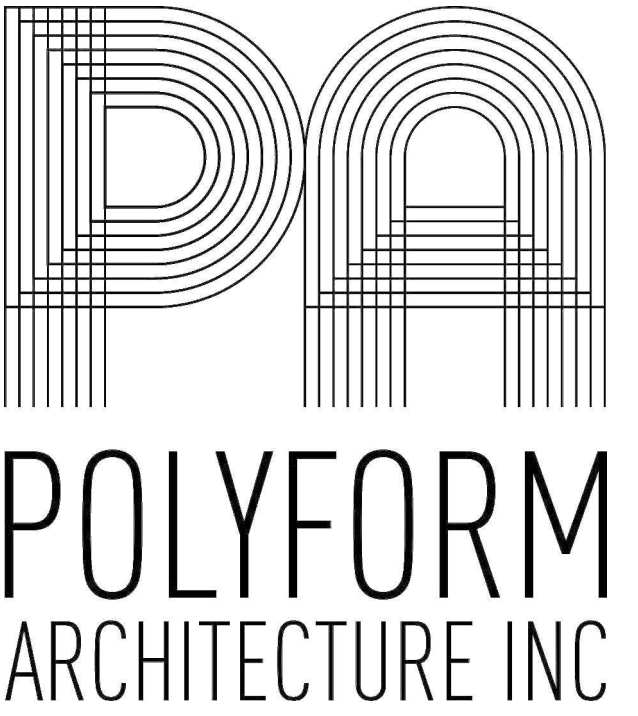


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TUXEDO PARK TOWNHOMES

223 22ND AVE NE CALGARY AB T2E 1T6 CANADA

LOTS 53,54 AND E 1/2 OF LOT 55, BLOCK 4, PLAN
1367 0 W/I THE SE 1/4 SEC 27 TWP 24 RGE 1 W5M

ISSUED FOR DEVELOPMENT PERMIT 2026-03-22



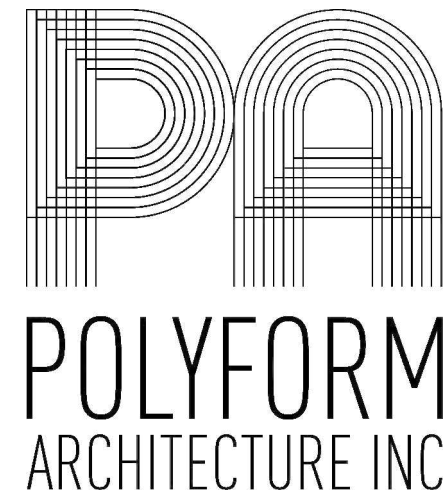
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PLANNING ANALYSIS RATIONALE

FIVE-UNIT TOWNHOUSE + 3 SECONDARY SUITE DEVELOPMENT – 223 22 ND AVE NE, TUXEDO PARK, CALGARY



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PROJECT 2510

TUXEDO PARK TOWNHOMES

ADDRESS: 223 22ND AVE NE CALGARY AB T2E 1T6 CANADA
LEGAL: LOTS 53,54 AND E 12 OF LOT 55, BLOCK 4, PLAN 1367 0 W/IL THE SE 1/4 SEC 27 TWP 24 RGE 1 W5M

CLIENT

SNG DEVELOPMENT
909-17 AVE SW
CALGARY
CANADA T2T 0A4

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PLANNING ANALYSIS RATIONALE

A0.3

1. PROJECT OVERVIEW, LOCATION AND DESIGN INTENT

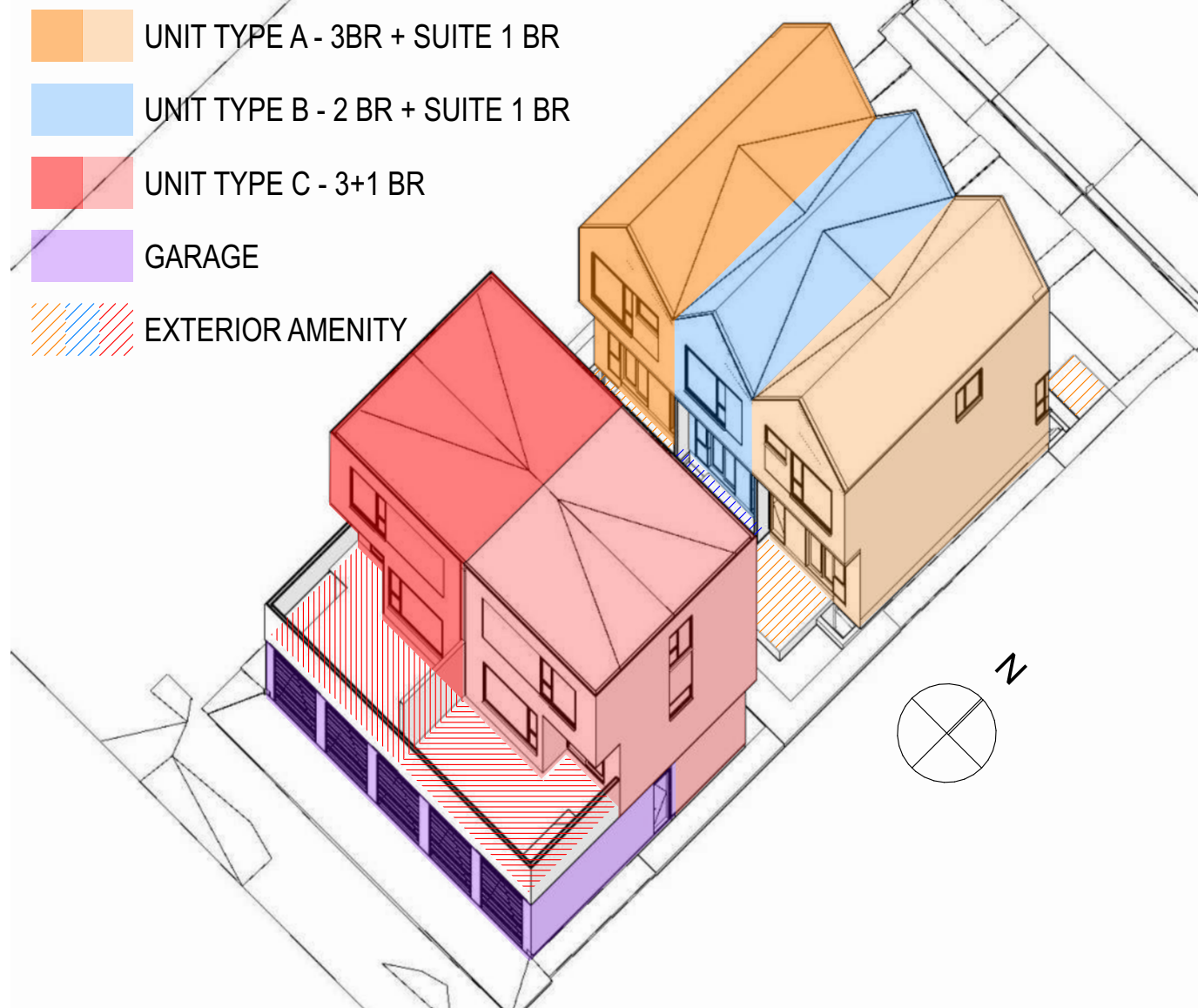
This project proposes a thoughtfully designed **five-unit townhouse development** within the established inner-city neighbourhood of **Tuxedo Park**. The intent of the design is to deliver family-oriented, ground-oriented townhomes that respond sensitively to the surrounding residential context while making efficient and responsible use of an infill site governed by the RC-G Land Use District. The project is organized in two buildings:

- A **front building** addressing 22nd Ave NE, and containing three (3) dwelling units with three (3) secondary suites.
- A **rear building** with main access via a shared internal courtyard and pedestrian mews, and fronting on the lane South of 22nd Ave NE. The rear building contains two (2) dwelling units and five (5) private enclosed garages with a common access corridor.

This configuration reinforces a strong street presence while allowing the interior of the site to function as a **semi-private, landscaped and private / semi-private space**, supporting both neighbourly interaction and family living.

The proposed project uses the benefits of the street-oriented townhome façade to enhance the streetscape and provide welcoming entrances for the front building units. All three of the units facing the street have doors and recessed front porches that face 22nd Ave to create a welcoming rhythm.

The rear building is tucked behind the front building however it faces a proposed 5.39m wide courtyard designed with a sidewalk, amenity spaces and landscaping. These entrances have a more private feel but will still have a street-like appearance with the internal sidewalk, front porches and landscaping that is proposed.



AXONOMETRIC DIAGRAM OF THE DWELLING UNIT ARRANGEMENTS ON THE PARCEL

2. FAMILY-ORIENTED LIVING AND OUTDOOR AMENITY STRATEGY

A central design driver for this project is the creation of **livable homes suitable for families**, which is increasingly important in inner-city neighbourhoods where outdoor space is often limited.

Rather than relying solely on small, fragmented ground-level yards, the project strategically places large, **private outdoor amenity spaces above the attached garages** of the rear building.

Placing the will beThis approach allows:

- meaningful, useable outdoor spaces sized appropriately for families, while giving more of the courtyard side over to the front building units to have their own sizeable and usable outdoor amenity space,
- improved sunlight access and privacy compared to grade-level yards, and
- efficient use of site area without increasing building footprint or site coverage.

These elevated outdoor spaces function as extensions of the primary living areas located on the second storey and are designed to support everyday family use, including play, gathering, and outdoor dining.

By placing these amenity spaces on the roof of the first storey and above the garage volume, the design prioritizes quality of life and livability without compromising the pedestrian-scaled character of the development.

The fire separations and sprinkler requirements per NBC-AE for the rear building will be maintained between the attached garage and the adjacent dwelling units.

Solid parapet walls and a privacy demising wall between units (per Section 340 (3) or the zoning bylaw) provide privacy from the public lane and allow the residents to feel safe and secure.



REAR BUILDING SOUTH BALCONIES ON LEVEL 2

3. NEIGHBOURHOOD FIT AND BUILT FORM

The overall massing, roof forms, and building scale are consistent with the evolving character of Tuxedo Park, where small-scale multi-residential infill is increasingly present.

The project maintains a residential scale through:

- Massing and articulated building volumes,
- Pitched roof forms that reflect nearby housing typologies and roof peak heights,
- A clear distinction between public, semi-private, and private outdoor spaces.

The massing of the proposed development has been carefully considered in direct response to the immediate neighbouring properties, the public street, the rear lane condition and the maximum permitted building height.

For example, along the West Property Line, the rear building is intentionally designed to be comparable in overall height and scale to the existing adjacent residential building.

The adjacent roof peak is at 1089.19m above sea level while the front and rear buildings of the proposed development are 1088.17m and 1090.05m respectively.

This response ensures a consistent built form condition and avoids introducing an abrupt change in massing at the shared property line. The modest height relaxation requested results in a rear building that exceeds the established height of the neighbouring structure by 0.86m (2.82') and therefore maintains a compatible and respectful relationship between developments and the streetscape.

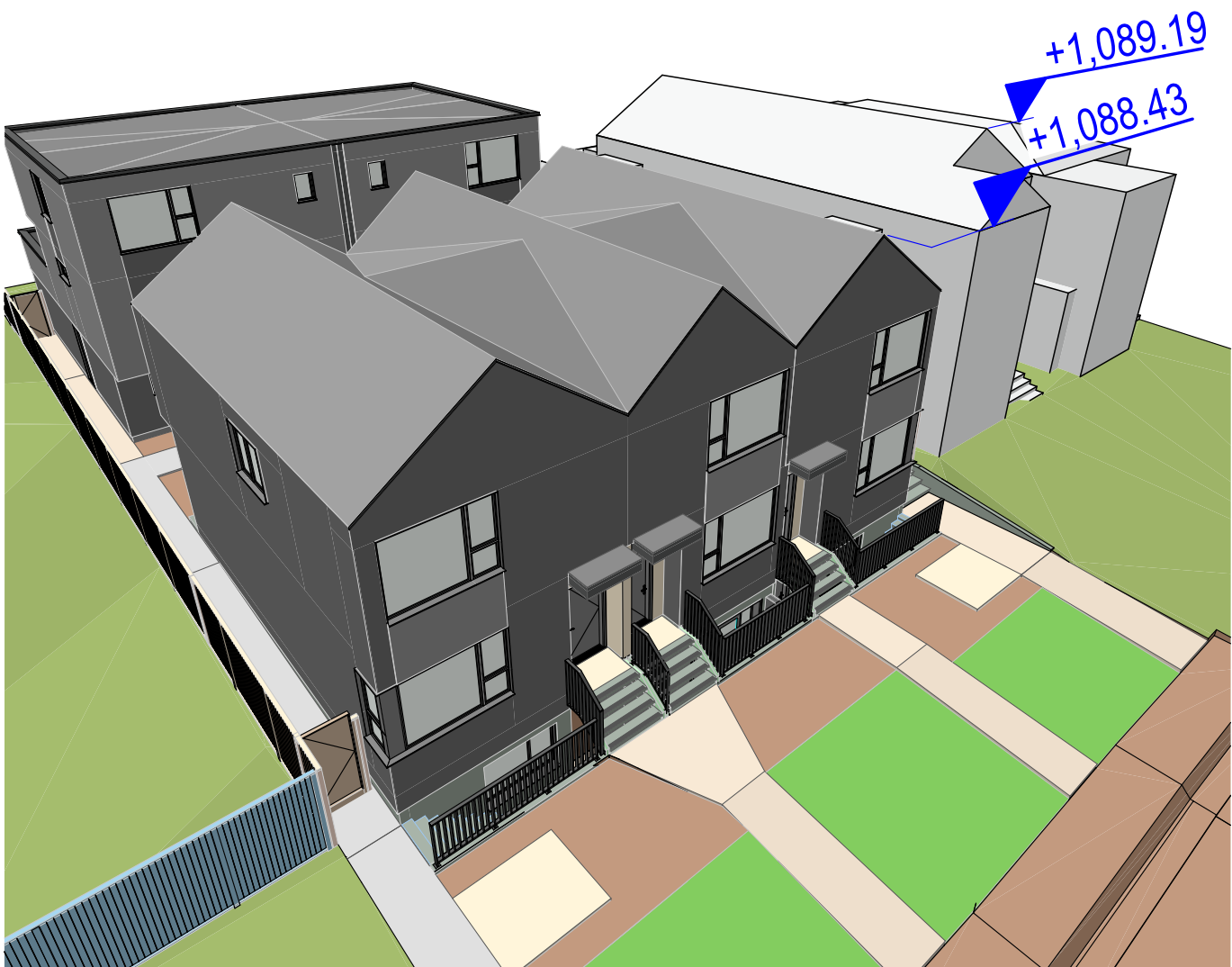


DIAGRAM SHOWING ROOF PEAK HEIGHTS IN RELATION TO THE ADJACENT NEIGHBOUR TO THE WEST

Across the street, the front building scale and massing addresses the public realm and aligns with the **recently constructed duplex homes**. The building height, roof forms, and overall massing reflect the evolving character of Tuxedo Park, where duplex and townhouse developments are increasingly prevalent and supported forms of infill. This consistency contributes to a cohesive and well-scaled streetscape.



DUPLEX ACCROSS THE STREET AT 224/226 22ND AVE NE



TWO STOREY AND GABLE ROOF DUPLEX BUILDINGS DOWN THE STREET AT 254 - 260 22ND AVE NE

In addition, the rear building is setback 6.25 metres from the lane at level 2, a distance that exceeds what is typically required for a rear building in the RC-G zone. This significantly reduces the perceived massing along the lane edge. This generous setback creates a softer transition between the building and the public lane, improves light penetration, and allows for the large amenity balconies to be located above the garage. As a result, the lane interface reads at a more pedestrian scale and residential character rather than visually dominated by built form.



RENDERING FROM 22ND AVE NE LOOKING SOUTH WEST.

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3 LANE PERSPECTIVE



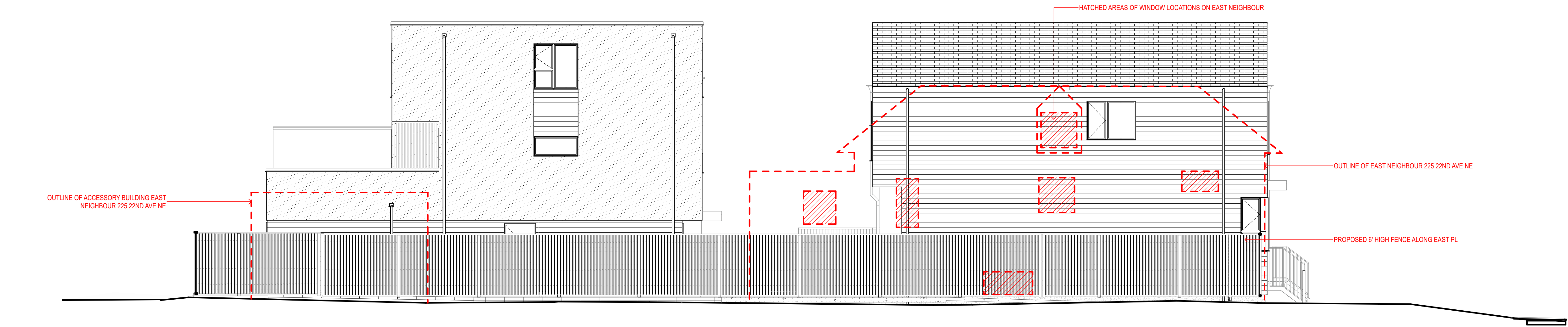
1 FRONT PERSPECTIVE



4 REAR BUILDING



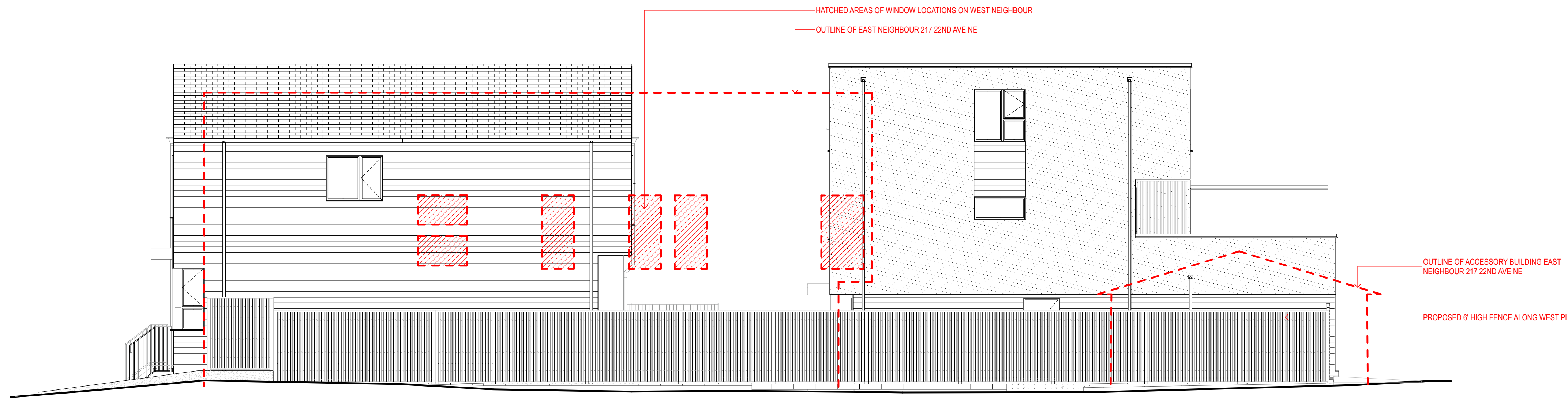
2 AERIAL LOOKING WEST



1 EAST ELEVATION - WINDOW PLACEMENT STUDY
SCALE: 1:75



2 NORTH ELEVATION - STREETSCAPE
SCALE: 1:75



3 WEST ELEVATION - WINDOW PLACEMENT STUDY
SCALE: 1:75

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PROJECT 2510

TUXEDO PARK
TOWNHOMES

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CONTEXT
STREETSCAPE +
WINDOW STUDY

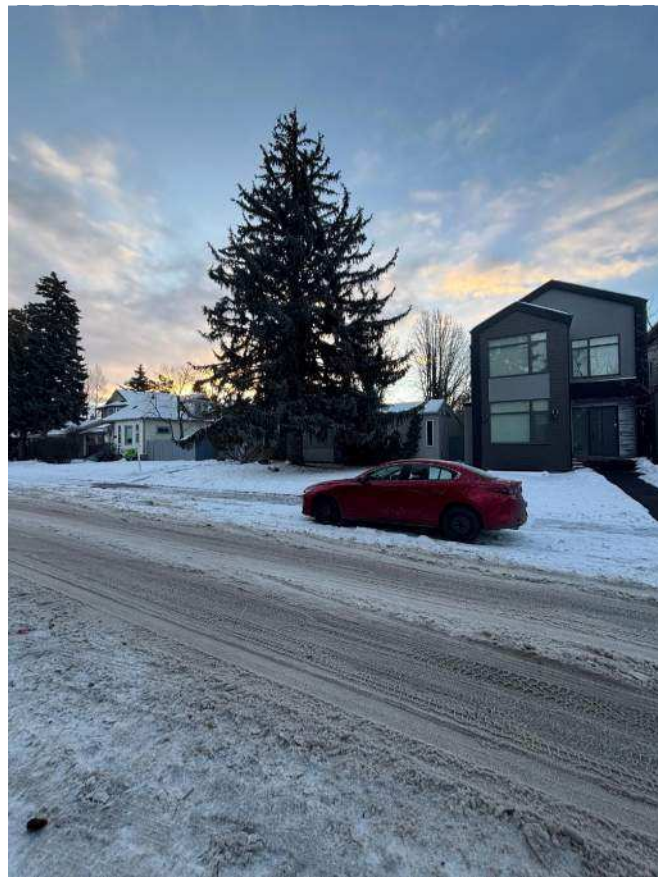
A0.5



1 NE VIEW



2 N VIEW



3 NW VIEW



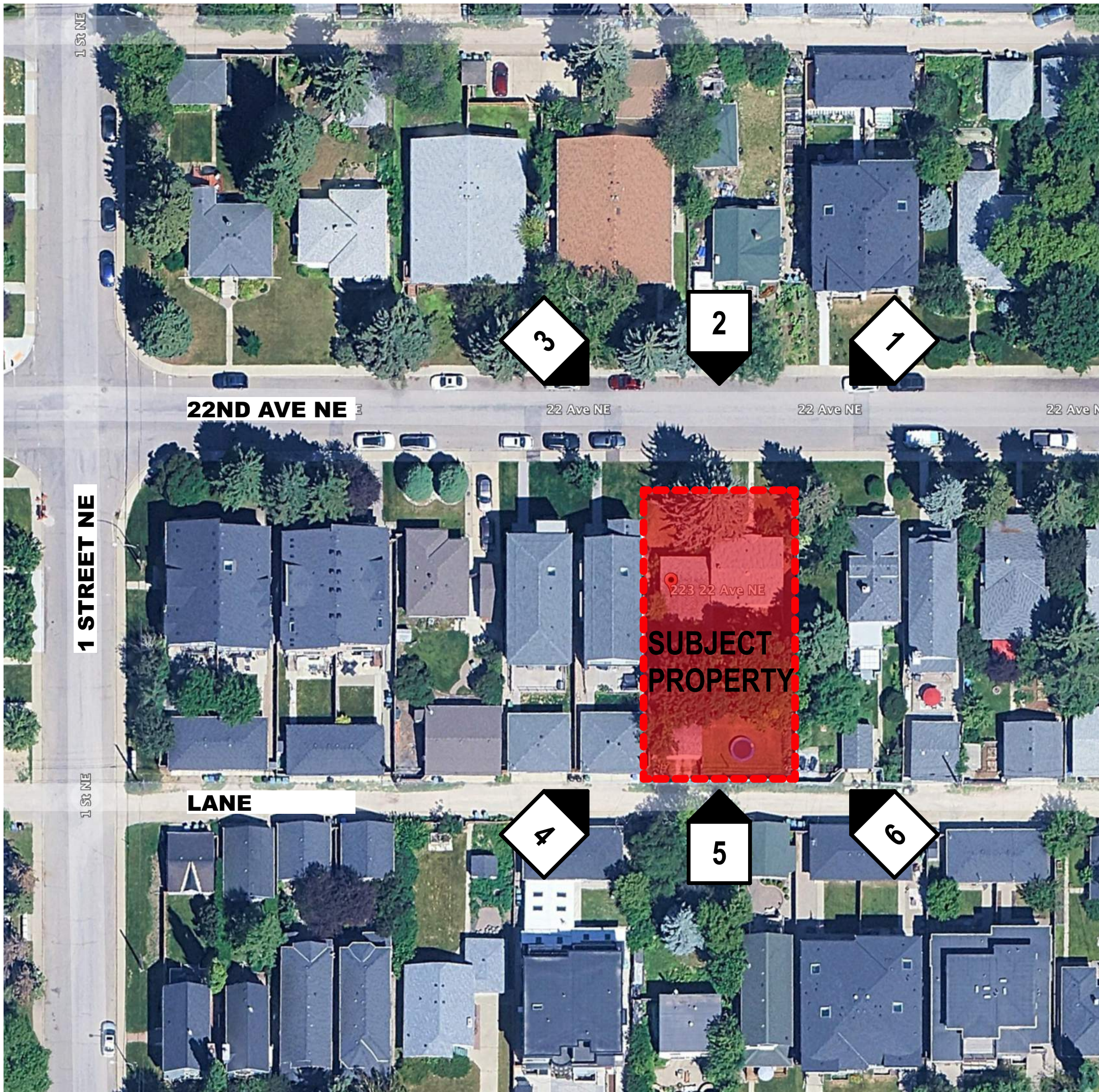
4 SW VIEW



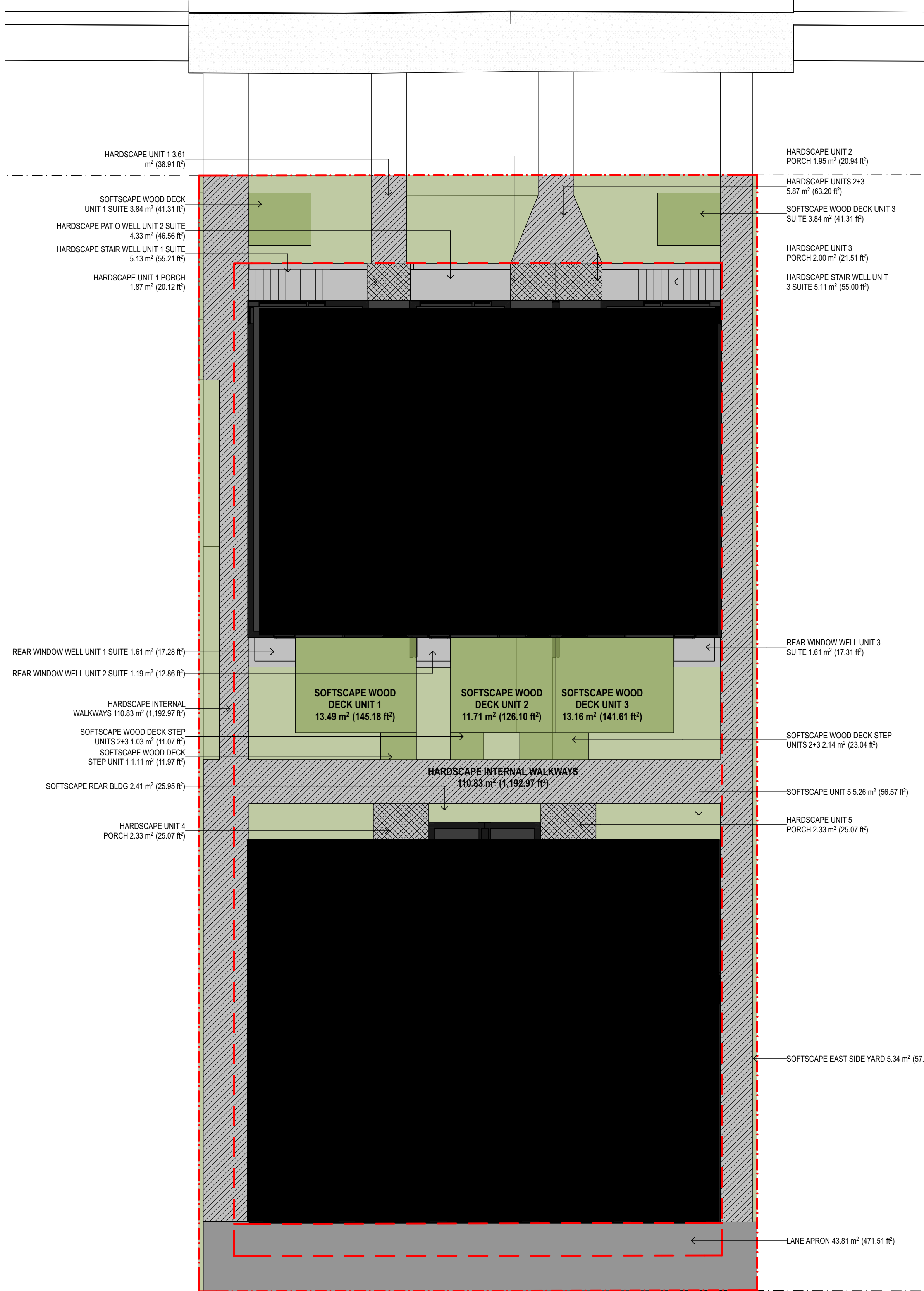
5 S VIEW



6 SE VIEW



1 BLOCK PLAN
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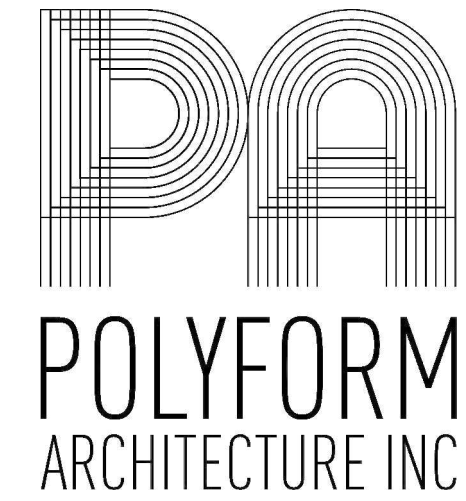


2 PARCEL COVERAGE PLAN
SCALE: 1:100

SITE COVERAGE PLAN LEGEND

	BUILDING COVERAGE
	HARD LANDSCAPING
	SOFT LANDSCAPING
	WOOD DECK / PATIO
	WINDOW WELL
	LANE APRON

PARCEL COVERAGE	COVERAGE TYPE	LOCATION	AREA (sq.ft.)	AREA (sq.m.)
BUILDING	FRONT BUILDING		2,005.68	186.33
	REAR BUILDING		2,296.18	213.32
			4,301.86	399.65
DRIVEWAY/PARKING	LANE APRON		471.51	43.81
			471.51	43.81
HARDSCAPE	HARDSCAPE INTERNAL WALKWAYS		1,192.97	110.83
	HARDSCAPE PATIO WELL UNIT 2 SUITE		46.56	4.33
	HARDSCAPE STAIR WELL UNIT 1 SUITE		55.21	5.13
	HARDSCAPE STAIR WELL UNIT 3 SUITE		55.00	5.11
	HARDSCAPE UNIT 1		38.91	3.61
	HARDSCAPE UNIT 1 PORCH		20.12	1.87
	HARDSCAPE UNIT 2 PORCH		20.94	1.95
	HARDSCAPE UNIT 3 PORCH		21.51	2.00
	HARDSCAPE UNIT 4 PORCH		25.07	2.33
	HARDSCAPE UNIT 5 PORCH		25.07	2.33
	HARDSCAPE UNITS 2+3		63.20	5.87
	REAR WINDOW WELL UNIT 1 SUITE		17.28	1.61
	REAR WINDOW WELL UNIT 2 SUITE		12.86	1.19
	REAR WINDOW WELL UNIT 3 SUITE		17.31	1.61
			1,612.01	149.77
SOFTSCAPE	SOFTSCAPE EAST SIDE YARD		57.48	5.34
	SOFTSCAPE REAR BLDG		25.95	2.41
	SOFTSCAPE UNIT 1 FRONT		94.05	8.74
	SOFTSCAPE UNIT 1 REAR		82.93	7.70
	SOFTSCAPE UNIT 2 FRONT		133.89	12.44
	SOFTSCAPE UNIT 2 REAR		12.09	1.12
	SOFTSCAPE UNIT 2 REAR		39.57	3.68
	SOFTSCAPE UNIT 3 FRONT		109.24	10.15
	SOFTSCAPE UNIT 3 REAR		82.67	7.68
	SOFTSCAPE UNIT 4		56.77	5.27
	SOFTSCAPE UNIT 5		56.57	5.26
	SOFTSCAPE WEST SIDE YARD		139.40	12.95
	SOFTSCAPE WOOD DECK STEP UNIT 1		11.97	1.11
	SOFTSCAPE WOOD DECK STEP UNITS 2+3		11.07	1.03
	SOFTSCAPE WOOD DECK STEP UNITS 2+3		23.04	2.14
	SOFTSCAPE WOOD DECK UNIT 1		145.18	13.49
	SOFTSCAPE WOOD DECK UNIT 1 SUITE		41.31	3.84
	SOFTSCAPE WOOD DECK UNIT 2		126.10	11.71
	SOFTSCAPE WOOD DECK UNIT 3		141.61	13.16
	SOFTSCAPE WOOD DECK UNIT 3 SUITE		41.31	3.84
			1,432.20	133.06
			7,817.58	726.29



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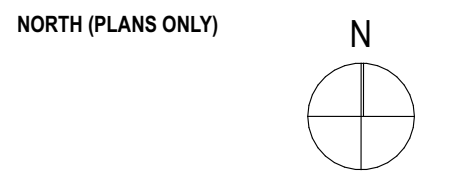
TUXEDO PARK TOWNHOMES

ADDRESS: 223 22ND AVE NE CALGARY AB T2E 1T6 CANADA
LEGAL: LOTS 53,54 AND E 12 OF LOT 58, BLOCK 4, PLAN 1367 0 W/ THE SE 1/4 SEC 27 TWP 24 RGE 1 W5N

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SNG DEVELOPMENT
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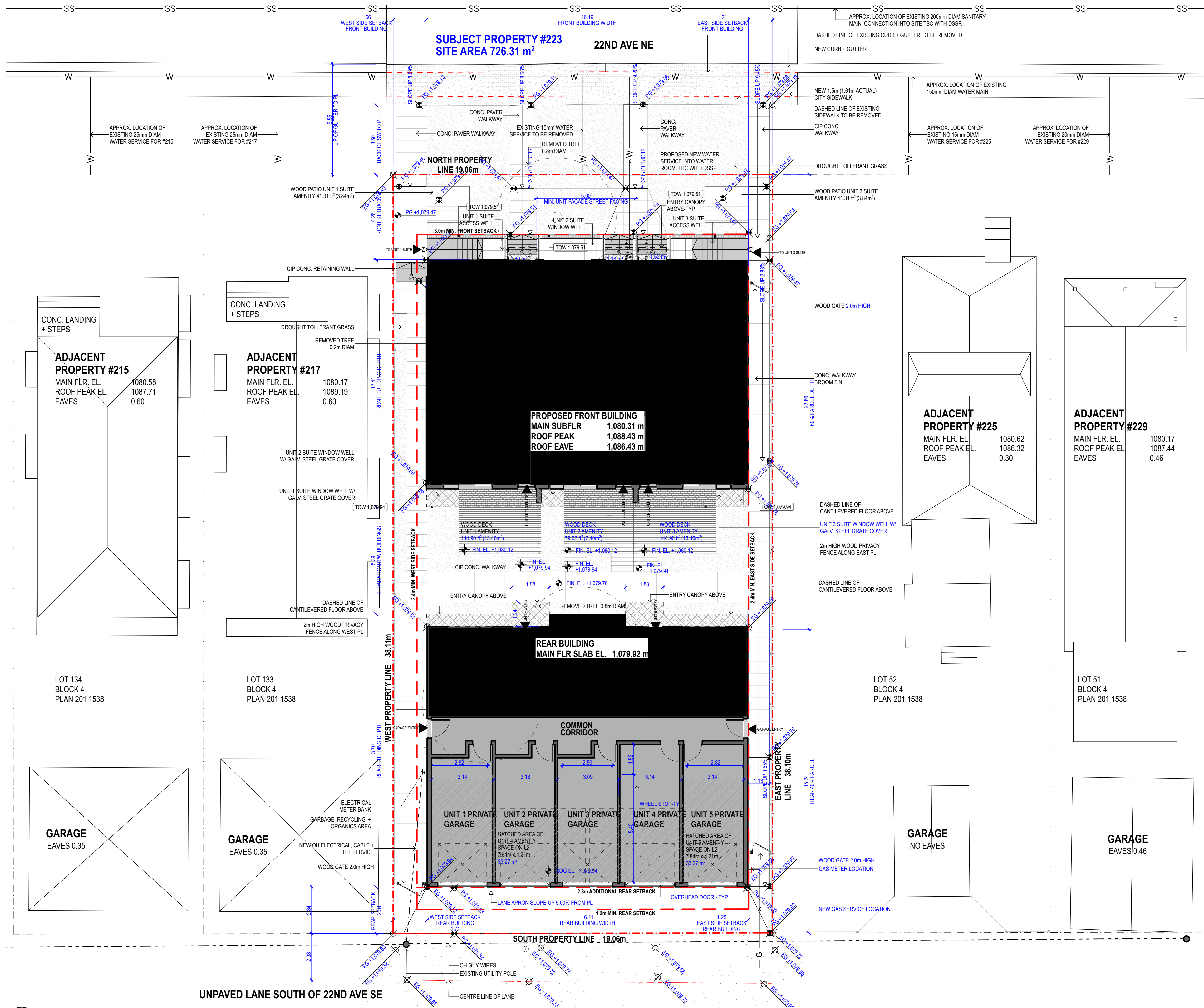
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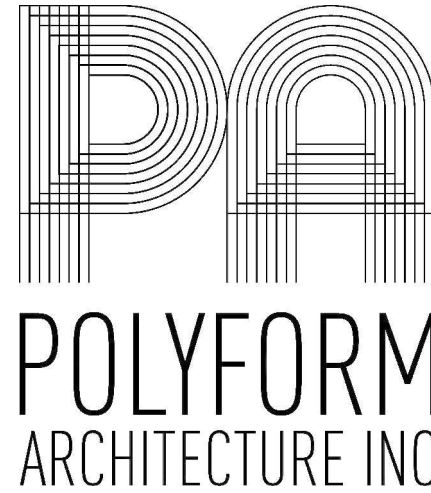
SITE CONTEXT + COVERAGE PLANS

A1.00



SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- TOPOGRAPHY CONTOUR LINES
Major and Minor Polyline
- BUILDING OUTLINE
- CIP CONC. PAVING
- ASPHALT PAVING
- PRE-CAST CONC. PAVERS 24"x24"
- WOOD DECK PRESSURE TREATED
- DRAUGHT TOLLERANT GRASSES
MIN. 300mm SOIL DEPTH
- PLANTING BED MIN. 600mm SOIL DEPTH
- CHAINLINK FENCE
- WOOD FENCE F-1
- TREE PROTECTION
- WATER SERVICE
- NATURAL GAS SERVICE
- SANITARY SERVICE
- STORM SERVICE
- UTILITY POLE
- OVERHEAD GUY WIRES



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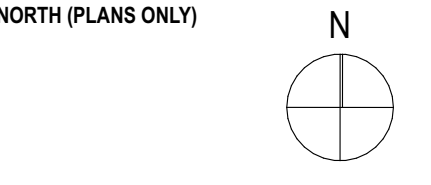
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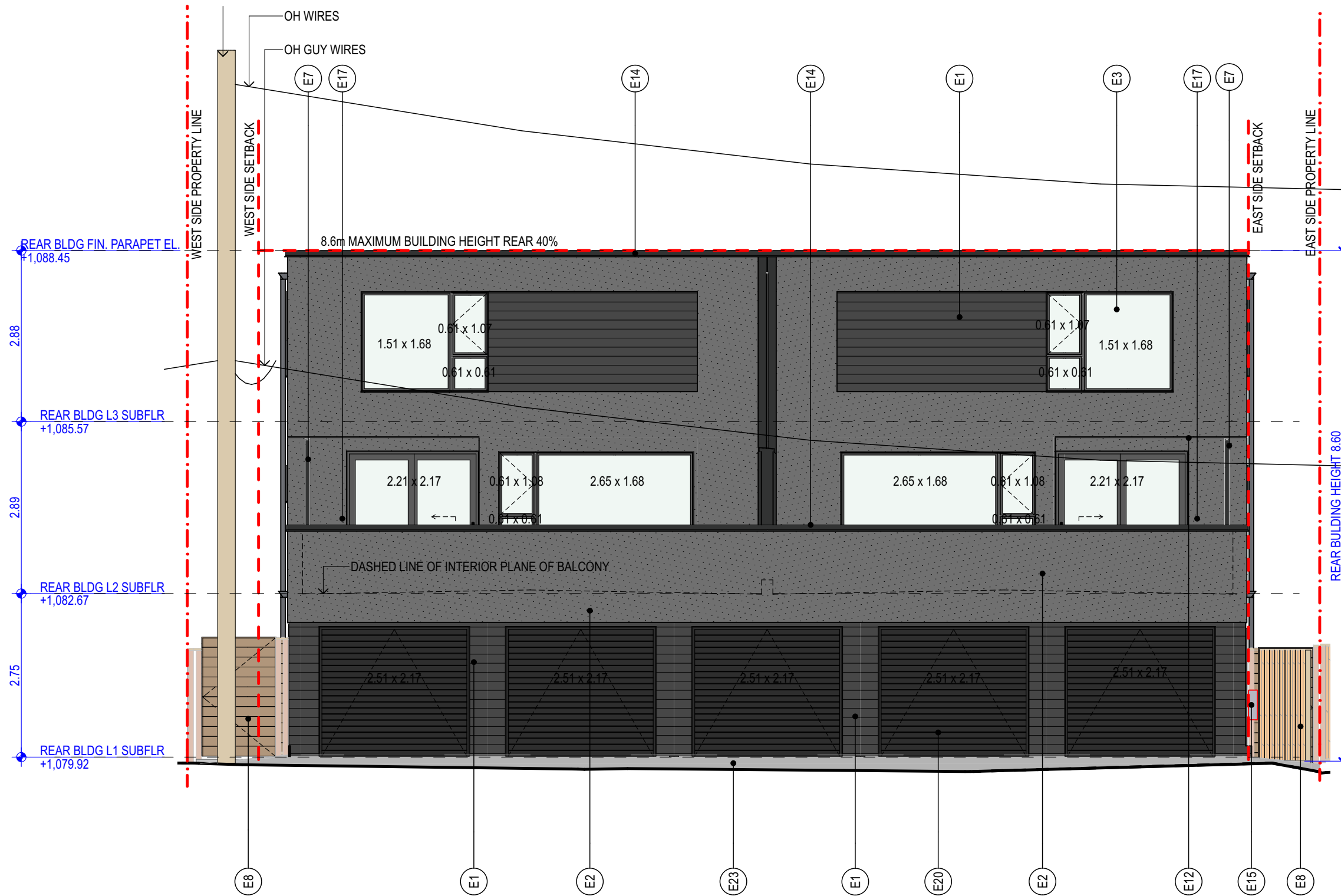
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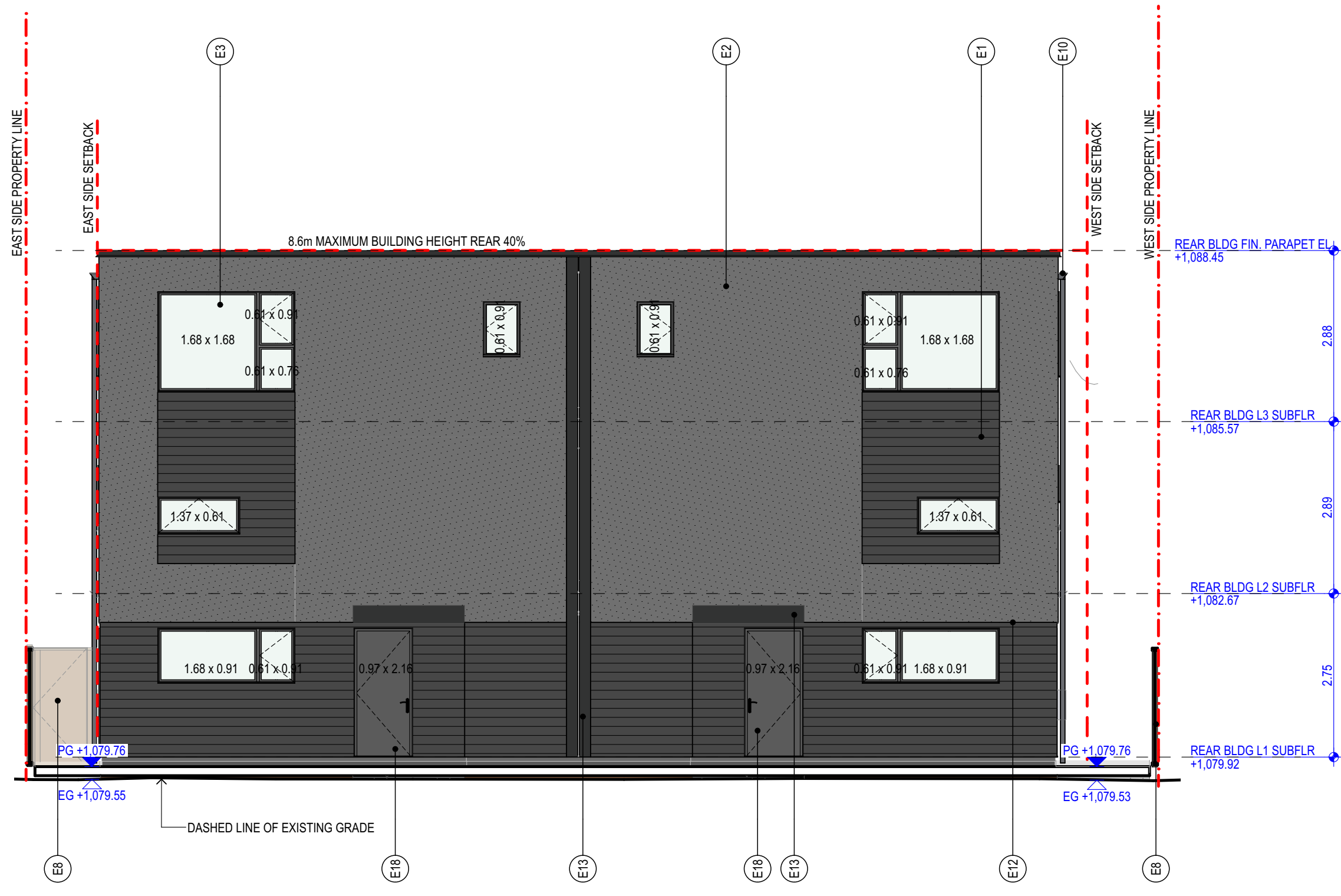
1 S1 SOUTH ELEVATION - FRONT BLDG
SCALE: 1:75



2 N PROPOSED NORTH ELEVATION - FRONT BLDG
SCALE: 1:75

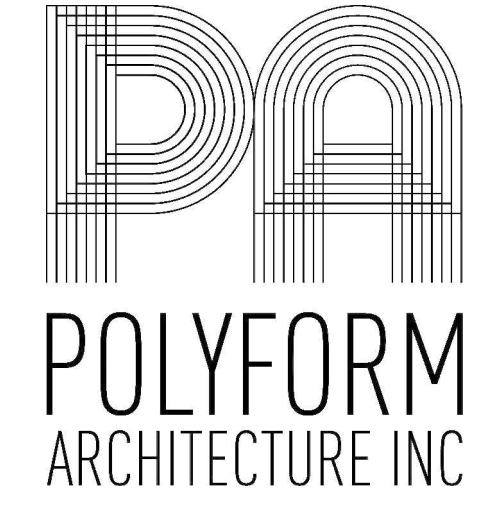


3 S PROPOSED SOUTH ELEVATION - REAR BLDG
SCALE: 1:75



4 N1 PROPOSED NORTH ELEVATION - REAR BLDG
SCALE: 1:75

- E1 HORIZONTAL FIBRE-CEMENTITIOUS LAP SIDING - BLACK
- E2 STUCCO CLADDING - GREY
- E3 DOUBLE GLAZED VINYL WINDOWS OR PATIO DOOR
- E4 ARCHITECTURAL CONCRETE - SEALED FIN.
- E5 ASPHALT SHINGLE ROOF - DARK GREY
- E6 TOP MOUNTED ALUMINUM PICKET GUARD
- E7 SIDE MOUNTED ALUMINUM PICKET GUARD / SCREEN
- E8 WOOD PANEL PRIVACY FENCE OR GATE 2.0m HIGH
- E9 METAL GUTTER OR SCUPPER DRAIN
- E10 METAL RAIL
- E11 T&G WOOD SOFFIT - NATURAL STAIN
- E12 METAL TRIM - CHARCOAL
- E13 CAP FLASHING - CHARCOAL
- E14 GAS METER
- E15 POWDER COATED METAL PLANTER
- E16 ENTRY DOOR - PAINTED GREY/CHARCOAL
- E17 HORIZONTAL FIBRE-CEMENT SIDING - NATURAL WOOD COLOUR
- E18 OVERHEAD GARAGE DOOR - DARK GREY / CHARCOAL
- E19 PRESSURE TREATED WOOD DECK
- E20 ASPHALT LANE APRON
- E21 EXT. UNIT STAIRS: P.T. WOOD STRINGERS W/ PRECAST TREADS



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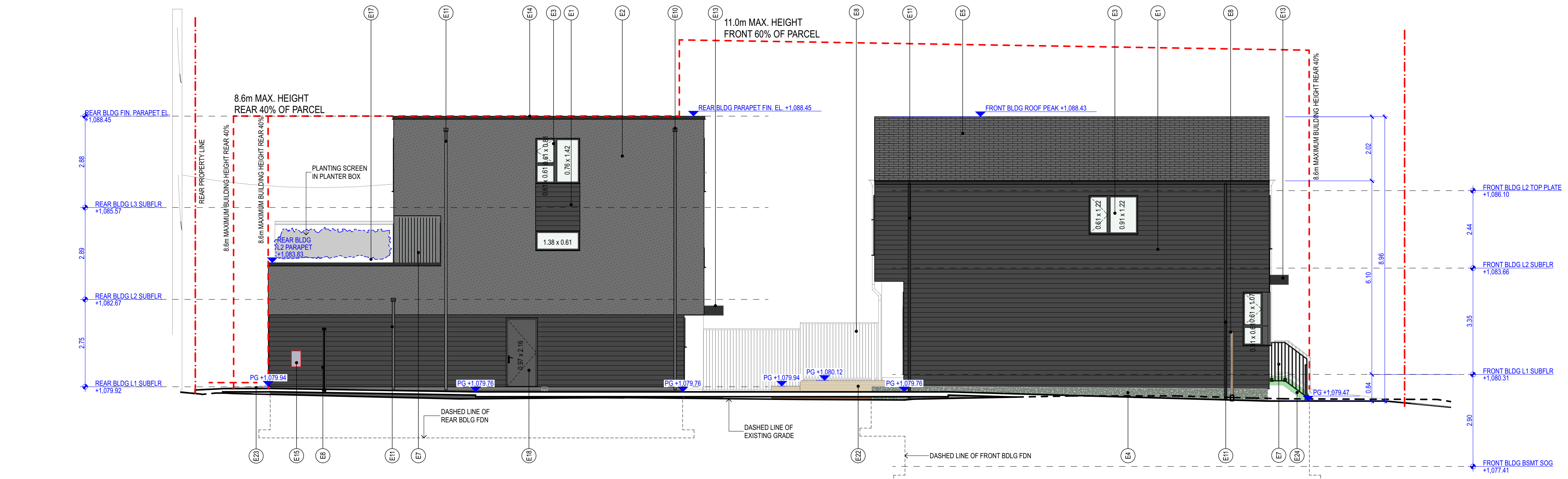


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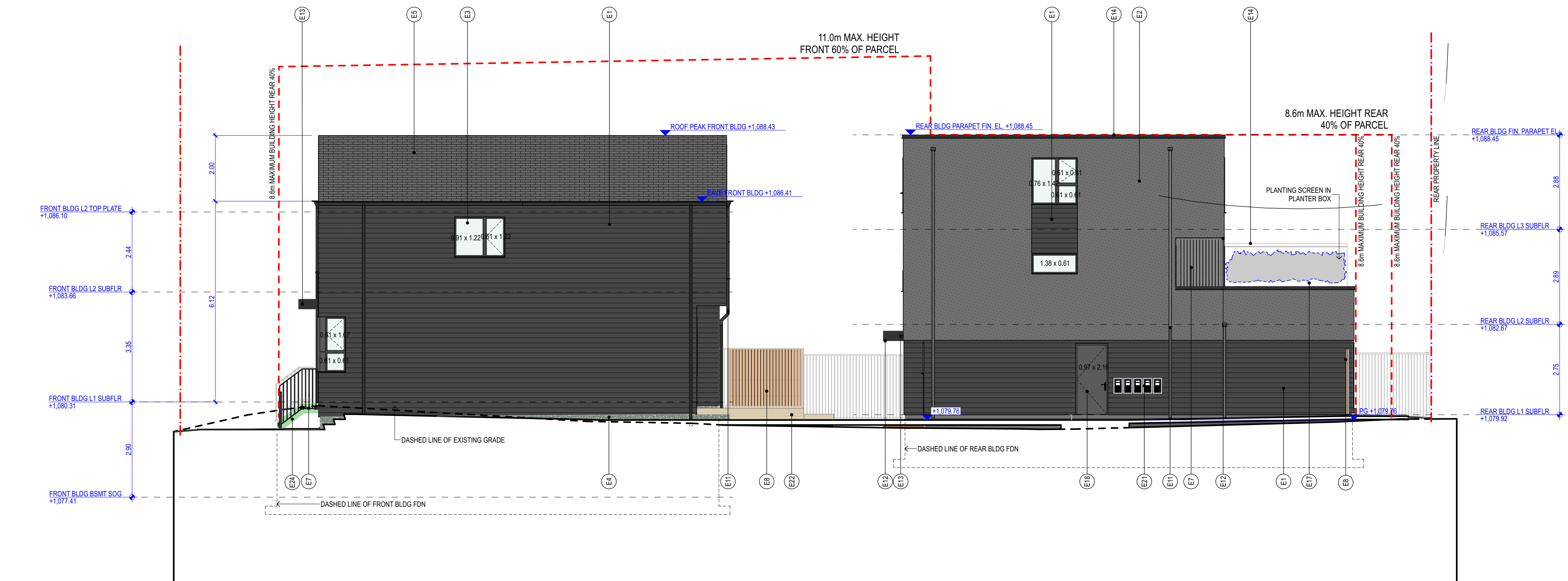
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PROPOSED NORTH + SOUTH ELEVATIONS

A3.01

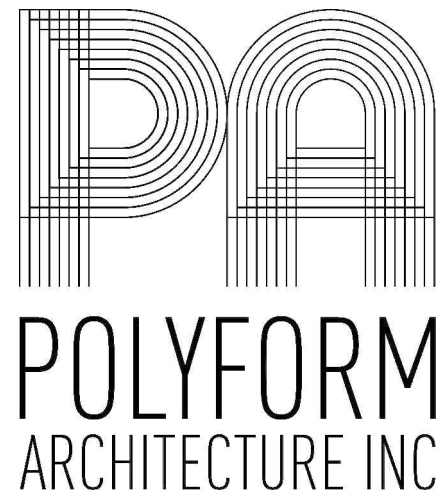


1 PROPOSED EAST ELEVATION
SCALE: 1:75



2 PROPOSED WEST ELEVATION
SCALE: 1:75

MATERIALS LEGEND	
E1	HORIZONTAL FIBRE-CEMENTITIOUS LAP SIDING - BLACK
E2	STUCCO CLADDING - GREY
E3	DOUBLE GLAZED VINYL WINDOWS OR PATIO DOOR
E4	ARCHITECTURAL CONCRETE - SEALED FIN.
E5	ASPHALT SHINGLE ROOF - DARK GREY
E7	SIDE MOUNTED ALUMINUM PICKET GUARD / SCREEN
E8	WOOD PANEL PRIVACY FENCE OR GATE 2.0m HIGH
E10	METAL GUTTER OR SCUPPER DRAIN
E11	METAL RWL
E12	T&G WOOD SOFFIT - NATURAL STAIN
E13	METAL TRIM - CHARCOAL
E14	CAP FLASHING - CHARCOAL
E15	GAS METER
E17	POWDER COATED METAL PLANTER
E18	ENTRY DOOR - PAINTED GREY/CHARCOAL
E21	ELECTRICAL METERS
E22	PRESSURE TREATED WOOD DECK
E23	ASPHALT LANE APRON
E24	EXT. UNIT STAIRS; P.T. WOOD STRINGERS W/ PRECAST TREADS



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PROPOSED EAST + WEST ELEVATIONS

A3.02