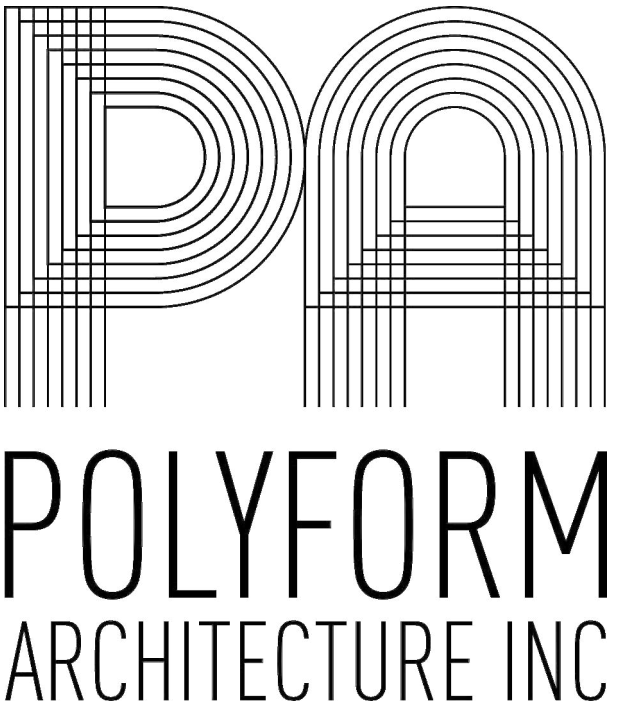


ARCHITECT:
BENJAMIN FISHER, PRINCIPAL ARCHITECT, AAA AIBC
POLYFORM ARCHITECTURE INC.
INFO@POLYFORMARCHITECTURE.CA
WWW.POLYFORMARCHITECTURE.CA



CLIENT:
SNG-DEVELOPMENT GROUP INC.
CALGARY, AB
NICK SHERBY, PRESIDENT & CFO
OFFICE@SNG-DEVELOPMENT.COM



TUXEDO PARK TOWNHOMES

223 22ND AVE NE CALGARY AB T2E 1T6 CANADA

LOTS 53,54 AND E 1/2 OF LOT 55, BLOCK 4, PLAN

1367 0 W/I THE SE 1/4 SEC 27 TWP 24 RGE 1 W5M

ISSUED FOR DEVELOPMENT PERMIT PRIOR TO 2026-05-08

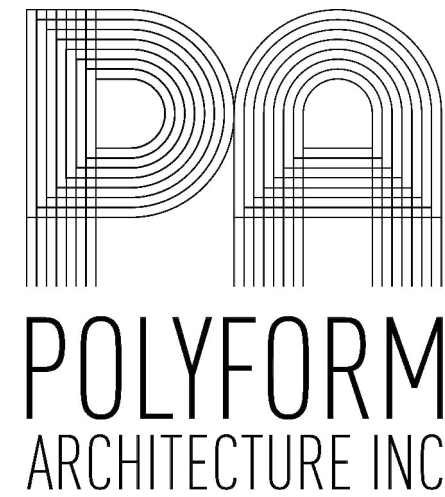


SHEET INDEX

A0 GENERAL	
A0.0	COVER SHEET
A0.1	PROJECT INFO
A0.2	GENERAL NOTES
A0.3	PLANNING ANALYSIS RATIONALE
A0.4	PERSPECTIVES
A0.5	CONTEXT STREETSCAPE + WINDOW STUDY
A1.0 SITE PLANS	
A1.00	SITE CONTEXT + COVERAGE PLANS
A1.01	PROPOSED SITE / BLOCK PLAN
A1.02	PROPOSED LANDSCAPE + GRADING PLAN
A1.03	SITE REVIEW PLAN
A1.04	SITE SURVEY (REFERENCE ONLY)
A1.1 AREA PLANS	
A1.11	AREA PLANS
A2.0 FLOOR PLANS 1:75	
A2.01	PROPOSED BASEMENT PLAN
A2.02	PROPOSED GROUND + 2ND FLOOR PLAN
A2.03	PROPOSED 3RD FLOOR + ROOF PLAN
A3.0 BUILDING ELEVATIONS	
A3.01	PROPOSED NORTH + SOUTH ELEVATIONS
A3.02	PROPOSED EAST + WEST ELEVATIONS
A4.0 BUILDING SECTIONS	
A4.01	BUILDING SECTIONS

PLANNING ANALYSIS RATIONALE

FIVE-UNIT TOWNHOUSE + 3 SECONDARY SUITE DEVELOPMENT – 223 22 ND AVE NE, TUXEDO PARK, CALGARY



Copyright. All rights reserved. Reproduction in whole or in part is prohibited.
Drawings and Specifications as instruments of service are and shall remain the property of the Architect and may not be used in any way without written permission. They are not to be reproduced, used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, procedures, or safety precautions and programs in connection with the project.

CONTACT
BENJAMIN FISHER
PRINCIPAL ARCHITECT, AAAAIBC
POLYFORM ARCHITECTURE INC.
INFO@POLYFORMARCHITECTURE.CA
WWW.POLYFORMARCHITECTURE.CA

PROJECT 2510

TUXEDO PARK TOWNHOMES

CLIENT
SNG DEVELOPMENT
909-17 AVE SW
CALGARY
CANADA T2T 0A4

STAMP

ISSUES / REVISIONS		
ID	DESCRIPTION	DATE
01	ISSUED FOR DEVELOPMENT PERMIT	2026-03-22
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-05-08

DWG STATUS	
DATE	2026-05-11 7:05 AM
MODIFIED BY	
CHECKED BY	
SCALE	AS NOTED
SHEET NAME	

PLANNING ANALYSIS RATIONALE

A0.3

1. PROJECT OVERVIEW, LOCATION AND DESIGN INTENT

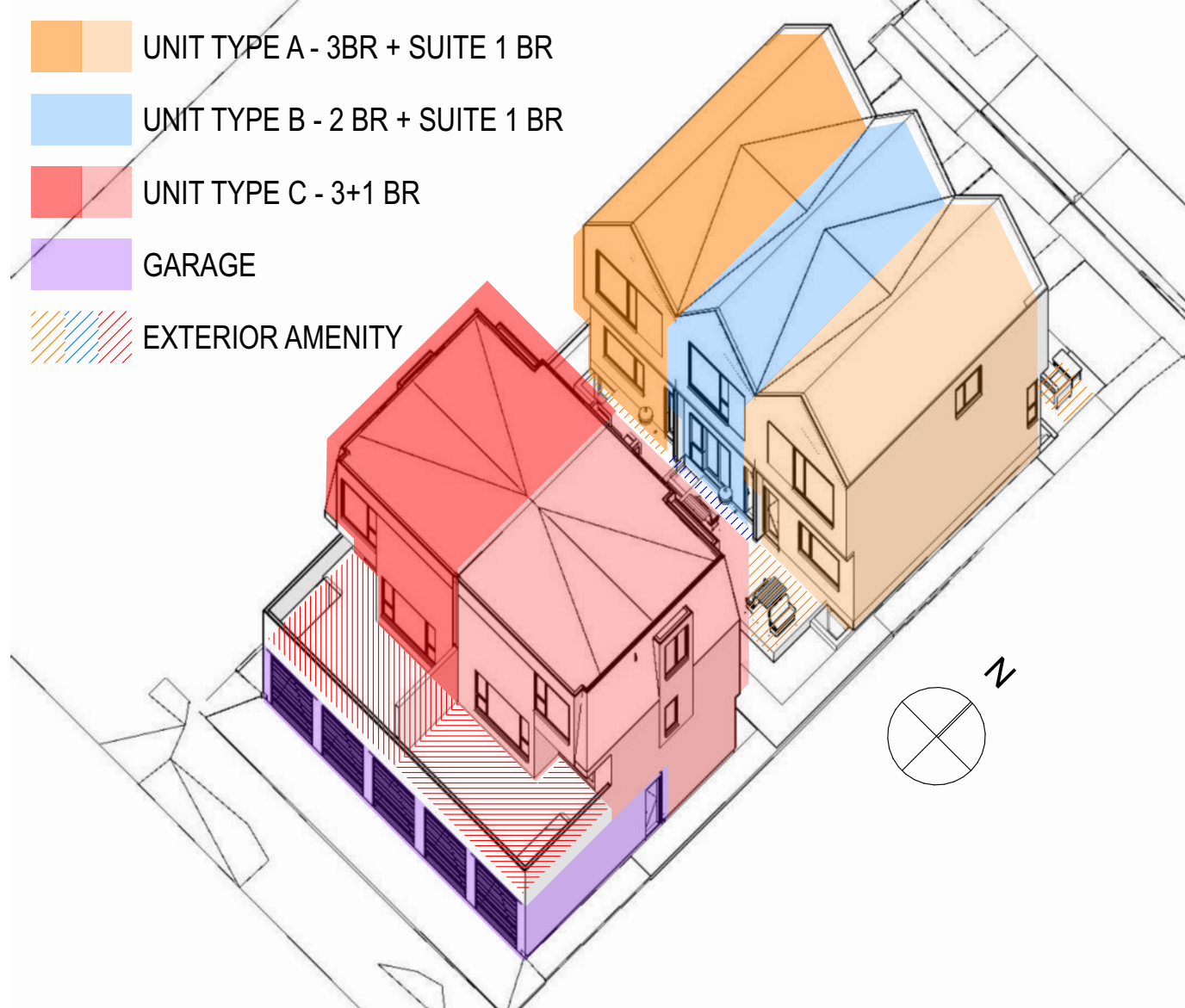
This project proposes a thoughtfully designed **five-unit townhouse development** within the established inner-city neighbourhood of **Tuxedo Park**. The intent of the design is to deliver family-oriented, ground-oriented townhomes that respond sensitively to the surrounding residential context while making efficient and responsible use of an infill site governed by the RC-G Land Use District. The project is organized in two buildings:

- A **front building** addressing 22nd Ave NE, and containing three (3) dwelling units with three (3) secondary suites.
- A **rear building** with main access via a shared internal courtyard and pedestrian mews, and fronting on the lane South of 22nd Ave NE. The rear building contains two (2) dwelling units and five (5) private enclosed garages with a common access corridor.

This configuration reinforces a strong street presence while allowing the interior of the site to function as a **semi-private, landscaped and private / semi-private space**, supporting both neighbourly interaction and family living.

The proposed project uses the benefits of the street-oriented townhome façade to enhance the streetscape and provide welcoming entrances for the front building units. All three of the units facing the street have doors and recessed front porches that face 22nd Ave to create a welcoming rhythm.

The rear building is tucked behind the front building however it faces a proposed 5.39m wide courtyard designed with a sidewalk, amenity spaces and landscaping. These entrances have a more private feel but will still have a street-like appearance with the internal sidewalk, front porches and landscaping that is proposed.



AXONOMETRIC DIAGRAM OF THE DWELLING UNIT ARRANGEMENTS ON THE PARCEL

2. FAMILY-ORIENTED LIVING AND OUTDOOR AMENITY STRATEGY

A central design driver for this project is the creation of **livable homes suitable for families**, which is increasingly important in inner-city neighbourhoods where outdoor space is often limited.

Rather than relying solely on small, fragmented ground-level yards, the project strategically places large, **private outdoor amenity spaces above the attached garages** of the rear building.

Placing the will beThis approach allows:

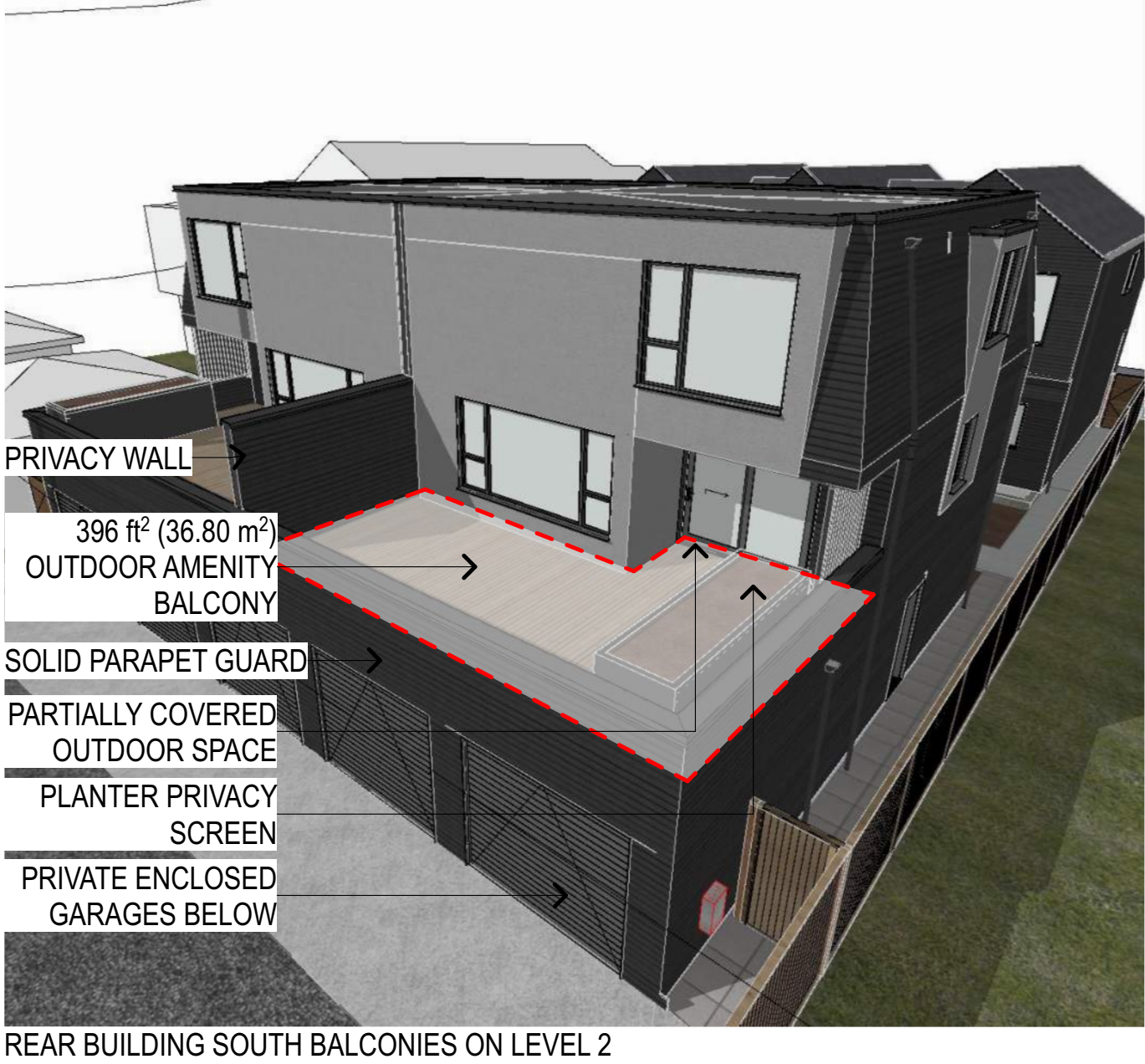
- meaningful, useable outdoor spaces sized appropriately for families, while giving more of the courtyard side over to the front building units to have their own sizeable and usable outdoor amenity space,
- improved sunlight access and privacy compared to grade-level yards, and
- efficient use of site area without increasing building footprint or site coverage.

These elevated outdoor spaces function as extensions of the primary living areas located on the second storey and are designed to support everyday family use, including play, gathering, and outdoor dining.

By placing these amenity spaces on the roof of the first storey and above the garage volume, the design prioritizes quality of life and livability without compromising the pedestrian-scaled character of the development.

The fire separations and sprinkler requirements per NBC-AE for the rear building will be maintained between the attached garage and the adjacent dwelling units.

Solid parapet walls and a privacy demising wall between units (per Section 340 (3) or the zoning bylaw) provide privacy from the public lane and allow the residents to feel safe and secure.



REAR BUILDING SOUTH BALCONIES ON LEVEL 2

3. NEIGHBOURHOOD FIT AND BUILT FORM

The overall massing, roof forms, and building scale are consistent with the evolving character of Tuxedo Park, where small-scale multi-residential infill is increasingly present.

The project maintains a residential scale through:

- Massing and articulated building volumes,
- Pitched roof forms that reflect nearby housing typologies and roof peak heights,
- A clear distinction between public, semi-private, and private outdoor spaces.

The massing of the proposed development has been carefully considered in direct response to the immediate neighbouring properties, the public street, the rear lane condition and the maximum permitted building height.

For example, along the West Property Line, the rear building is intentionally designed to be comparable in overall height and scale to the existing adjacent residential building.

The adjacent roof peak is at 1089.19m above sea level while the front and rear buildings of the proposed development are 1088.17m and 1090.05m respectively.

This response ensures a consistent built form condition and avoids introducing an abrupt change in massing at the shared property line. The modest height relaxation requested results in a rear building that exceeds the established height of the neighbouring structure by 0.86m (2.82') and therefore maintains a compatible and respectful relationship between developments and the streetscape.

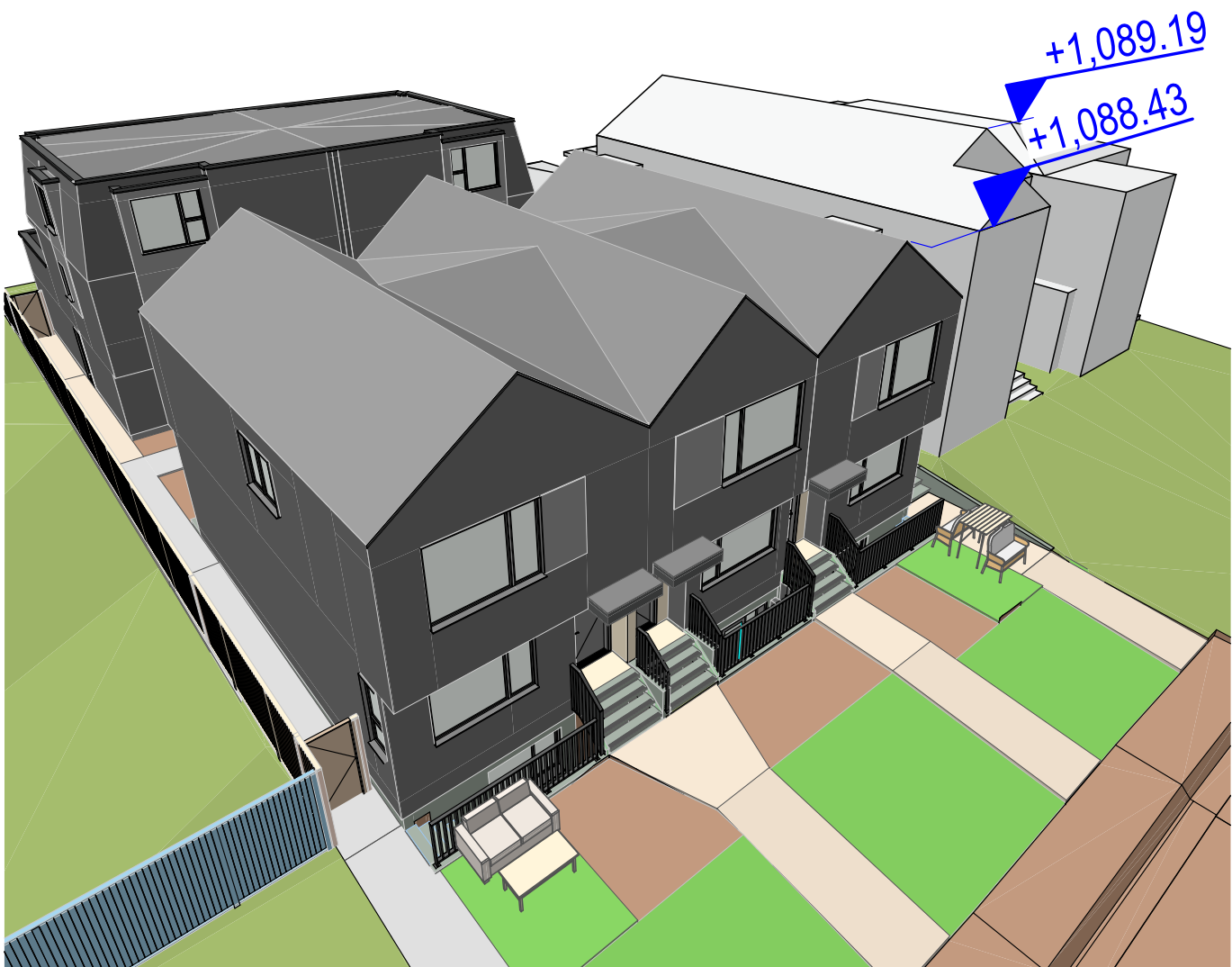
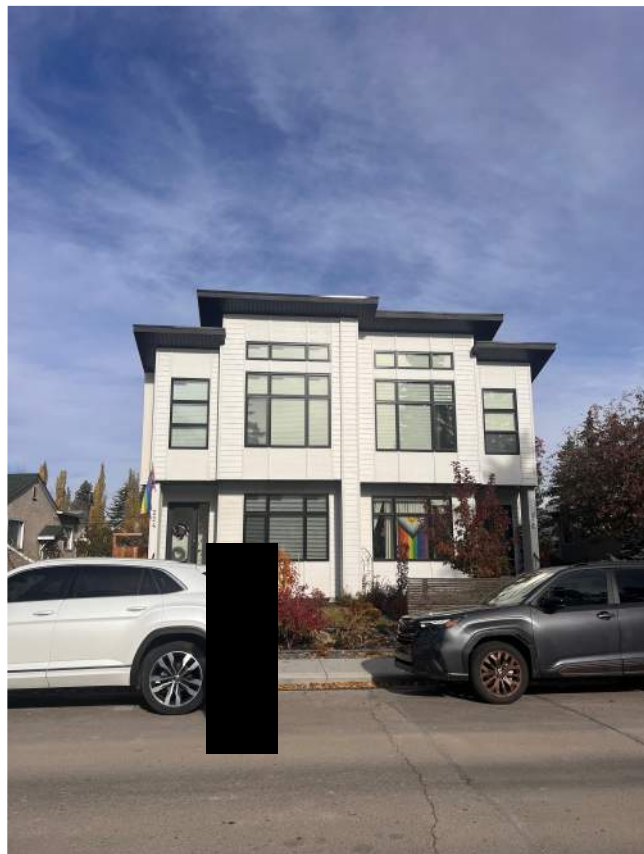


DIAGRAM SHOWING ROOF PEAK HEIGHTS IN RELATION TO THE ADJACENT NEIGHBOUR TO THE WEST

Across the street, the front building scale and massing addresses the public realm and aligns with the **recently constructed duplex homes**. The building height, roof forms, and overall massing reflect the evolving character of Tuxedo Park, where duplex and townhouse developments are increasingly prevalent and supported forms of infill. This consistency contributes to a cohesive and well-scaled streetscape.



DUPLEX ACCROSS THE STREET AT 224/226 22ND AVE NE



TWO STOREY AND GABLE ROOF DUPLEX BUILDINGS DOWN THE STREET AT 254 - 260 22ND AVE NE

In addition, the rear building is setback 6.25 metres from the lane at level 2, a distance that exceeds what is typically required for a rear building in the RC-G zone. This significantly reduces the perceived massing along the lane edge. This generous setback creates a softer transition between the building and the public lane, improves light penetration, and allows for the large amenity balconies to be located above the garage. As a result, the lane interface reads at a more pedestrian scale and residential character rather than visually dominated by built form.



RENDERING FROM 22ND AVE NE LOOKING SOUTH WEST.

ALL RENDERINGS, PERSPECTIVES AND IMAGES ARE FOR ILLUSTRATIVE CONCEPT PURPOSES ONLY, SITE ITEMS MAY VARY AS PER SITE DEVELOPMENT. ACTUAL COLOURS AND FINISHES MAY VARY AS PER FINAL SELECTION BY CONTRACTOR AND / OR OWNER.



LANE VIEW SHOWING THE 20.51' (6.25m) SECOND STOREY SETBACK FOR THE REAR BUILDING FROM THE REAR (LANE) PROPERTY LINE

4. CONCLUSION

This five-unit townhouse development demonstrates how thoughtful design can balance **gentle density, family-oriented housing, and neighbourhood compatibility** within the RC-G Land Use District.

The requested 1.64 m rear height relaxation is limited in scope and essential to achieving high-quality, livable homes with meaningful outdoor amenity space. The design makes efficient use of the site, minimizes impacts on the public realm and neighbouring properties, and will contribute positively to the ongoing evolution of Tuxedo Park as a diverse, family-friendly inner-city community.



3 LANE PERSPECTIVE



1 FRONT PERSPECTIVE



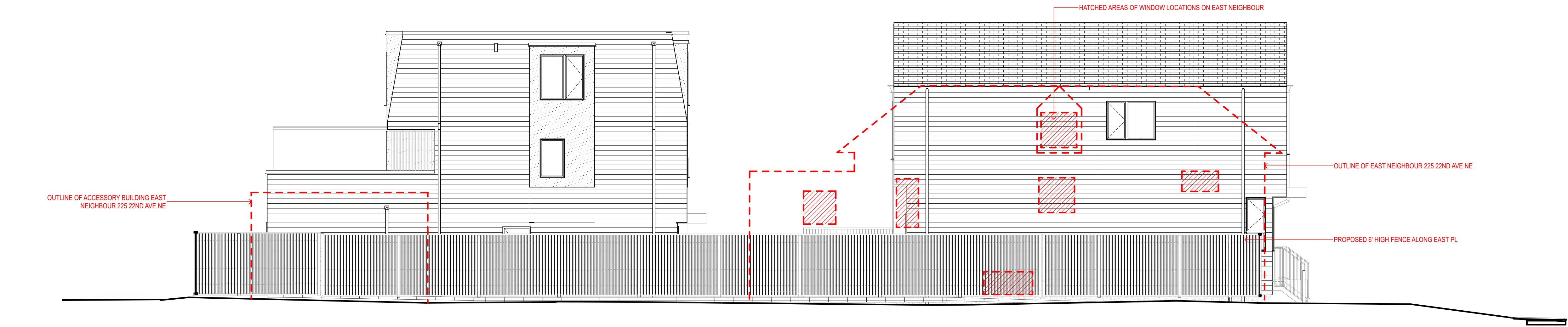
4 REAR BUILDING



2 AERIAL LOOKING WEST

ISSUES / REVISIONS		
ID	DESCRIPTION	DATE
01	ISSUED FOR DEVELOPMENT PERMIT	2026-03-22
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-05-08

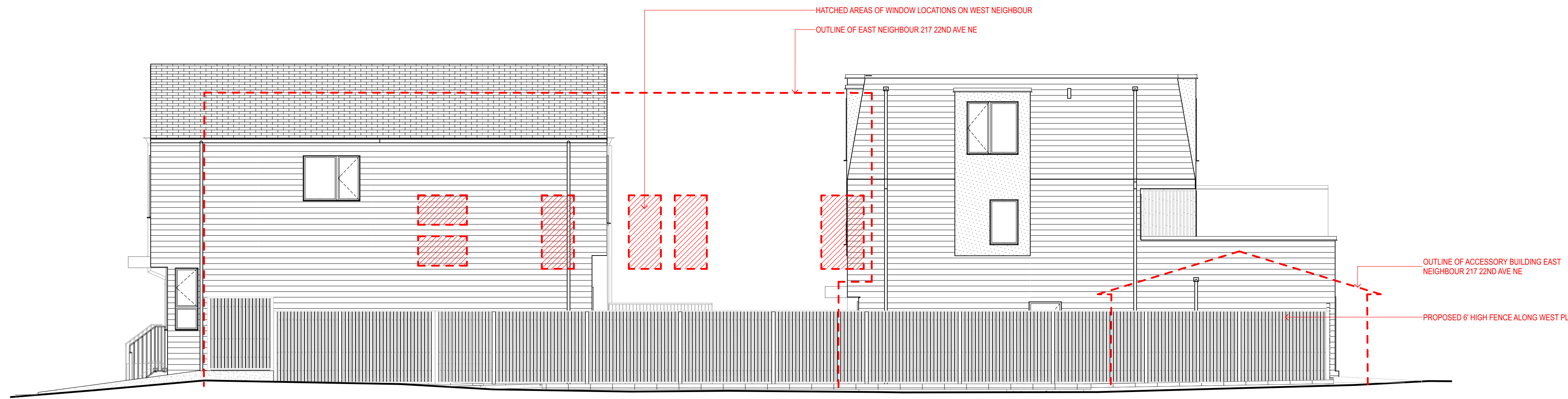
DWG STATUS	
DATE	2026-05-11 7:05 AM
MODIFIED BY	
CHECKED BY	
SCALE	AS NOTED
SHEET NAME	PERSPECTIVES



1 EAST ELEVATION - WINDOW PLACEMENT STUDY
SCALE: 1:75



2 NORTH ELEVATION - STREETSCAPE
SCALE: 1:75



3 WEST ELEVATION - WINDOW PLACEMENT STUDY
SCALE: 1:75

CONTACT

BENJAMIN FISHER
PRINCIPAL ARCHITECT, AAAAIBC
POLYFORM ARCHITECTURE INC.
INFO@POLYFORMARCHITECTURE.CA
WWW.POLYFORMARCHITECTURE.CA

PROJECT 2510

TUXEDO PARK
TOWNHOMES

CLIENT
SNG DEVELOPMENT
909-17 AVE SW
CALGARY
CANADA T2T 0A4

STAMP

ISSUES / REVISIONS			DATE
ID	DESCRIPTION		
01	ISSUED FOR DEVELOPMENT PERMIT		2026-03-22
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO		2026-05-08

DWG STATUS

DATE 2026-05-11 7:05 AM

MODIFIED BY

CHECKED BY AS NOTED

SCALE AS NOTED

SHEET NAME

CONTEXT
STREETSCAPE +
WINDOW STUDY

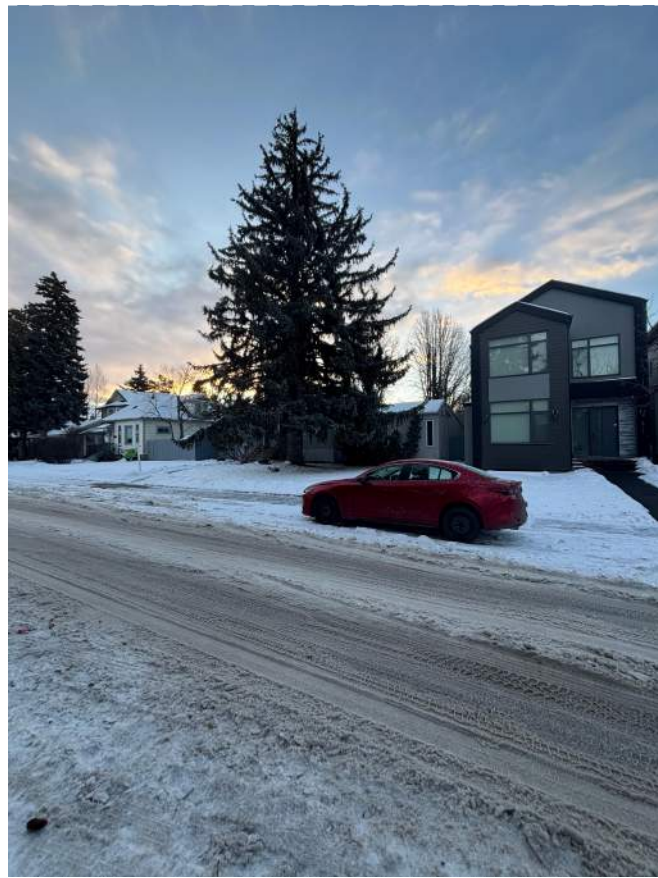
A0.5



1 NE VIEW



2 N VIEW



3 NW VIEW



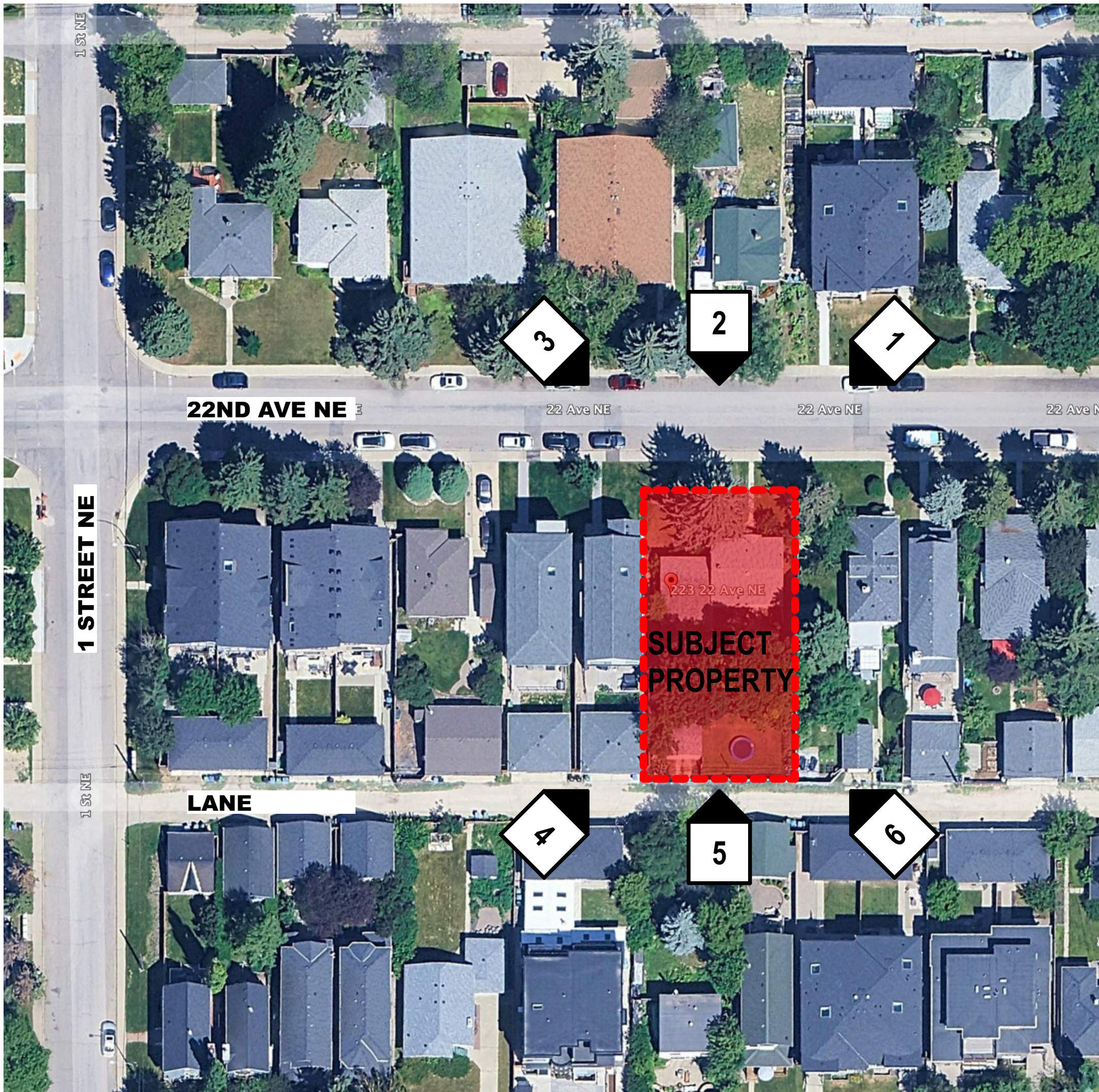
4 SW VIEW



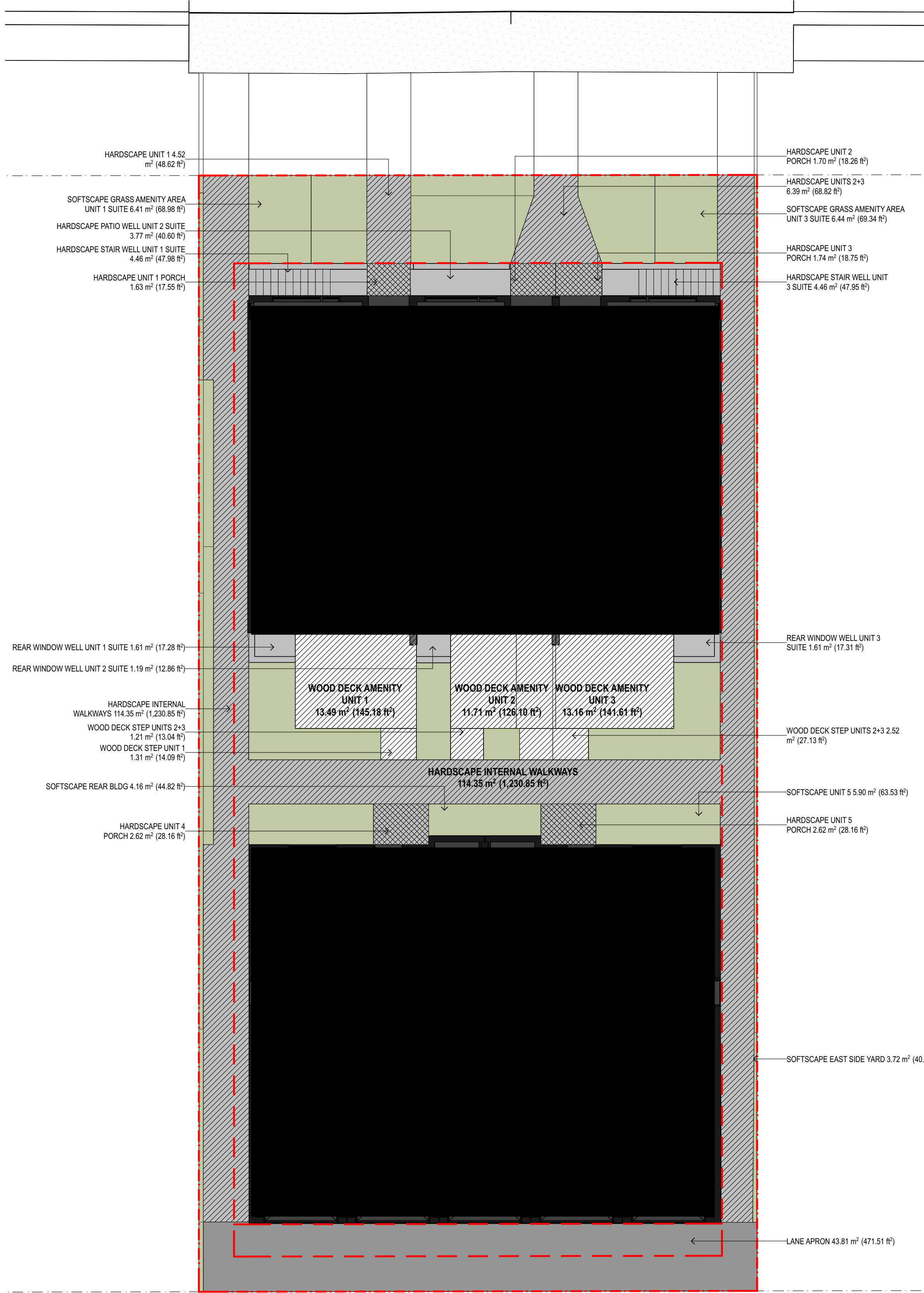
5 S VIEW



6 SE VIEW



1 BLOCK PLAN
SCALE: 1:500

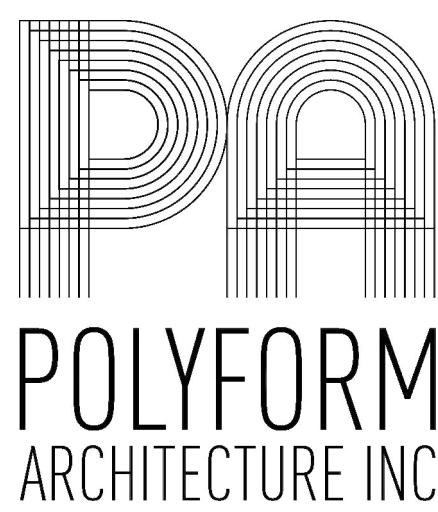


2 PARCEL COVERAGE PLAN
SCALE: 1:100

SITE COVERAGE PLAN LEGEND

	BUILDING COVERAGE
	HARD LANDSCAPING
	SOFT LANDSCAPING
	WOOD DECK / PATIO
	WINDOW WELL
	LANE APRON

PARCEL COVERAGE		AREA (sq.ft.)	AREA (sq.m.)
COVERAGE TYPE	LOCATION		
BUILDING	FRONT BUILDING	2,005.68	186.33
	REAR BUILDING	2,257.17	209.70
		4,262.85	396.03
DRIVEWAY/PARKING	LANE APRON	471.51	43.81
		471.51	43.81
HARDSCAPE	HARDSCAPE INTERNAL WALKWAYS	1,230.85	114.35
	HARDSCAPE PATIO WELL UNIT 2 SUITE	40.60	3.77
	HARDSCAPE STAIR WELL UNIT 1 SUITE	47.98	4.46
	HARDSCAPE STAIR WELL UNIT 3 SUITE	47.95	4.46
	HARDSCAPE UNIT 1	48.62	4.52
	HARDSCAPE UNIT 1 PORCH	17.55	1.63
	HARDSCAPE UNIT 2 PORCH	18.26	1.70
	HARDSCAPE UNIT 3 PORCH	18.75	1.74
	HARDSCAPE UNIT 4 PORCH	28.16	2.62
	HARDSCAPE UNIT 5 PORCH	28.16	2.62
	HARDSCAPE UNITS 2+3	68.82	6.39
	REAR WINDOW WELL UNIT 1 SUITE	17.28	1.61
	REAR WINDOW WELL UNIT 2 SUITE	12.86	1.19
	REAR WINDOW WELL UNIT 3 SUITE	17.31	1.61
	WOOD DECK AMENITY UNIT 1	145.18	13.49
	WOOD DECK AMENITY UNIT 2	126.10	11.71
	WOOD DECK AMENITY UNIT 3	141.61	13.16
	WOOD DECK STEP UNIT 1	14.09	1.31
	WOOD DECK STEP UNITS 2+3	27.13	2.52
		2,097.26	194.86
SOFTSCAPE	SOFTSCAPE EAST SIDE YARD	40.03	3.72
	SOFTSCAPE GRASS AMENITY AREA UNIT 1 SUITE	68.98	6.41
	SOFTSCAPE GRASS AMENITY AREA UNIT 3 SUITE	69.34	6.44
	SOFTSCAPE REAR BLDG	44.82	4.16
	SOFTSCAPE UNIT 1 FRONT	61.46	5.71
	SOFTSCAPE UNIT 1 REAR	90.80	8.44
	SOFTSCAPE UNIT 2 FRONT	126.27	11.73
	SOFTSCAPE UNIT 2 REAR	14.24	1.32
	SOFTSCAPE UNIT 2 REAR	41.60	3.86
	SOFTSCAPE UNIT 3 FRONT	75.16	6.98
	SOFTSCAPE UNIT 3 REAR	90.51	8.41
	SOFTSCAPE UNIT 4	63.75	5.92
	SOFTSCAPE UNIT 5	63.53	5.90
	SOFTSCAPE WEST SIDE YARD	122.28	11.36
	WOOD DECK STEP UNITS 2+3	13.04	1.21
		985.81	91.57
		7,817.43	726.27



Copyright. All rights reserved. Reproduction in whole or in part is prohibited.
Drawings and Specifications as instruments of service are and shall remain the property of the Architect and may not be used in any way without written permission. They are not to be reproduced, copied, or otherwise used for any purpose other than that for which they were prepared, without the written consent of the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, procedures, or safety precautions and programs in connection with the project.

CONTACT
BENJAMIN FISHER
PRINCIPAL ARCHITECT, AIA, AIBC
POLYFORM ARCHITECTURE INC.
INFO@POLYFORMARCHITECTURE.CA
WWW.POLYFORMARCHITECTURE.CA

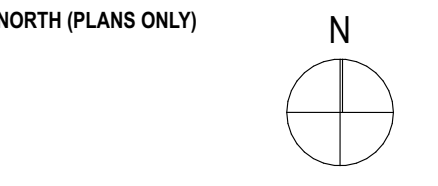
PROJECT 2510

TUXEDO PARK TOWNHOMES

CLIENT
SNG DEVELOPMENT
305-17 AVE SW
CALGARY
CANADA T2T 0A4

STAMP

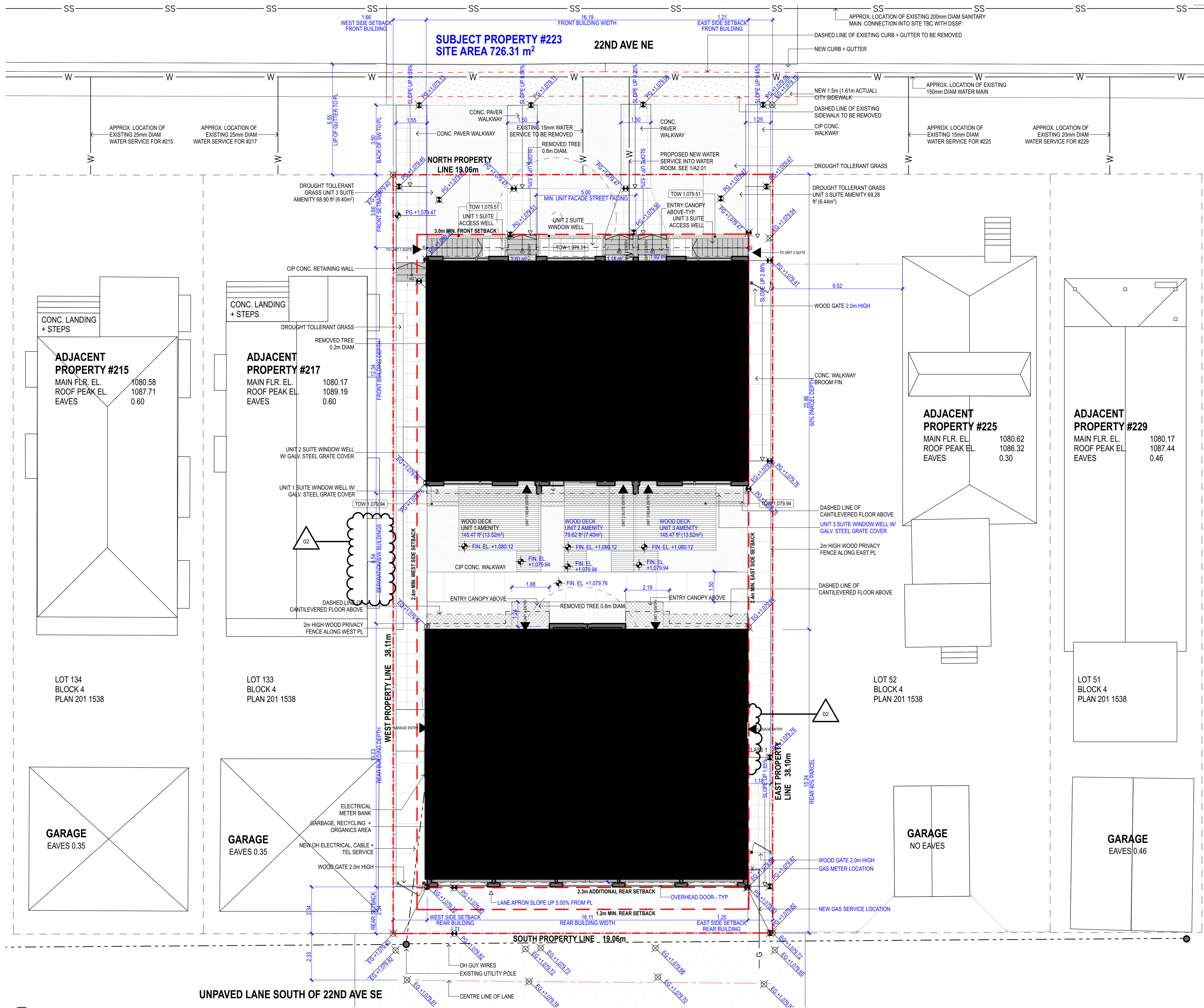
ISSUES / REVISIONS		
ID	DESCRIPTION	DATE
01	ISSUED FOR DEVELOPMENT PERMIT	2026-03-22
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-05-08



DWG STATUS
DATE 2026-05-11 7:05 AM
MODIFIED BY
CHECKED BY
SCALE AS NOTED
SHEET NAME

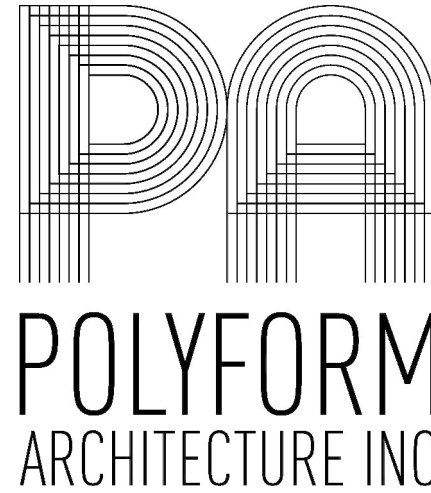
SITE CONTEXT + COVERAGE PLANS

A1.00



SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- TOPOGRAPHY CONTOUR LINES
Major and Minor Polyline
- BUILDING OUTLINE
- CIP CONC. PAVING
- ASPHALT PAVING
- PRE-CAST CONC. PAVERS 24"x24"
- WOOD DECK PRESSURE TREATED
- DRAUGHT TOLLERANT GRASSES
MIN. 300mm SOIL DEPTH
- PLANTING BED MIN. 600mm SOIL DEPTH
- CHAINLINK FENCE
- WOOD FENCE F-1
- TREE PROTECTION
- W WATER SERVICE
- G NATURAL GAS SERVICE
- SS SANITARY SERVICE
- SD STORM SERVICE
- UTILITY POLE
- OVERHEAD GUY WIRES



Copyright. All rights reserved. Reproduction in whole or in part is prohibited.
Drawings and Specifications as instruments of service are and shall remain the property of the Architect and may not be used in any way without written permission. They are not to be reproduced, used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

CONTACT
BENJAMIN FISHER
PRINCIPAL ARCHITECT, AAAIBC
POLYFORM ARCHITECTURE INC.
INFO@POLYFORMARCHITECTURE.CA
WWW.POLYFORMARCHITECTURE.CA

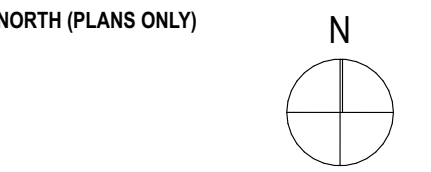
PROJECT 2510

TUXEDO PARK TOWNHOMES

CLIENT
SNG DEVELOPMENT
909-17 AVE SW
CALGARY
CANADA T2T 0A4

STAMP

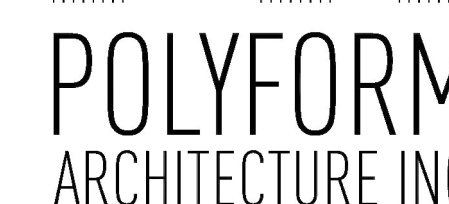
ISSUES / REVISIONS		
ID	DESCRIPTION	DATE
01	ISSUED FOR DEVELOPMENT PERMIT	2026-03-22
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-05-08



DWG STATUS
DATE 2026-05-11 7:05 AM
MODIFIED BY
CHECKED BY
SCALE AS NOTED
SHEET NAME

PROPOSED SITE / BLOCK PLAN

A1.01



The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, procedures, or safety precautions and programs in connection with the project.

BENJAMIN FISHER
PRINCIPAL ARCHITECT, AAAAIBC
POLYFORM ARCHITECTURE INC.
INFO@POLYFORMARCHITECTURE.CA
WWW.POLYFORMARCHITECTURE.CA

PROJECT 2510

TUXEDO PARK TOWNHOMES

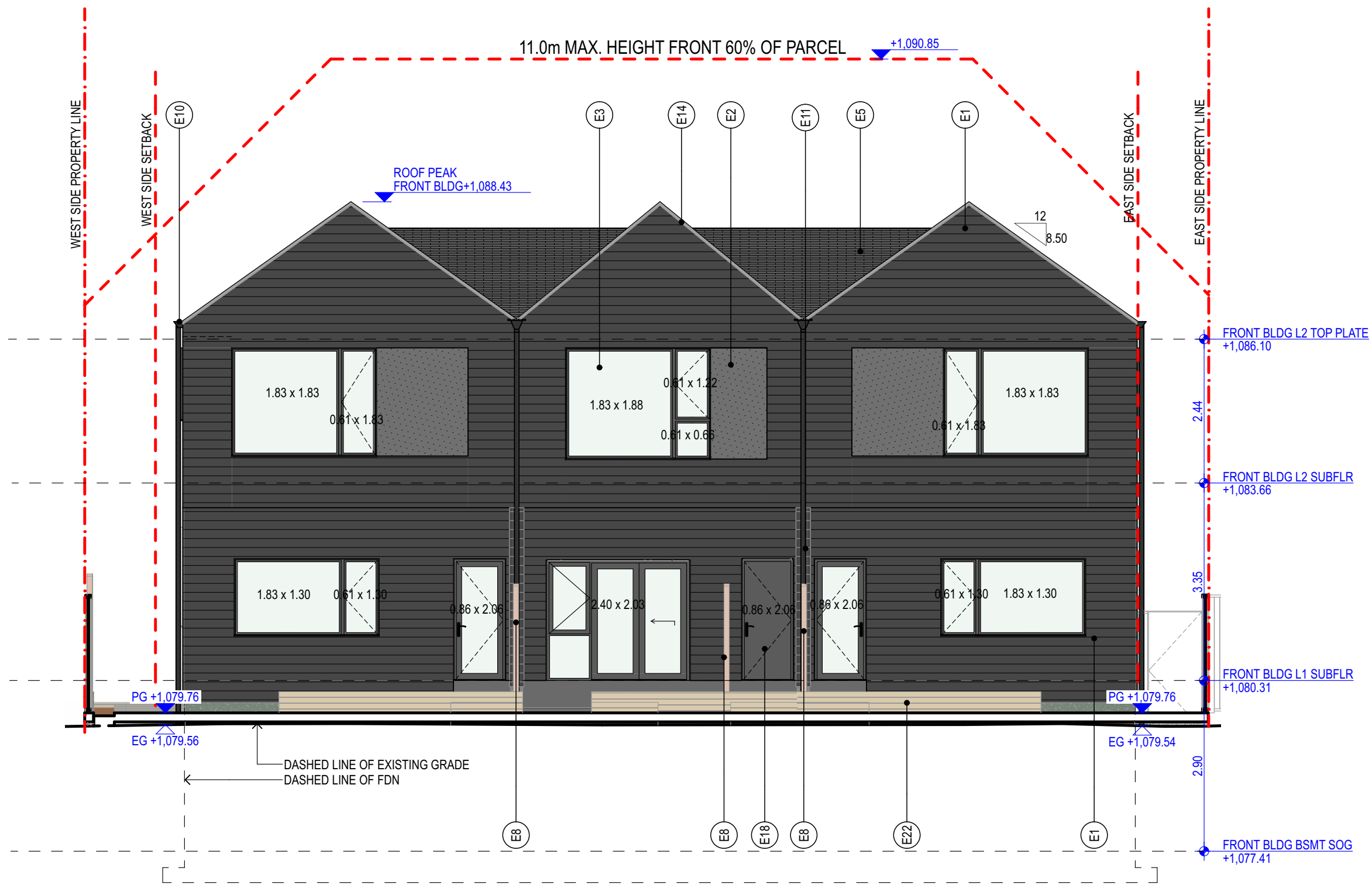
STAMP

ISSUES / REVISIONS		
ID	DESCRIPTION	D
01	ISSUED FOR DEVELOPMENT PERMIT	2026-0
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-0

SITE SURVEY (REFERENCE ONLY)

A1.04

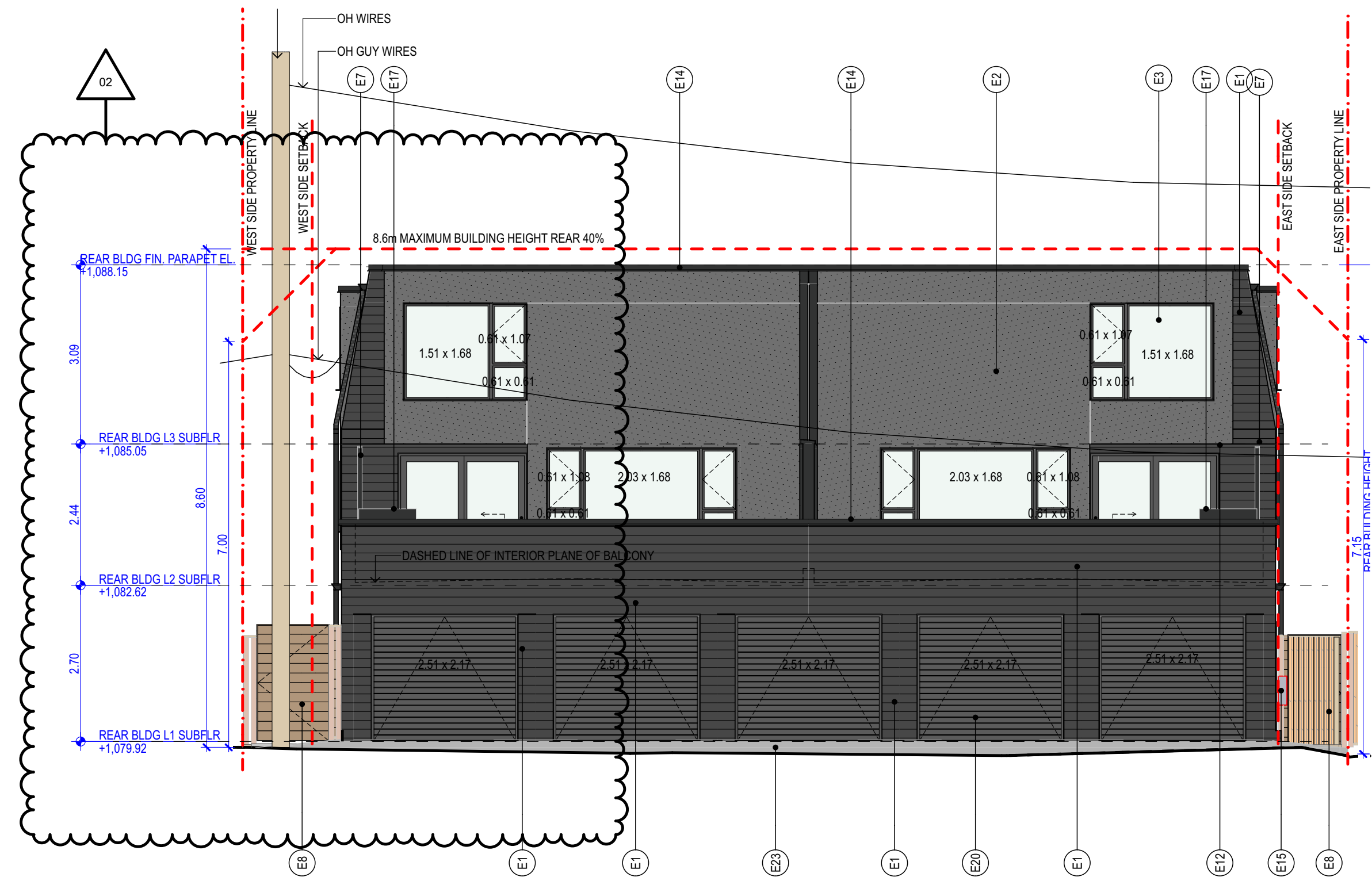




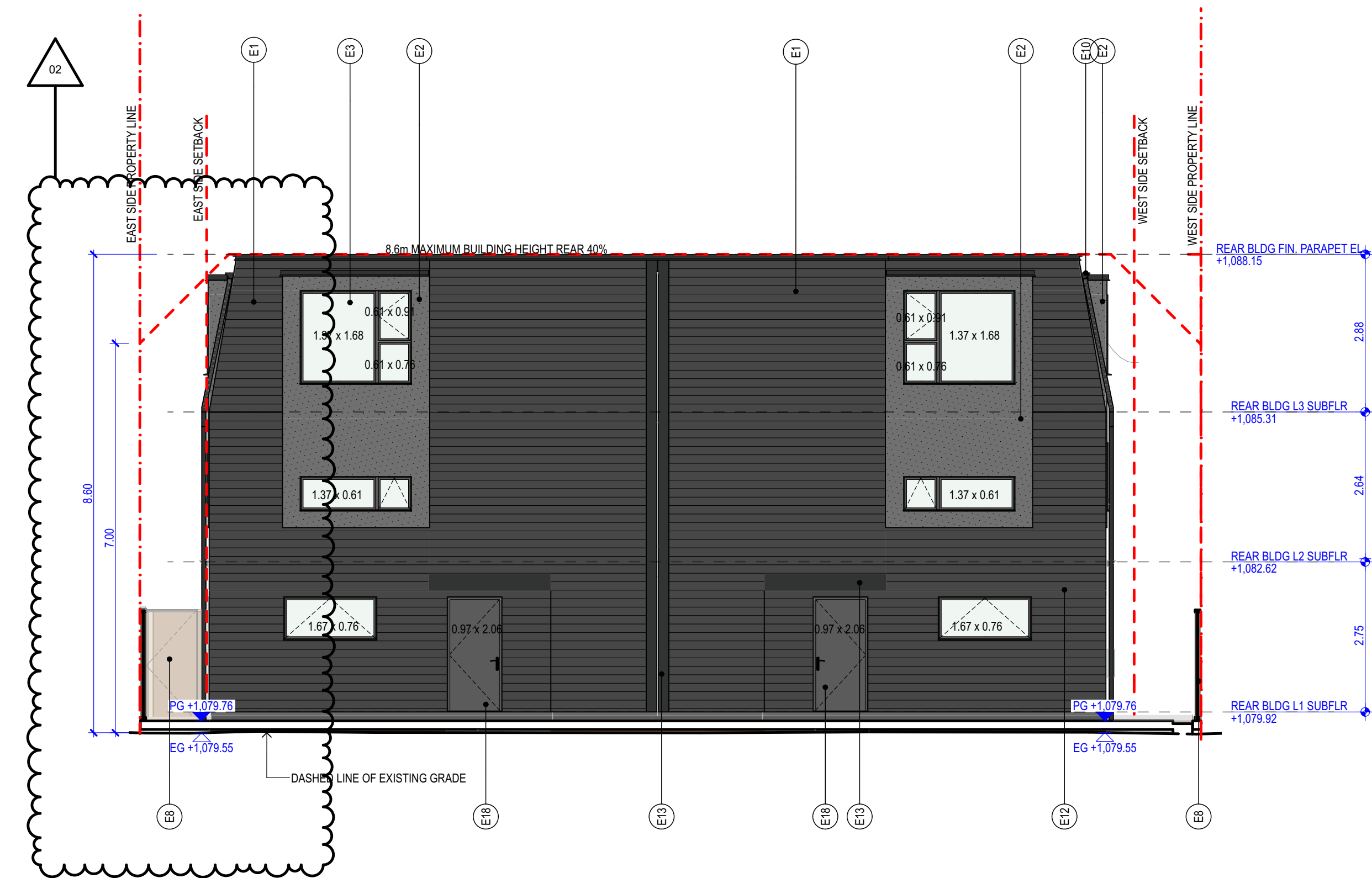
1 S1 SOUTH ELEVATION - FRONT BLDG
SCALE: 1:75



2 N PROPOSED NORTH ELEVATION - FRONT BLDG
SCALE: 1:75



3 S PROPOSED SOUTH ELEVATION - REAR BLDG
SCALE: 1:75



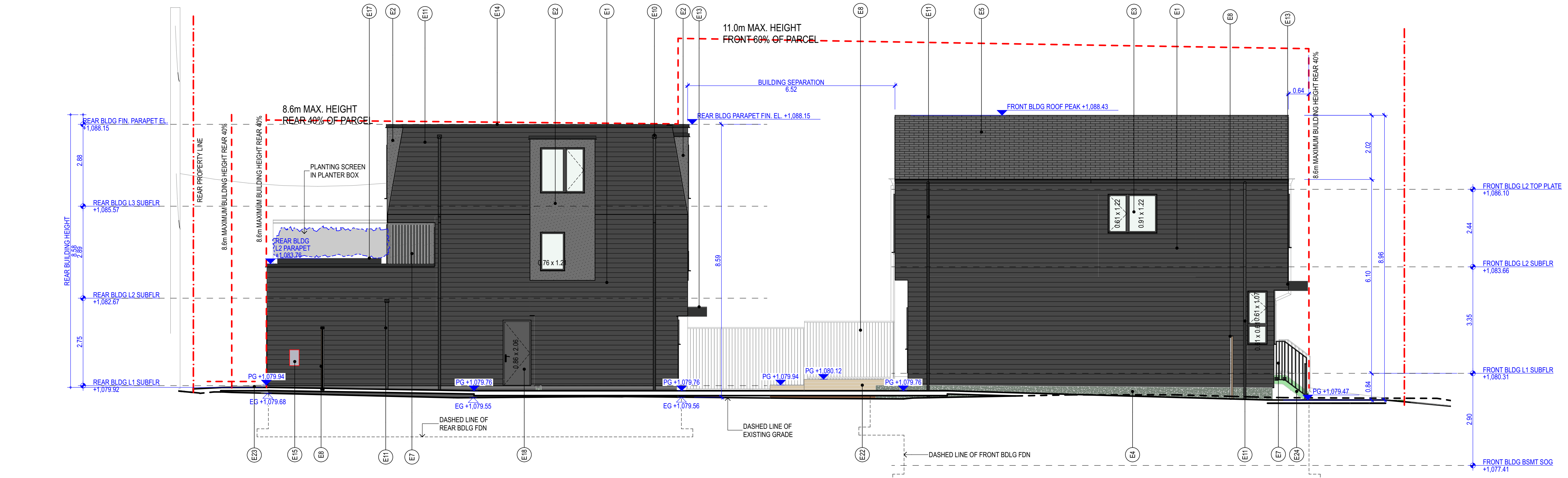
4 N1 PROPOSED NORTH ELEVATION - REAR BLDG
SCALE: 1:75

- E1 HORIZONTAL FIBRE-CEMENTITIOUS LAP SIDING - BLACK
- E2 STUCCO CLADDING - GREY
- E3 DOUBLE GLAZED VINYL WINDOWS OR PATIO DOOR
- E4 ARCHITECTURAL CONCRETE - SEALED FIN.
- E5 ASPHALT SHINGLE ROOF - DARK GREY
- E6 TOP MOUNTED ALUMINUM PICKET GUARD
- E7 SIDE MOUNTED ALUMINUM PICKET GUARD / SCREEN
- E8 WOOD PANEL PRIVACY FENCE OR GATE 2.0m HIGH
- E10 METAL GUTTER OR SCUPPER DRAIN
- E11 METAL RAIL
- E12 T&G WOOD SOFFIT - NATURAL STAIN
- E13 METAL TRIM - CHARCOAL
- E14 CAP FLASHING - CHARCOAL
- E15 GAS METER
- E17 POWDER COATED METAL PLANTER
- E18 ENTRY DOOR - PAINTED GREY/CHARCOAL
- E19 HORIZONTAL FIBRE-CEMENT SIDING - NATURAL WOOD COLOUR
- E20 OVERHEAD GARAGE DOOR - DARK GREY / CHARCOAL
- E22 PRESSURE TREATED WOOD DECK
- E23 ASPHALT LANE APRON
- E24 EXT. UNIT STAIRS; P.T. WOOD STRINGERS W/ PRECAST TREADS

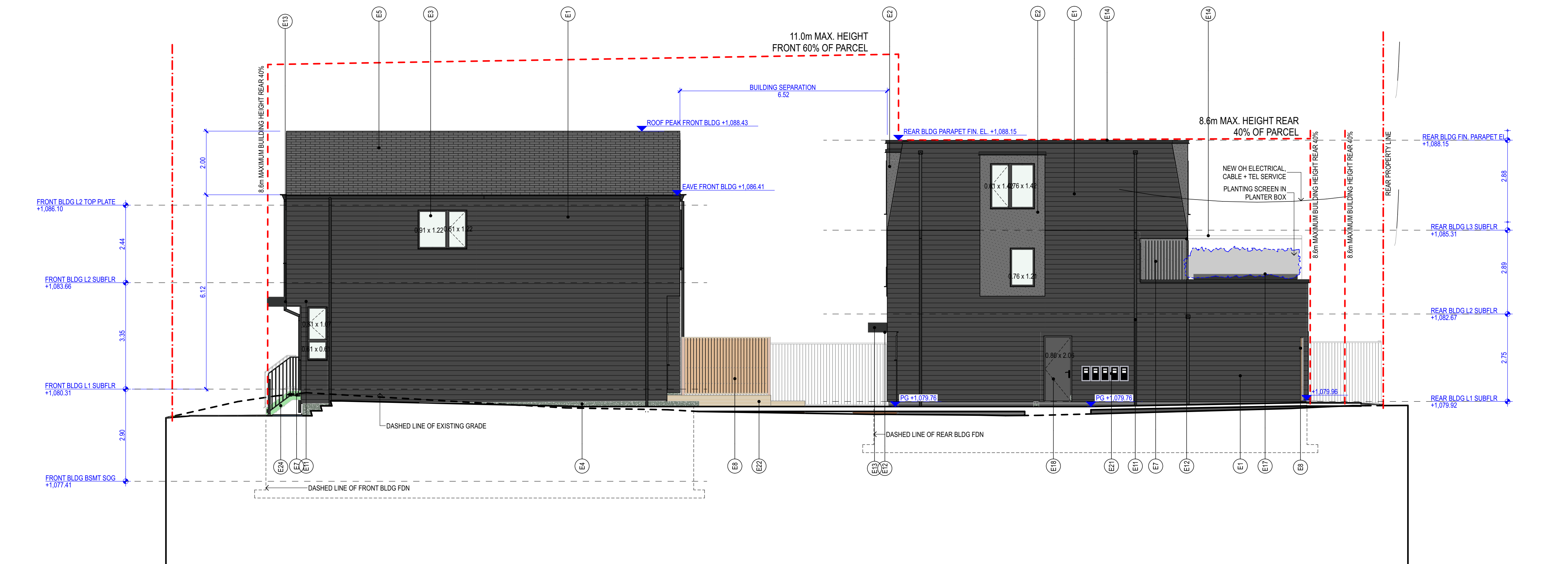
TUXEDO PARK TOWNHOMES

ADDRESS: 223 22ND AVE NE CALGARY AB T2E 1T6 CANADA
LEGAL: LOTS 53,54 AND E12 OF LOT 55, BLOCK 4, PLAN 1367 0 W/ THE SE 1/4 SEC 27 TWP 24 RGE 1 W3M

ISSUES / REVISIONS	DATE
ID DESCRIPTION	
01 ISSUED FOR DEVELOPMENT PERMIT	2026-03-22
02 ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-05-08

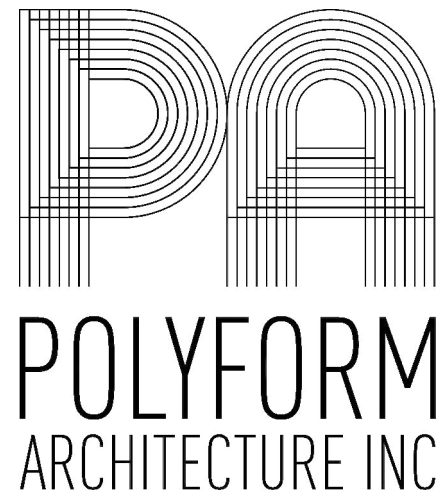


1 PROPOSED EAST ELEVATION
SCALE: 1:75



2 PROPOSED WEST ELEVATION
SCALE: 1:75

MATERIALS LEGEND	
E1	HORIZONTAL FIBRE-CEMENTITIOUS LAP SIDING - BLACK
E2	STUCCO CLADDING - GREY
E3	DOUBLE GLAZED VINYL WINDOWS OR PATIO DOOR
E4	ARCHITECTURAL CONCRETE - SEALED FIN.
E5	ASPHALT SHINGLE ROOF - DARK GREY
E7	SIDE MOUNTED ALUMINUM PICKET GUARD / SCREEN
E8	WOOD PANEL PRIVACY FENCE OR GATE 2.0m HIGH
E10	METAL GUTTER OR SCUPPER DRAIN
E11	METAL RWL
E12	T&G WOOD SOFFIT - NATURAL STAIN
E13	METAL TRIM - CHARCOAL
E14	CAP FLASHING - CHARCOAL
E15	GAS METER
E17	POWDER COATED METAL PLANTER
E18	ENTRY DOOR - PAINTED GREY/CHARCOAL
E21	ELECTRICAL METERS
E22	PRESSURE TREATED WOOD DECK
E23	ASPHALT LANE APRON
E24	EXT. UNIT STAIRS; P.T. WOOD STRINGERS W/ PRECAST TREADS



Copyright. All rights reserved. Reproduction in whole or in part is prohibited.

Drawings and Specifications as instruments of service are and shall remain the property of the Architect and may not be used in any way without written permission. They are not to be reproduced, used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, procedures, or safety precautions and programs in connection with the project.

CONTACT
BENJAMIN FISHER
PRINCIPAL ARCHITECT, AAAIBC
POLYFORM ARCHITECTURE INC.
INFO@POLYFORMARCHITECTURE.CA
WWW.POLYFORMARCHITECTURE.CA

PROJECT 2510

TUXEDO PARK TOWNHOMES

CLIENT
SMG DEVELOPMENT
909-17 AVE SW
CALGARY
CANADA T2T 0A4

STAMP

ISSUES / REVISIONS		
ID	DESCRIPTION	DATE
01	ISSUED FOR DEVELOPMENT PERMIT	2026-03-22
02	ISSUED FOR DEVELOPMENT PERMIT PRIOR TO	2026-05-08

DWG STATUS	
DATE	2026-05-11 7:07 AM
MODIFIED BY	
CHECKED BY	
SCALE	AS NOTED
SHEET NAME	

PROPOSED EAST + WEST ELEVATIONS

A3.02