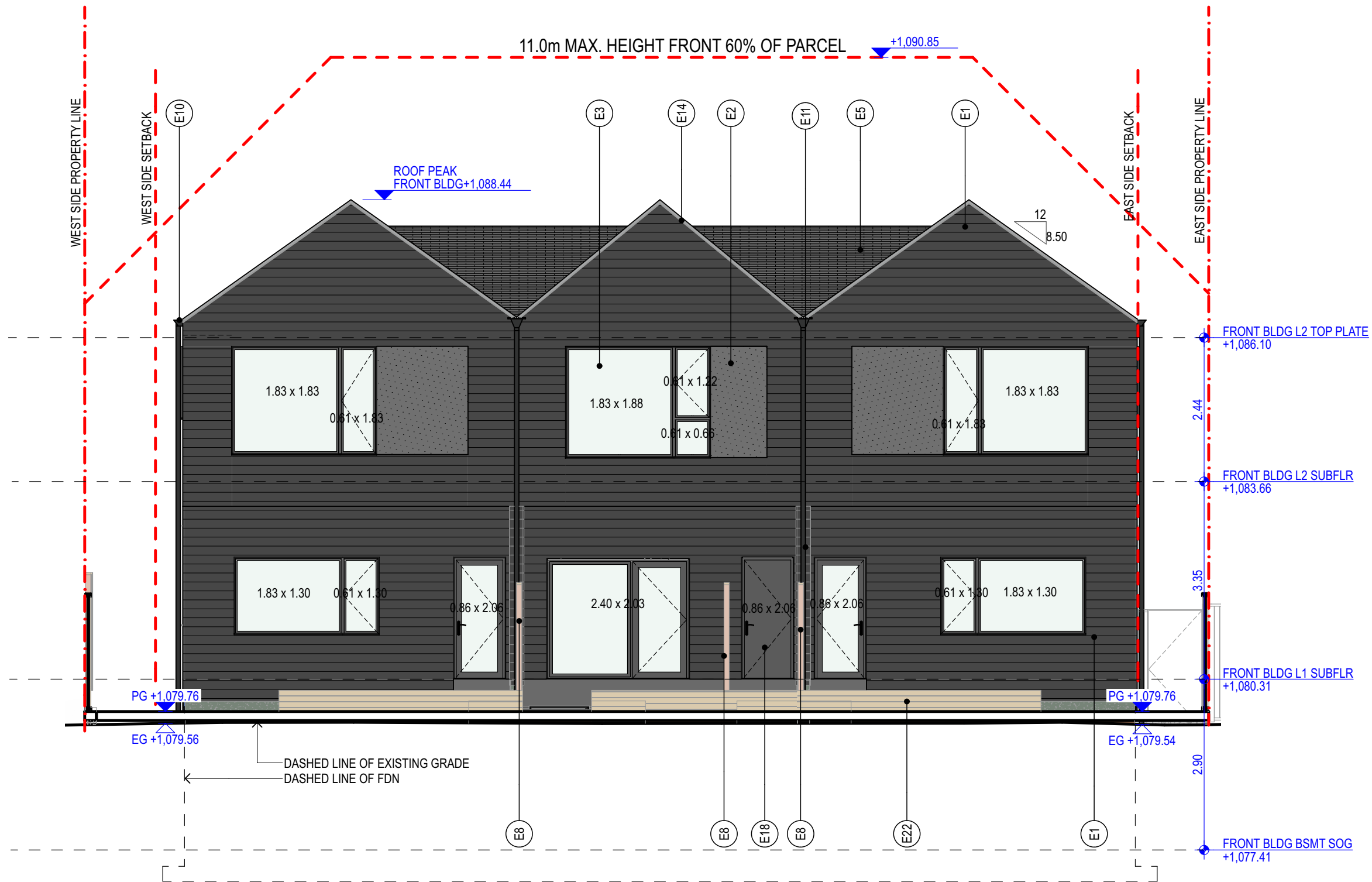
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SITE SURVEY
(REFERENCE ONLY)

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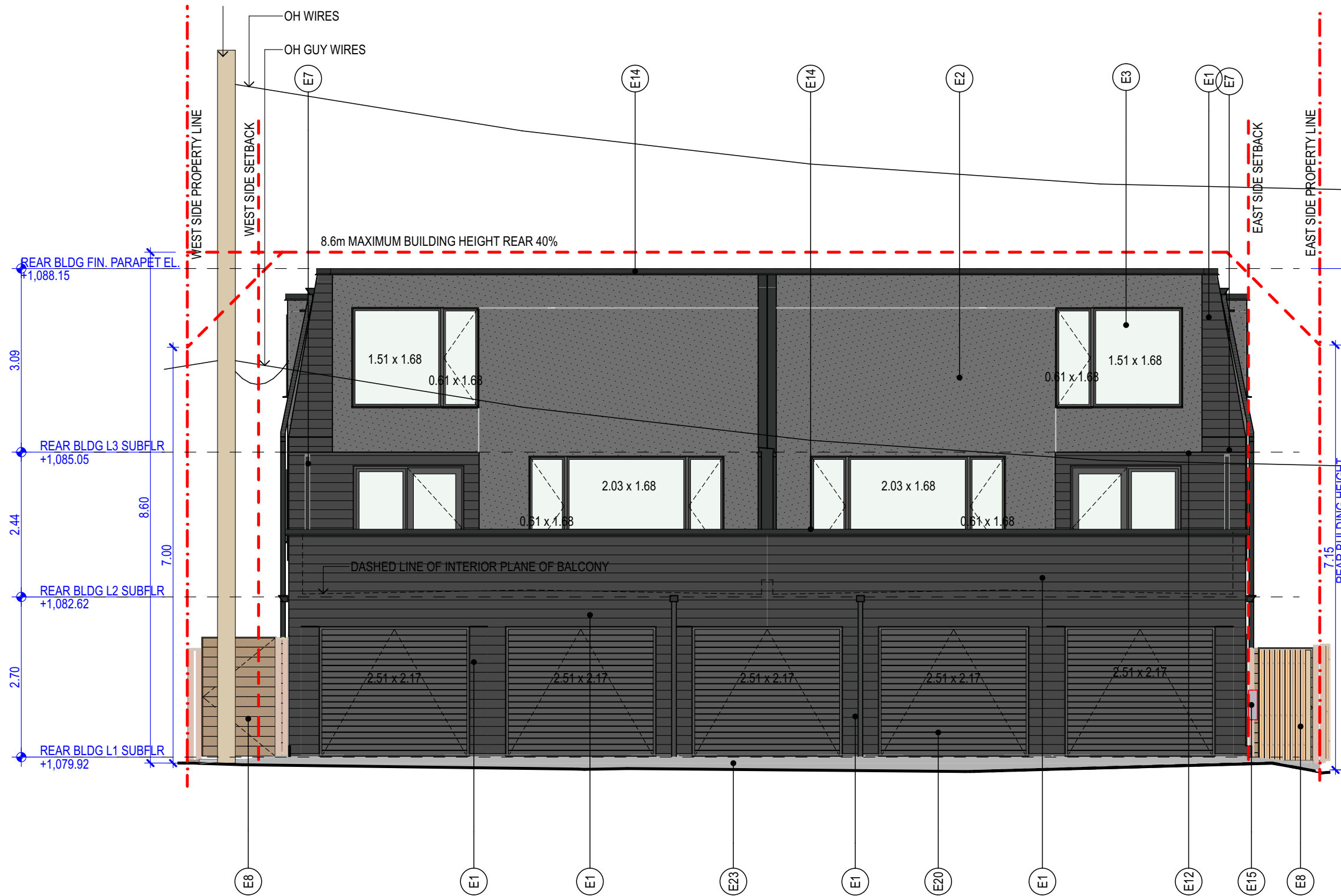




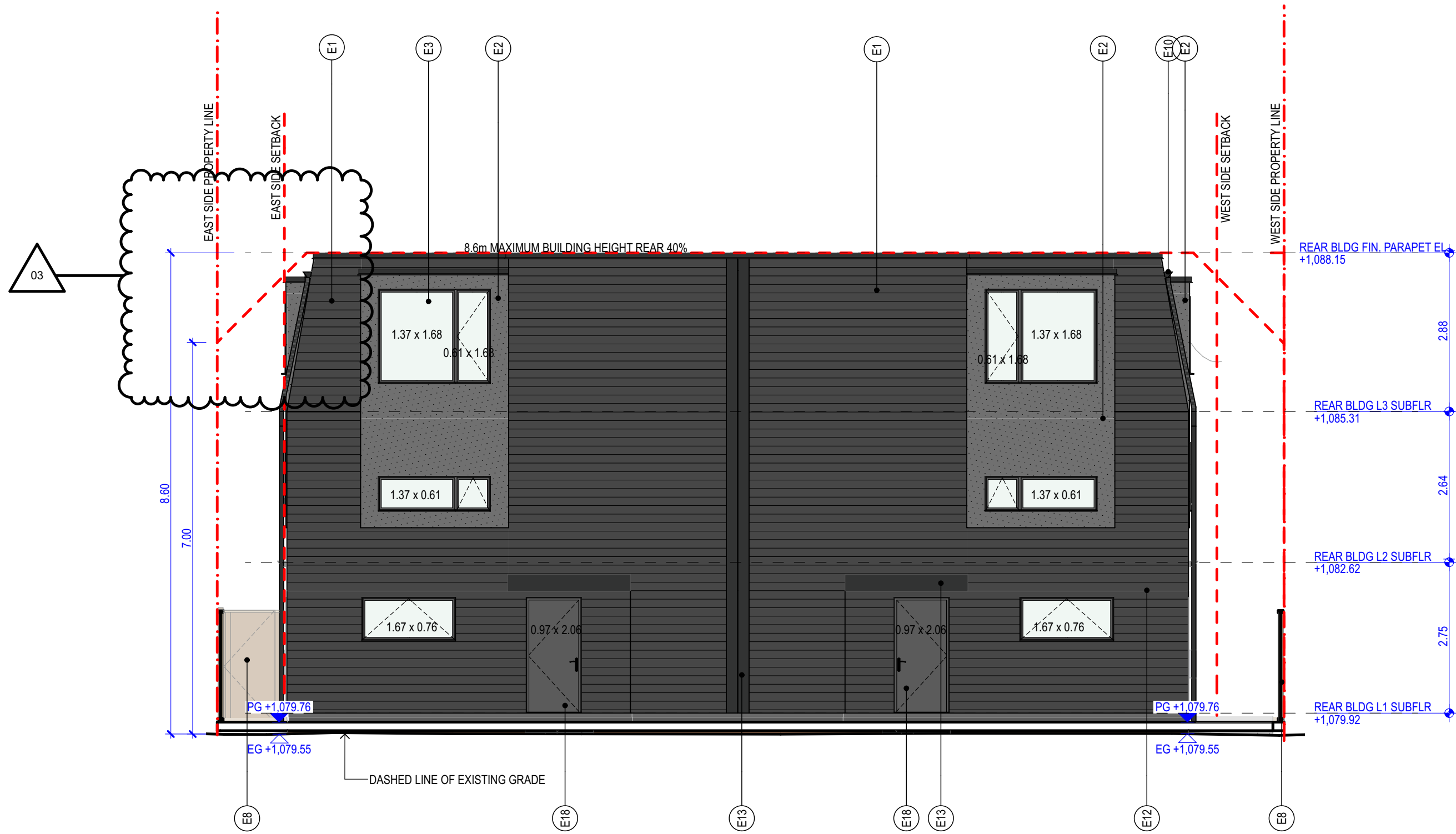
1 S1 SOUTH ELEVATION - FRONT BLDG
SCALE: 1:75



2 N PROPOSED NORTH ELEVATION - FRONT BLDG
SCALE: 1:75



3 S PROPOSED SOUTH ELEVATION - REAR BLDG
SCALE: 1:75



4 N1 PROPOSED NORTH ELEVATION - REAR BLDG
SCALE: 1:75

MATERIALS LEGEND

E1

HORIZONTAL FIBRE-CEMENTITIOUS LAP SIDING - BLACK

E2

STUCCO CLADDING - GREY

E3

DOUBLE GLAZED VINYL WINDOWS OR PATIO DOOR

E4

ARCHITECTURAL CONCRETE - SEALED FIN.

E5

ASPHALT SHINGLE ROOF - DARK GREY

E6

TOP MOUNTED ALUMINUM PICKET GUARD

E7

SIDE MOUNTED ALUM PICKET GUARD

E8

WOOD PANEL PRIVACY FENCE OR GATE 2.0m HIGH

E10

METAL GUTTER OR SCUPPER DRAIN

E11

METAL RWL

E12

T&G WOOD SOFFIT - NATURAL STAIN

E13

METAL TRIM - CHARCOAL

E14

CAP FLASHING - CHARCOAL

E15

GAS METER

E18

ENTRY DOOR - PAINTED GREY/CHARCOAL

E19

HORIZONTAL FIBRE-CEMENT SIDING - NATURAL WOOD COLOUR

E20

OVERHEAD GARAGE DOOR - DARK GREY / CHARCOAL

E22

PRESSURE TREATED WOOD DECK

E23

ASPHALT LANE APRON

E24

EXT. UNIT STAIRS: P.T. WOOD STRINGERS W/ PRECAST TREADS

DA

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PROJECT

2510

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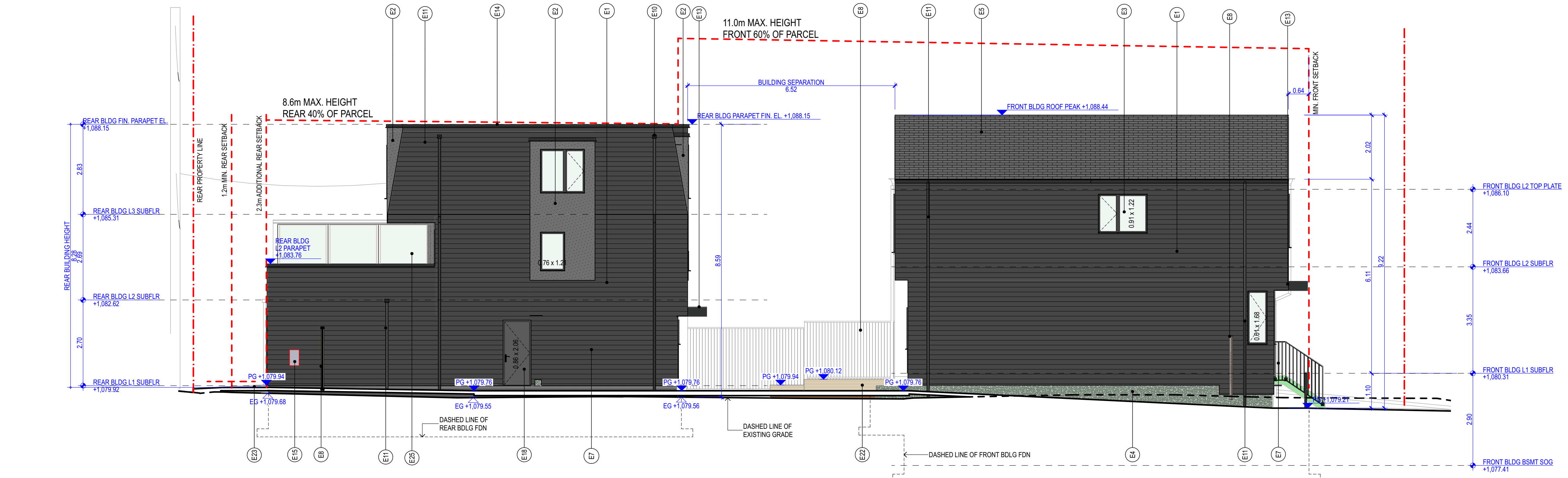
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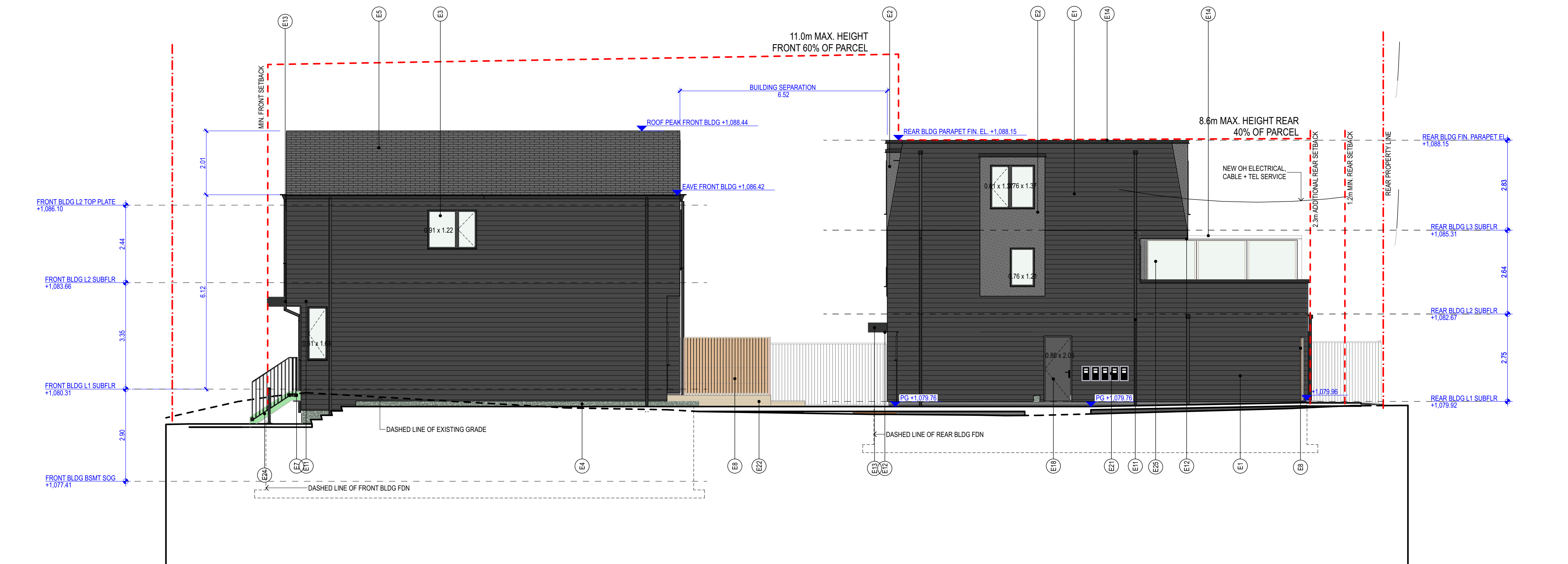
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SHEET NAME
PROPOSED NORTH + SOUTH ELEVATIONS

A3.01



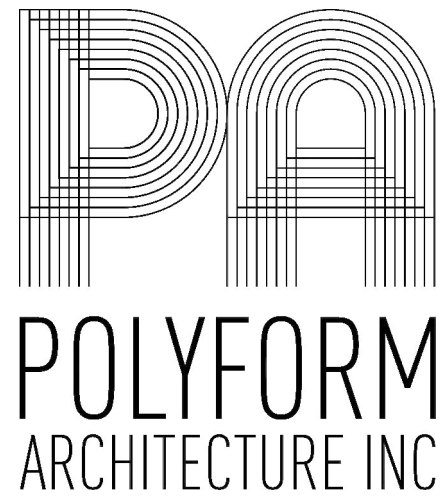
1 PROPOSED EAST ELEVATION
SCALE: 1:75



2 PROPOSED WEST ELEVATION
SCALE: 1:75

MATERIALS LEGEND

E1	HORIZONTAL FIBRE-CEMENTITIOUS LAP SIDING - BLACK
E2	STUCCO CLADDING - GREY
E3	DOUBLE GLAZED VINYL WINDOWS OR PATIO DOOR
E4	ARCHITECTURAL CONCRETE - SEALED FIN.
E5	ASPHALT SHINGLE ROOF - DARK GREY
E7	SIDE MOUNTED ALUM PICKET GUARD
E8	WOOD PANEL PRIVACY FENCE OR GATE 2.0m HIGH
E10	METAL GUTTER OR SCUPPER DRAIN
E11	METAL RWL
E12	T&G WOOD SOFFIT - NATURAL STAIN
E13	METAL TRIM - CHARCOAL
E14	CAP FLASHING - CHARCOAL
E15	GAS METER
E18	ENTRY DOOR - PAINTED GREY/CHARCOAL
E21	ELECTRICAL METERS
E22	PRESSURE TREATED WOOD DECK
E23	ASPHALT LANE APRON
E24	EXT. UNIT STAIRS: P.T. WOOD STRINGERS W/ PRECAST TREADS
E25	SIDE MOUNTED SATIN GLASS PRIVACY SCREEN



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The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, procedures, or safety precautions and programs in connection with the project.

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PROJECT 2510

TUXEDO PARK TOWNHOMES

ADDRESS: 223 22ND AVE NE CALGARY AB T2E 1T6 CANADA
LEGAL: LOTS 53,54 AND E12 OF LOT 56, BLOCK 4, PLAN 1367 0 W/ THE SE 1/4 SEC 27 TWP 24 RGE 1 W3M

CLIENT
SMG DEVELOPMENT
909-17 AVE SW
CALGARY
CANADA T2T 0A4

STAMP

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

ISSUES / REVISIONS		
ID	DESCRIPTION	DATE
01	ISSUED FOR DEVELOPMENT PERMIT	2026-03-22
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-05-08
03	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-06-09

AMENDED DRAWINGS
DP No Date Received
DP2026-01686 JUN 10 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DWG STATUS
DATE 2026-06-09 4:09 PM
MODIFIED BY
CHECKED BY
SCALE AS NOTED
SHEET NAME
PROPOSED EAST + WEST ELEVATIONS

A3.02