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 10. THESE DRAWINGS AND DESIGNS ARE COPYRIGHTED AND REMAIN THE EXCLUSIVE PROPERTY OF IRONWOOD BUILDING CORP. REPRODUCTION OR USE WITHOUT PRIOR CONSENT IS STRICTLY PROHIBITED.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

	RE-ISSUED FOR DEVELOPMENT PERMIT	AUG 05/26	ME
	RE-ISSUED FOR DEVELOPMENT PERMIT	JUN 23/26	ME
0	ISSUED FOR DEVELOPMENT PERMIT	MAR 19/26	ME
NO.	DESCRIPTION	DATE	BY
DRAWING ISSUE NUMBER / REVISIONS			

STAMPS

CLIENT
CANOPY STUDIOS
CALGARY, ALBERTA

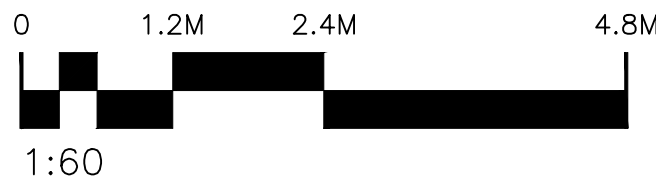
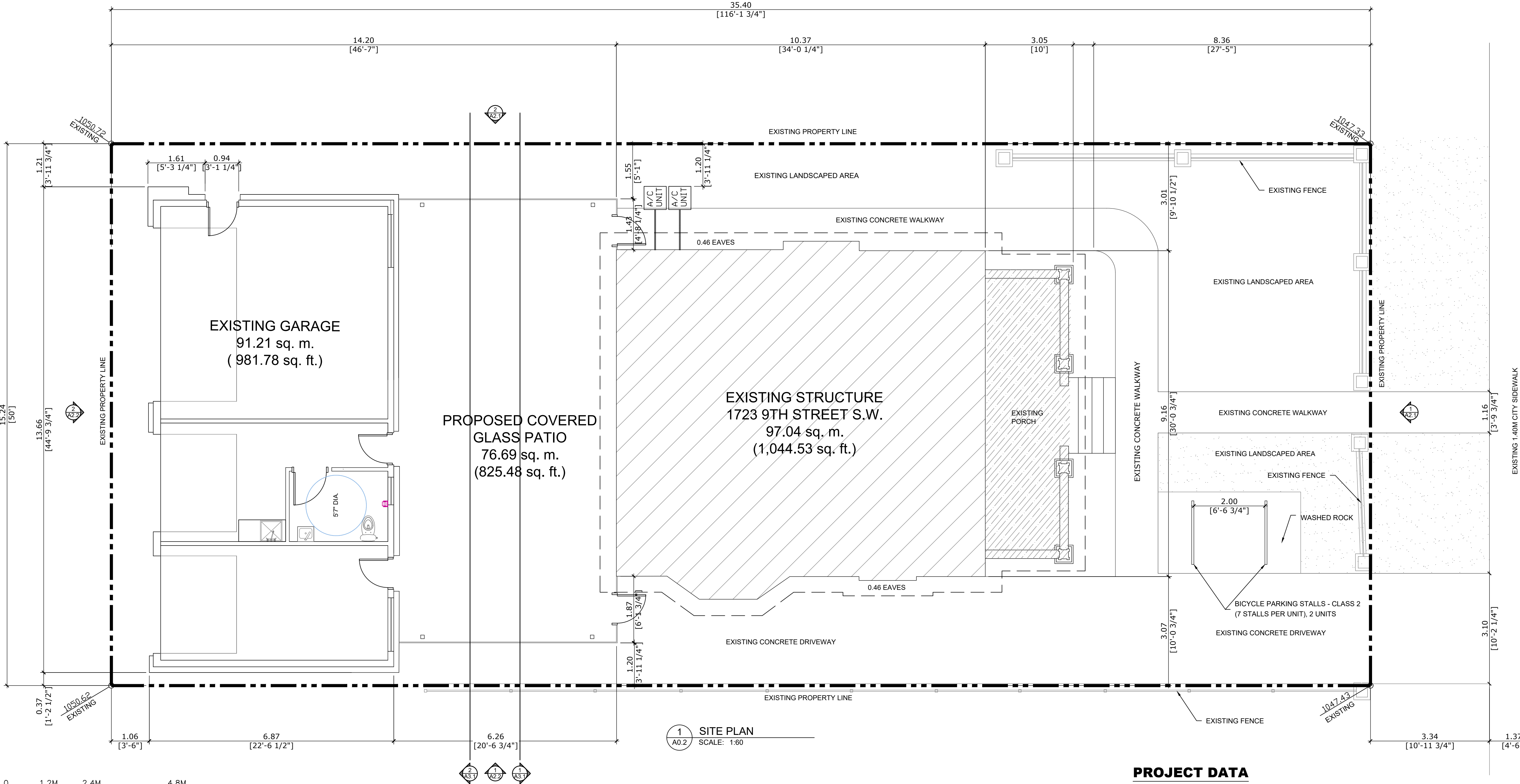
PROJECT
1723 9 ST SW
CALGARY, ALBERTA

TITLE
SITE PLAN

SCALE 1:60	DATE FEB 2026	DRAWING NO. A0.2
DRAWN BY ME	CHECKED BY FILE NO. 26112	1

LANE

9th STREET S.W.



1 SITE PLAN
A0.2 SCALE: 1:60

PROJECT DATA

LEGAL DESCRIPTION
LOT 9
BLOCK 29
PLAN 179 R

MUNICIPAL ADDRESS
1723 9 STREET S.W.
CALGARY, ALBERTA

LAND USE
DIRECT CONTROL 9D2024

PARCEL AREA
539.50 sq. m. (5,807.13 sq. ft.)

BUILDING AREA COVERAGE
EXISTING PRINCIPAL STRUCTURE: 97.04 sq. m.
(1,044.53 sq. ft.)
EXISTING GARAGE (BACKYARD SUITE): 91.21 sq. m.
(981.78 sq. ft.)
PROPOSED ATRIUM: 80.23 sq. m. (863.59 sq. ft.)
TOTAL: 268.48 sq. m. (2889.90 sq. ft.)
GROSS FLOOR AREA: 447.90 sq. m. (4821.15 sq. ft.)

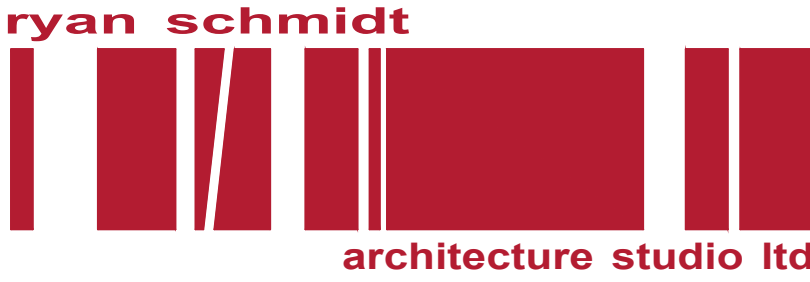
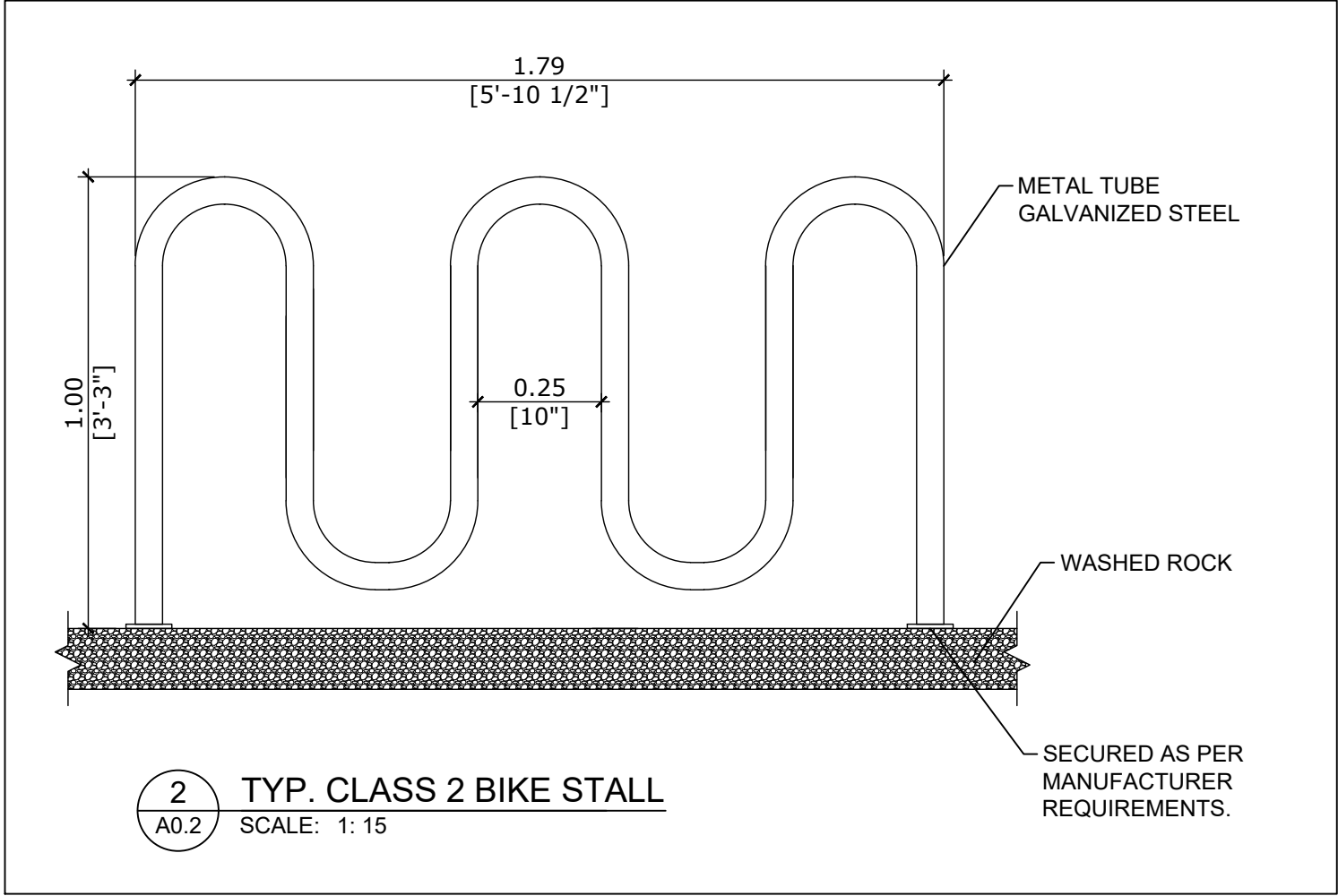
LOT COVERAGE
49.77%
(268.48 sq. m. of 539.50 sq. m.)
MAX FAR: 2.5
PROPOSED FAR: 0.83
(447.90 sq. m. of 539.50 sq. m.)

BICYCLE PARKING STALLS
REQUIRED: 4 CLASS 2 STALLS PER 115 SQ M OF GUFA
(14 STALLS)
PROPOSED: 14 CLASS 2 STALLS

General Site Plan Notes	
A	ALL UNDERGROUND UTILITIES MUST BE LOCATED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
B	ALL DISCREPANCIES BETWEEN SITE CONDITIONS SHOWN ON THIS DRAWING AND THOSE EXISTING AT TIME OF CONSTRUCTION MUST BE REPORTED.
C	ALL LANDSCAPING IS EXISTING AND WILL REMAIN WITH NO CHANGES.

4 BICYCLE PARKING ANALYSIS
(As per Calgary Land Use Bylaw 1P2007)

DC 9D2024	
4 stall per 115 sq. m. of GUFA 384.39 sq. m./115 sq. m. x 4 = 13.36	14 stalls
Totals	
Total Required	14 stalls
Total Provided On Site	14 stalls



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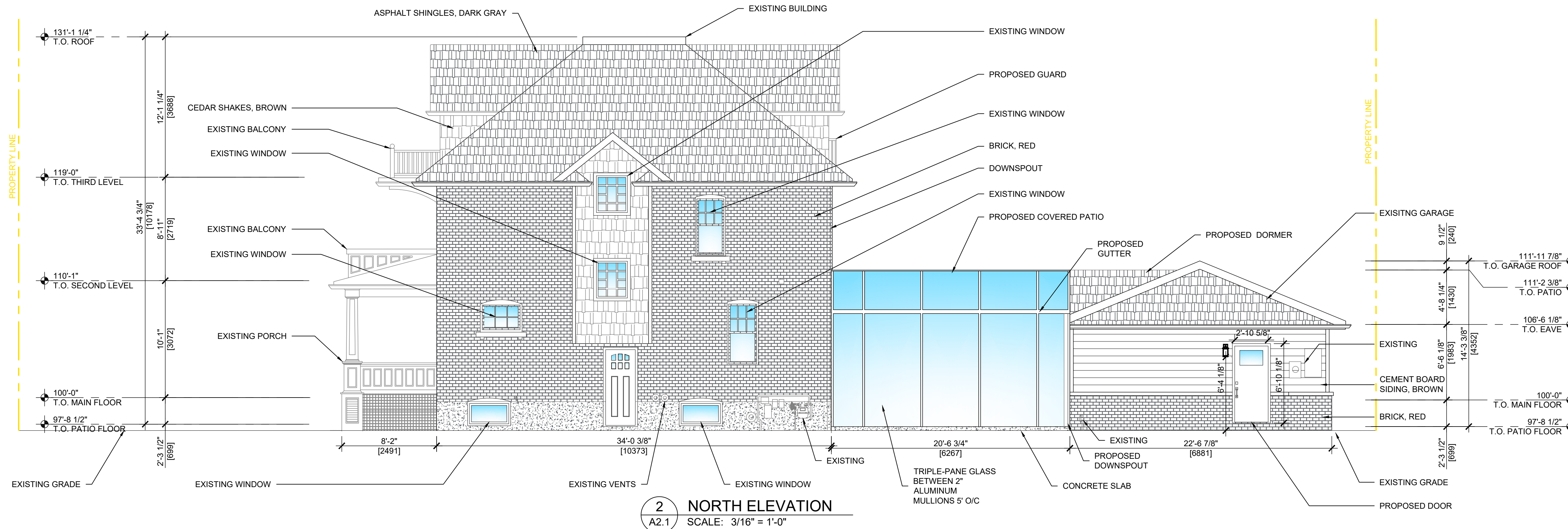
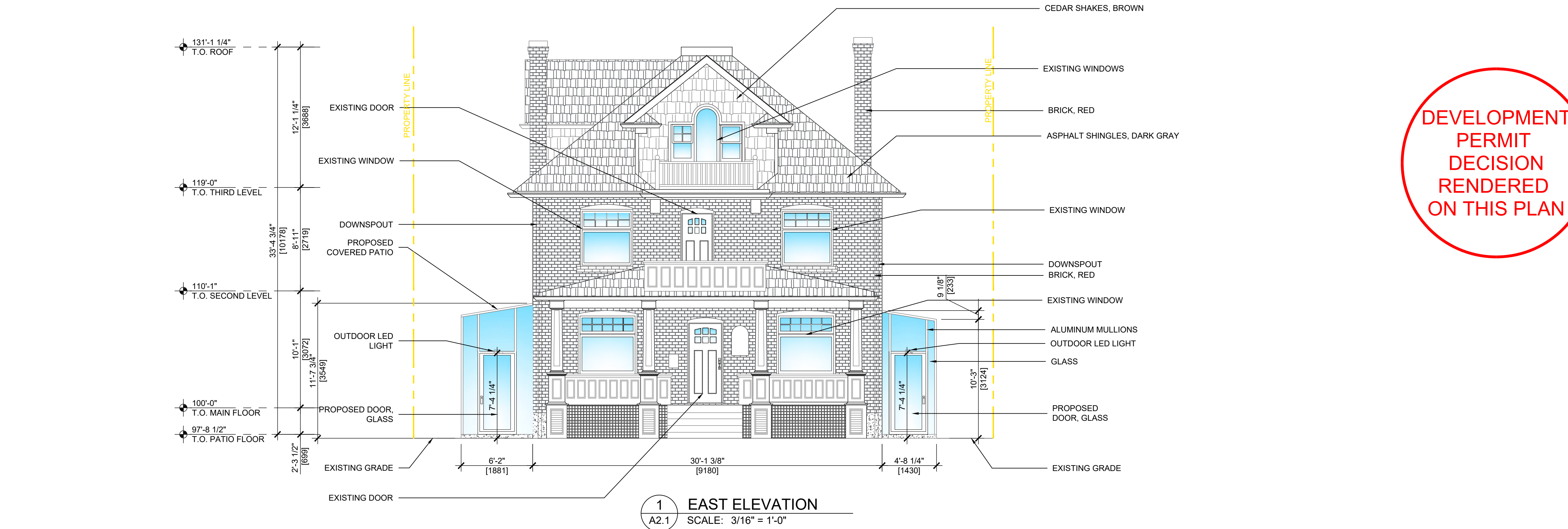
PROJECT
1723 9 ST SW
CALGARY, ALBERTA

TITLE
SITE NOTES & DETAILS

SCALE -	DATE JUL 2026	DRAWING NO. A0.3 0
DRAWN BY ME	CHECKED BY FILE NO. 26112	

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RENDERED
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PROJECT ADDRESS

LEGAL DESCRIPTION
PLAN:179R,BLOCK:29,LOT:9

MUNICIPAL ADDRESS
1723 9 ST SW, CALGARY AB

3			
2			
1	RE-ISSUED FOR DEVELOPMENT PERMIT	JUN 23/26	ME
0	ISSUED FOR DEVELOPMENT PERMIT	MAR 19/26	ME

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DRAWING ISSUE NUMBER / REVISIONS			

STAMPS

CLIENT

CANOPY STUDIOS
CALGARY, AB

PROJECT

1723 9 ST SW
CALGARY, ALBERTA

TITLE

ELEVATIONS

SCALE 3/16" = 1'-0"	DATE FEB 2026	DRAWING NO. A2.1
DRAWN BY ME	CHECKED BY	FILE NO. 26112

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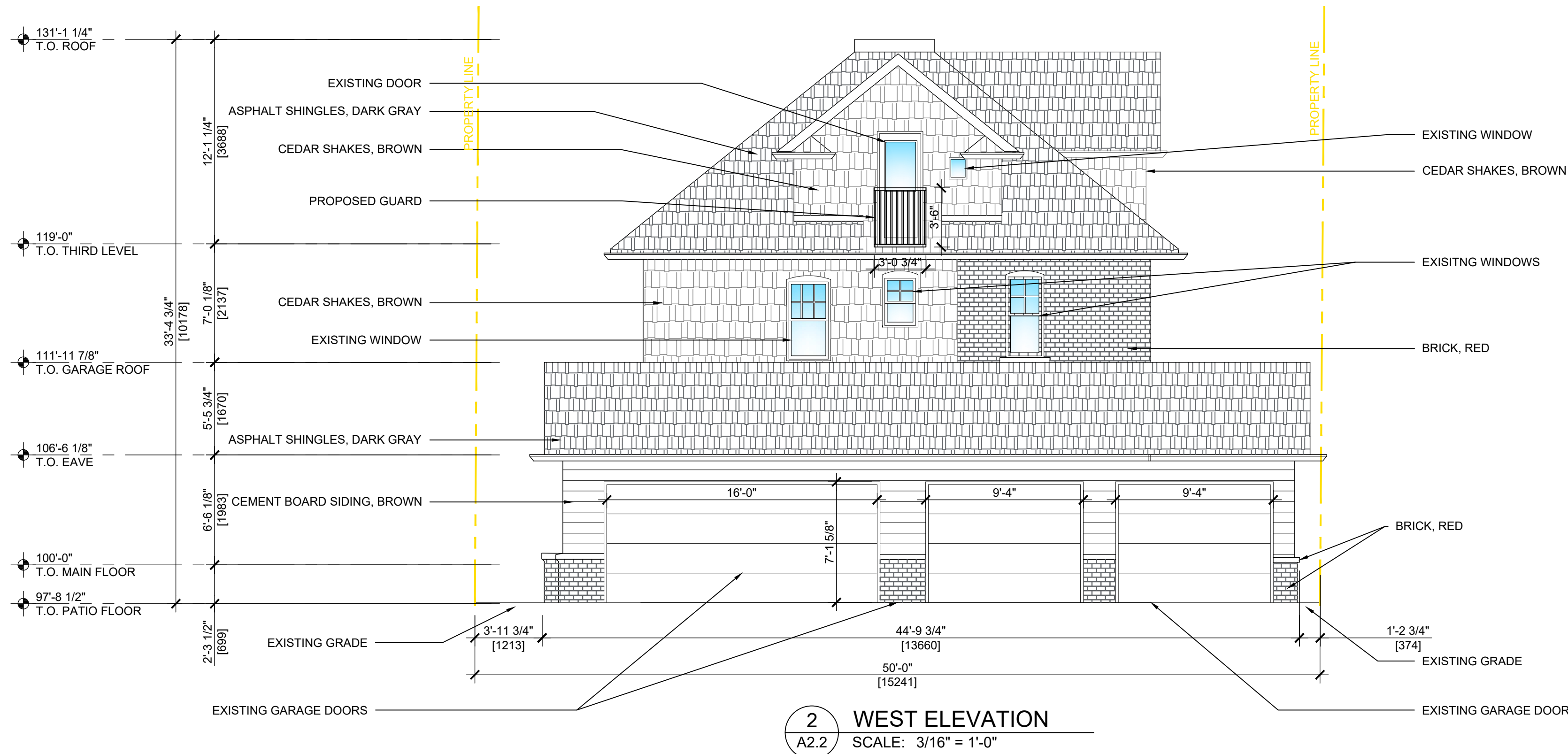
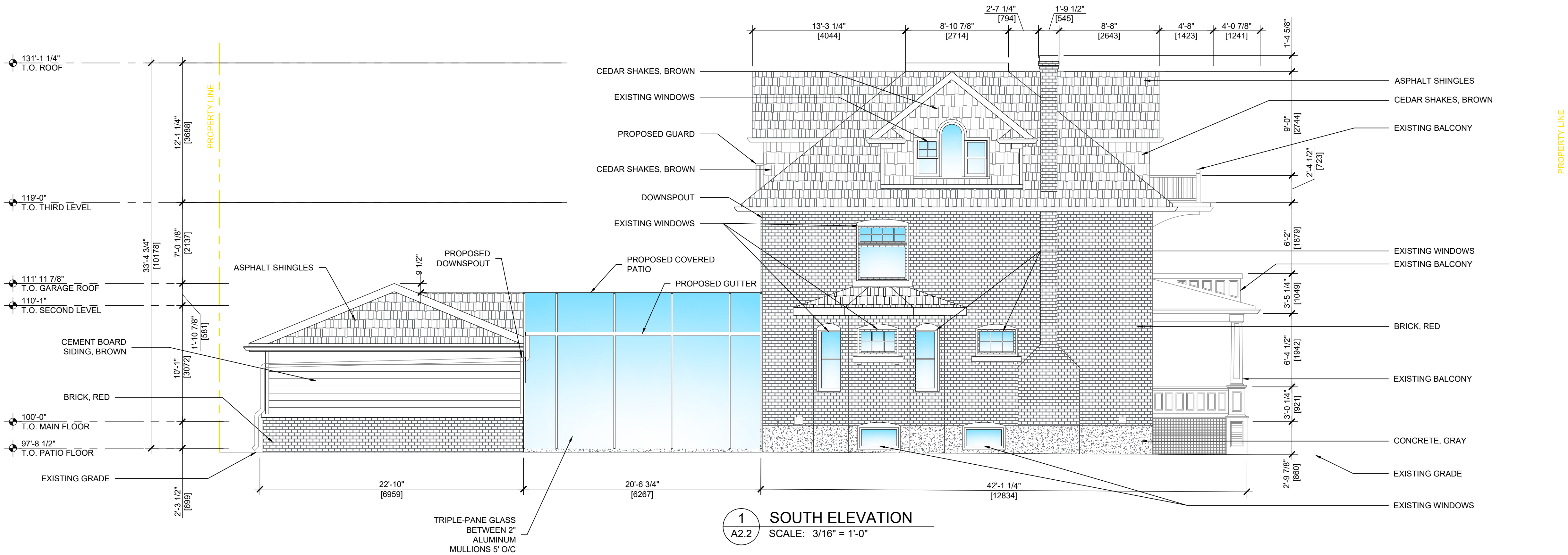
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PROJECT
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