

PROJECT NAME AND ADDRESS

BOW CRESCENT RESIDENCE

6115 BOW CRESCENT NW UNIT B
LOT 16, BLOCK 7, PLAN 4610 AJ

DEVELOMENT PERMIT DRAWING SET (DR1)
DP2026-01659

DESIGN CONSULTANT

K5

Design Studio
+
Interior Design

+ 300 - 901 Centre Street NW
Calgary, Alberta

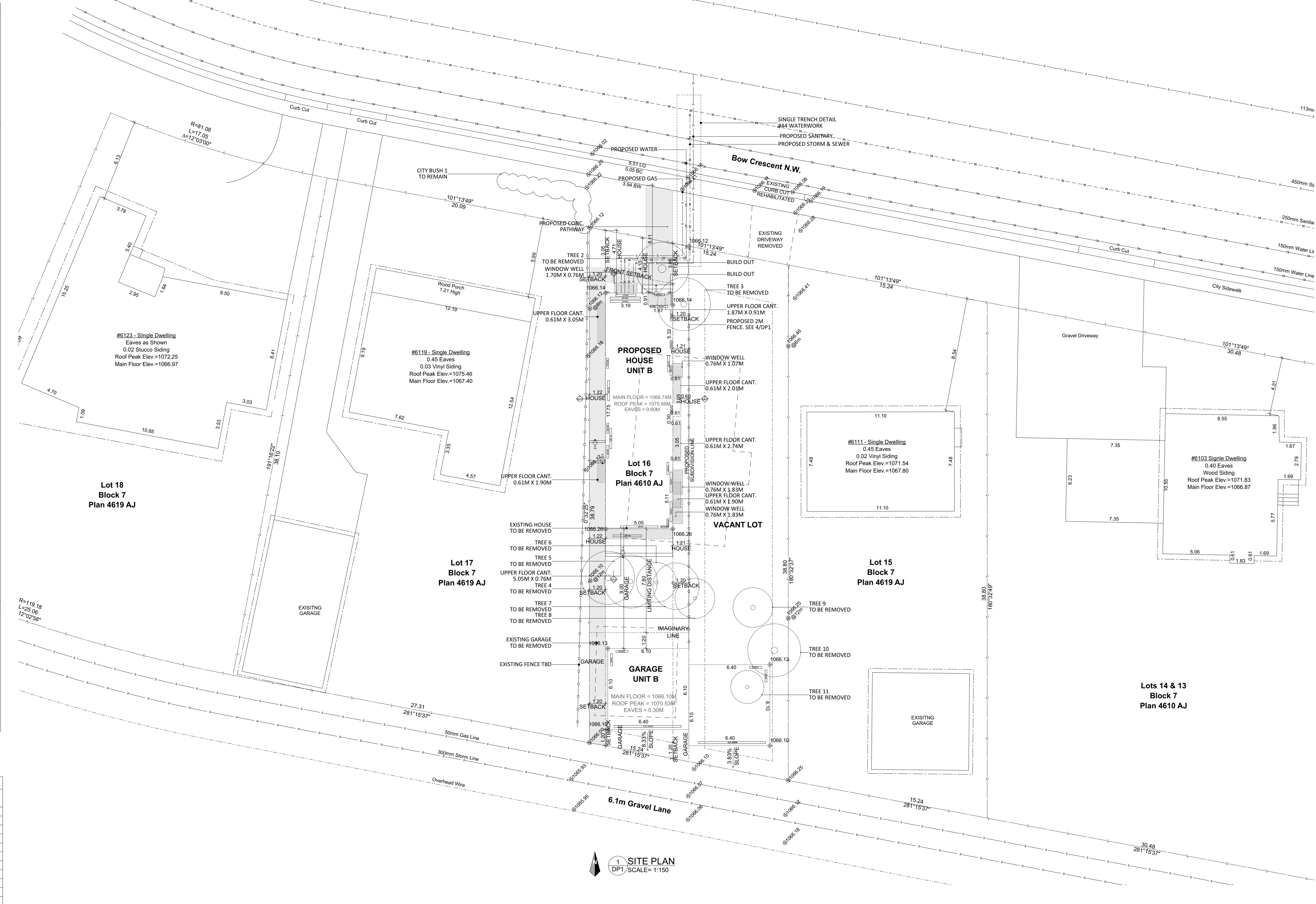
+ 587.353.9797

info@k5designs.ca

www.k5design.ca

DRAWING LIST (DEVELOPMENT PERMIT DRAWINGS)

DP1	SITE PLAN / GENERAL NOTES / STREETSCAPE
DP1.A	NOTES
DP1.B	ORIGINAL SURVEY
DP2	LOWER FLOOR PLAN & MAIN FLOOR PLAN
DP3	UPPER FLOOR PLAN & ROOF PLAN
DP4	FRONT & REAR ELEVATIONS
DP5	SIDE ELEVATIONS
DP6	GARAGE PLANS
DP7	GARAGE ELEVATIONS



SITE PLAN
 1 DP1 SCALE= 1:150

SUBJECT SITE
 Lot 16, Block 7, Plan 4610 A.J.

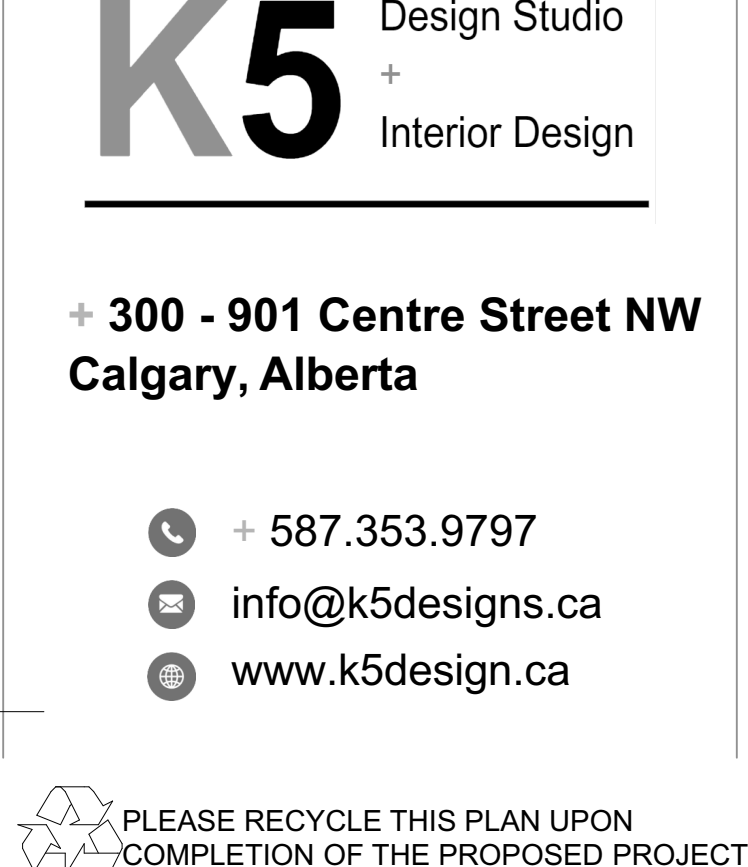
MUNICIPAL ADDRESS:
 6115 BOW CRESCENT NW UNIT B
 CALGARY, ALBERTA

#6103 - Single Dwelling
 0.40 Eaves
 Wood Siding
 Roof Peak Elev.=1071.83
 Main Floor Elev.=1066.87

#6111 - Single Dwelling
 0.45 Eaves
 0.02 Vinyl Siding
 Roof Peak Elev.=1071.54
 Main Floor Elev.=1067.80

#6119 - Single Dwelling
 0.45 Eaves
 0.03 Vinyl Siding
 Roof Peak Elev.=1075.46
 Main Floor Elev.=1067.40

#6123 - Single Dwelling
 Eaves as Shown
 0.02 Stucco Siding
 Roof Peak Elev.=1072.25
 Main Floor Elev.=1066.97



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CURRENT NATIONAL BUILDING CODE, AND ALL
OTHER AUTHORITIES HAVING JURISDICTION.

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REVISION:	DATE: (D/M/Y)
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2.	
3.	
4.	

CLIENT:

PROJECT NAME & ADDRESS:

6115 BOW CRES. NW
UNIT B
CALGARY, ALBERTA

DRAWING TITLE:

PROJECT #:	K26-0115
DATE:	2026-06-15
SCALE:	AS SHOWN
DRAWN BY:	KN
DRAWING #:	

DP1.B

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 PLEASE RECYCLE THIS PLAN UPON
COMPLETION OF THE PROPOSED PROJECT

PREPARED FOR: BRICK HAUS DEVELOPMENTS

DATE OF SURVEY: January 21st, 2026

SCALE: 1:200

LEGEND:

- | | |
|--|----------------------------|
| | Subject Property Line |
| | Right of Way Line |
| | Eave Line |
| | Fence Line |
| | Sanitary Line |
| | Storm Line |
| | Water Line |
| | Gas Line |
| | Overhead Wire |
| | A.S.T. Line |
| | Door |
| | Second Floor Window |
| | Main Floor Window |
| | Basement Floor Window |
| | Calculation points |
| | Power Pole |
| | Power Anchor |
| | Light Pole |
| | Manhole |
| | Catch Basin |
| | Water Valve |
| | Gas Valve |
| | Sign |
| | Fire Hydrant |
| | Tree |
| | Main Building Hatch |
| | Detached Garage Hatch |
| | Shed Hatch |
| | Concrete and Asphalt Hatch |
| | Wood Hatch |
| | Roof Hatch |

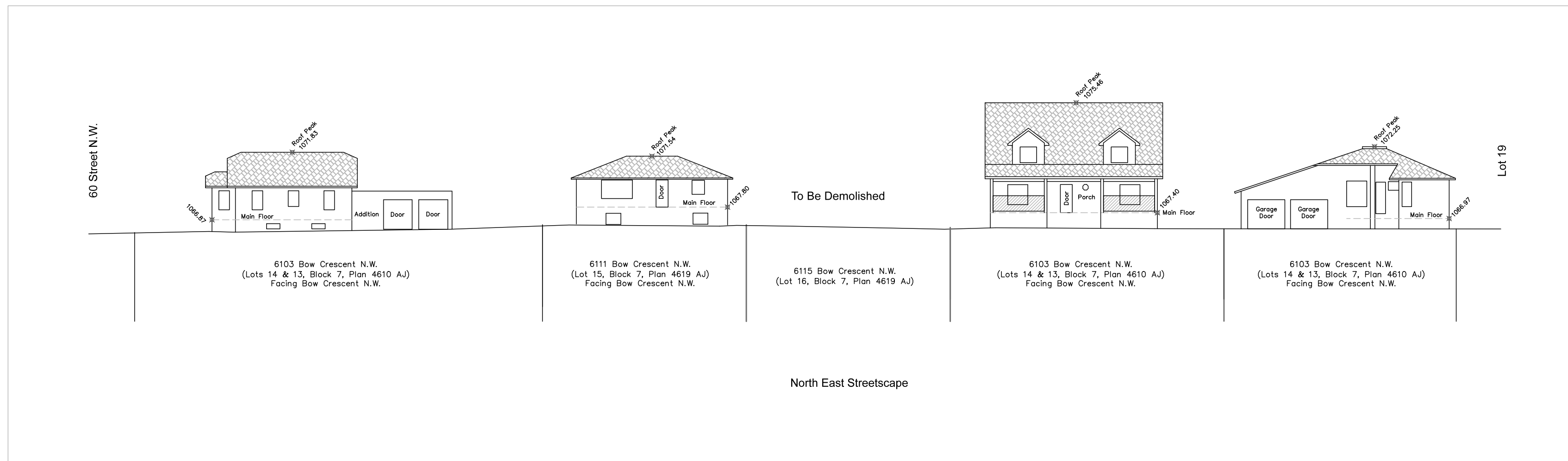
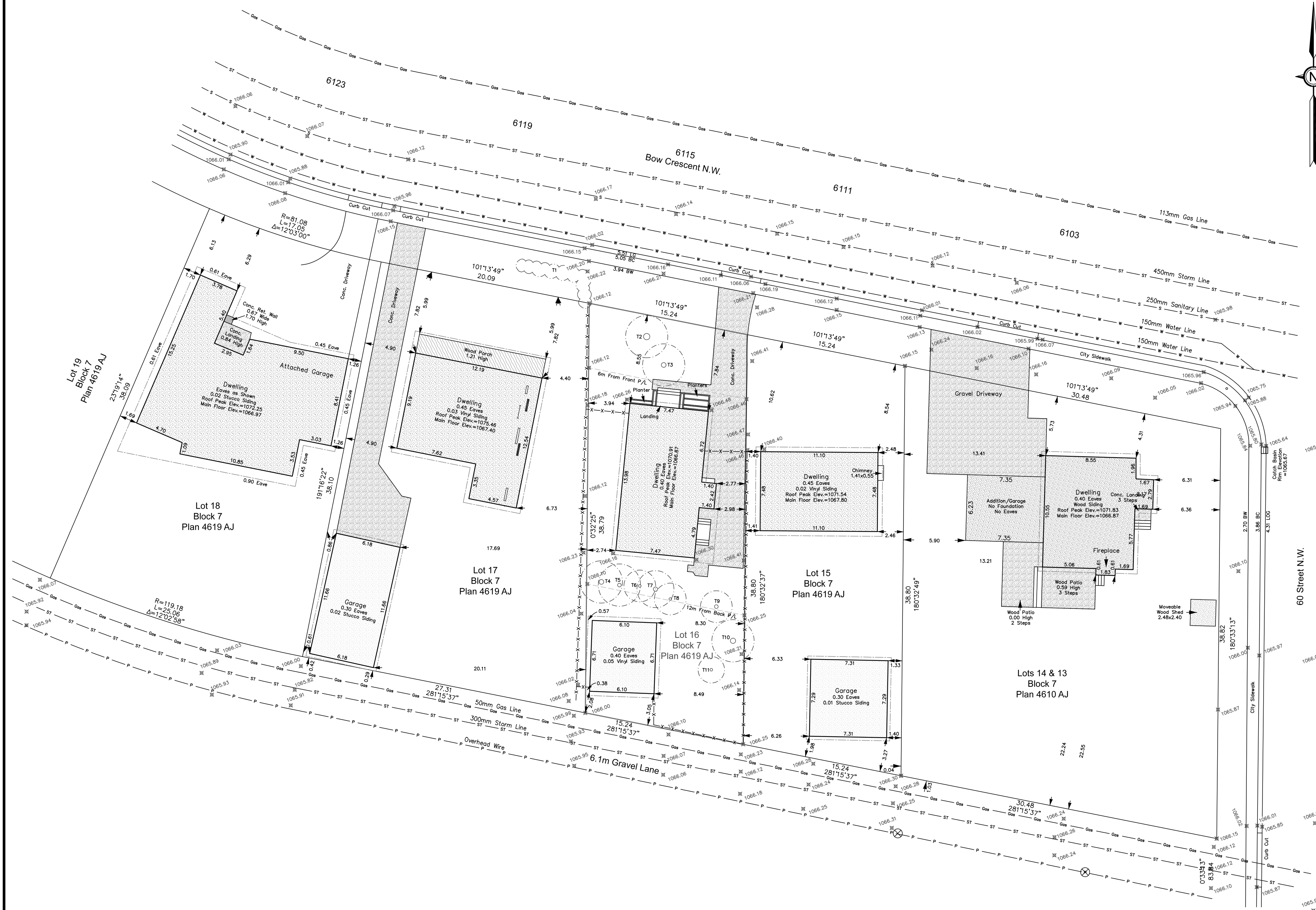
'2F.'-Second Floor	'Enc.'-Encroach(es)	'R/W'-Right of Way
'BC'-Back of Curb	'L'-Length of Arc	'Ret.'-Retaining
'BW'-Back of Walkway	'LG'-Lip of Gutter	'RPE'-Roof Peak Elevation
'Cant.'-Cantilever	'M.F.'-Main Floor	'WB'-Bottom of Wall
'Conc.'-Concrete	'MFF'-Main Floor Elevation	'WT'-Top of Wall
'Elev.'-Elevation	'R'-Radius	

NOTE

- The basis of this plan is as follows:
 Datum: North American Datum 1983 (original)
 Projection: 3- Transverse Mercator
 Reference Meridian: 115° west longitude
 Combined State Factor: 0.999737
- Distances in feet in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASON 556.73.
- Existing spot elevations are shown thus: ELEVATION
- The Certificate of Title 201-235,841, which was Searches on the 26th of January, 2008, and includes the following instruments:
 Cawest No. 10204P
- The utilities information is acquired from "The City of Calgary Engineering Department" Drawing No. 02, 41, 42 & 114 in Sec.35-Cap.24-Page 2-6-W5M.
 (Herbert Land Surveys Inc. accepts no responsibility for its accuracy; it is the responsibility of the client to ensure that the utility locators have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (±)	Concyp (±)	Height (±)	Location
T1	Bush	---	1.0	1.5	In City Property
T2	Deciduous	0.40	4.0	8.5	In Subject Property
T3	Deciduous	0.65	4.0	8.5	In Subject Property
T4	Coniferous	0.45	4.0	7.0	In Subject Property
T5	Coniferous	0.30	4.0	7.5	In Subject Property
T6	Coniferous	0.25	3.5	7.0	In Subject Property
T7	Coniferous	0.40	3.5	8.0	In Subject Property
T8	Deciduous	0.25	3.0	3.0	In Subject Property
T9	Deciduous	0.35	3.5	7.5	In Subject Property
T10	Coniferous	0.50	4.0	7.5	In Subject Property
T11	Deciduous	0.25	2.5	3.0	In Subject Property



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File No.: 260075	Date: 26/Jan/2026
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Surveyed: TK	Drawn: EM
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Horizon Land Surveys Inc.

130 Bowness Centre N.W. P. 403-719-0272

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ENGINEER CONSULTANT

CLIENT:

BOW CRESCENT RESIDENCE

PROJECT NAME & ADDRESS:

6115 BOW CRES. NW
UNIT B
CALGARY, ALBERTA

DRAWING TITLE:

FRONT & REAR ELEVATIONS

PROJECT #:	K26-0115
DATE:	2026-06-15
SCALE:	AS SHOWN
DRAWN BY:	KN

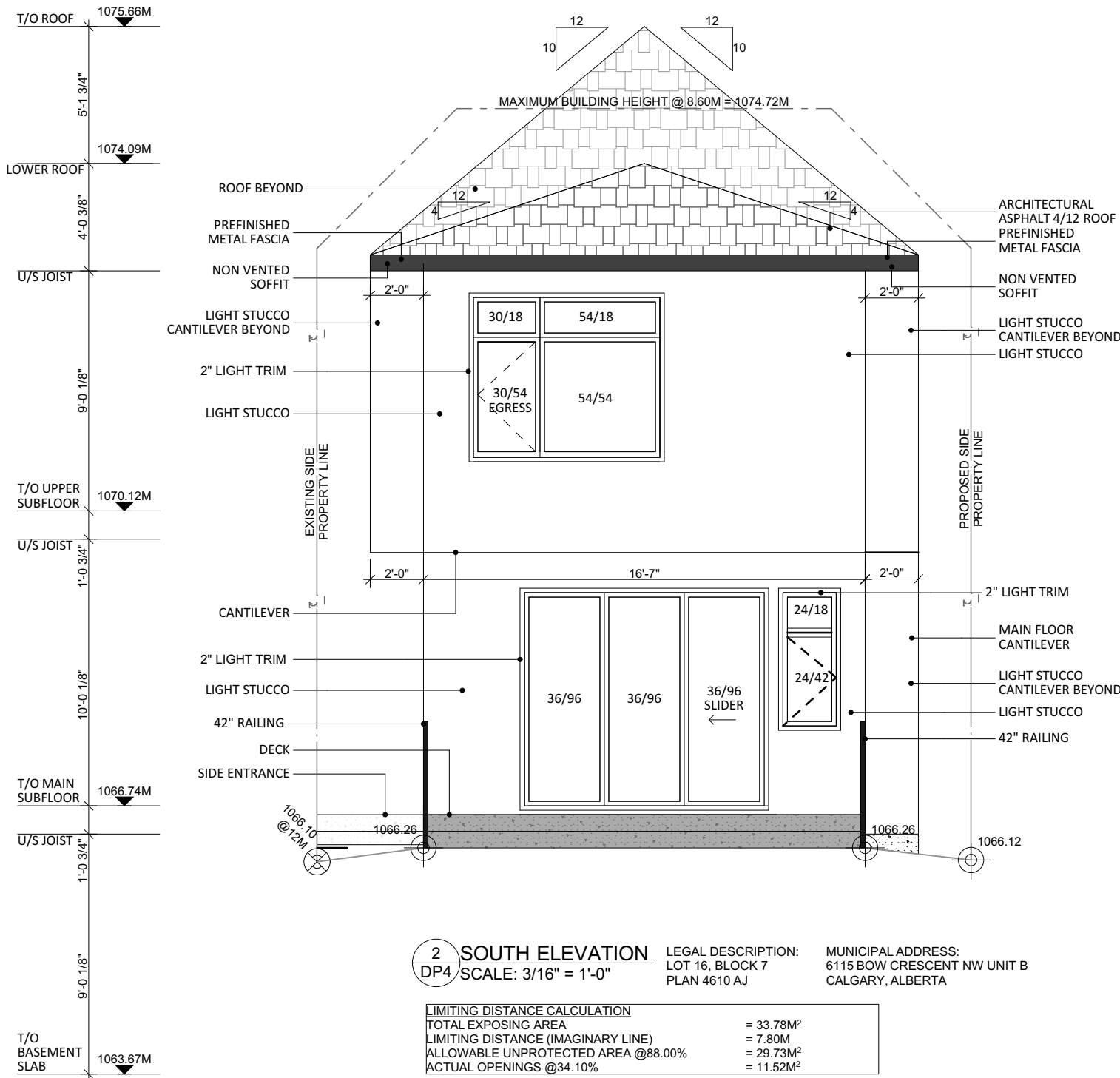
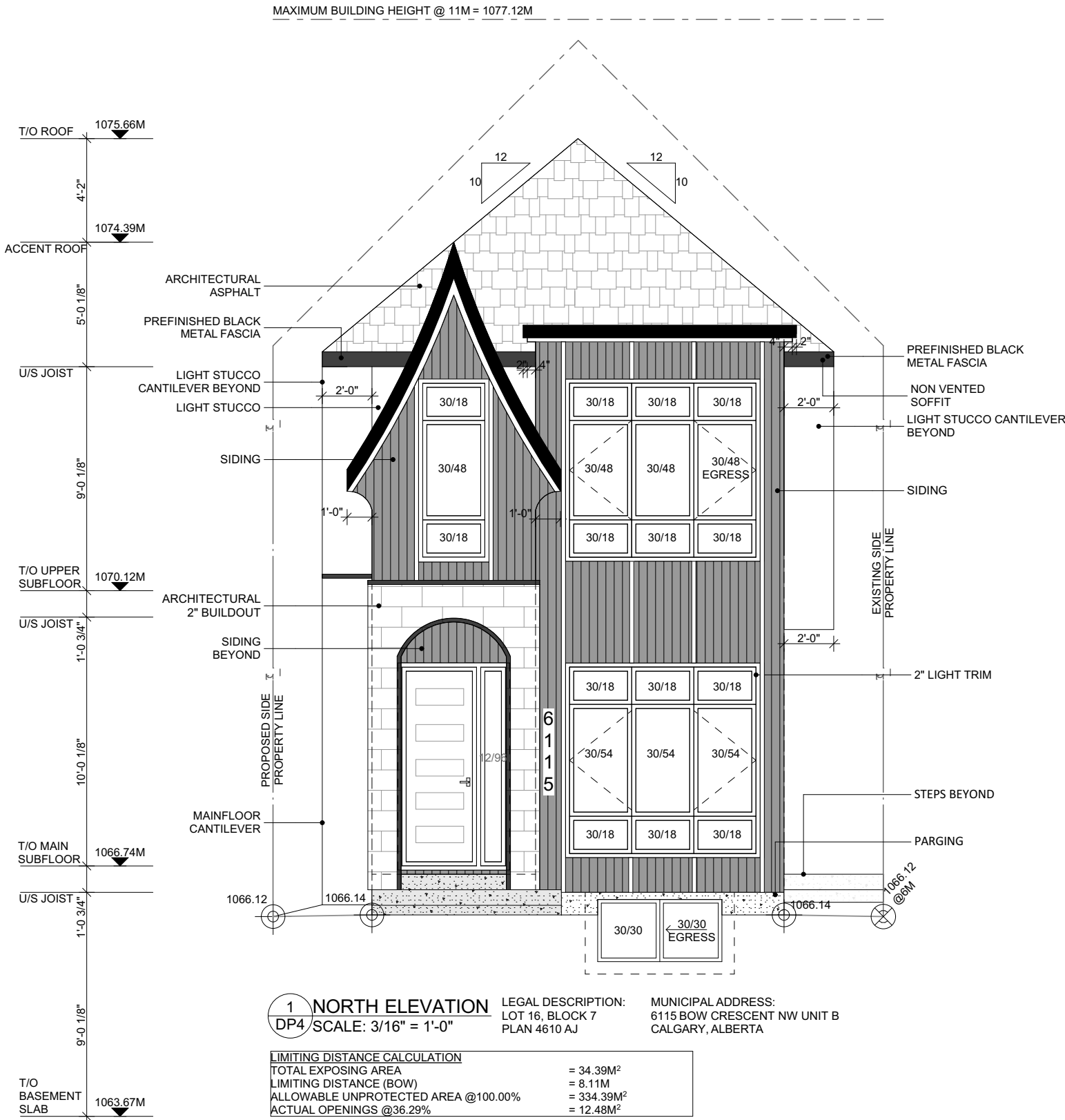
DRAWING #:

DP4

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DRAWING TITLE:

SIDE ELEVATIONS

PROJECT #: K26-0115

DATE: 2026-06-15

SCALE: AS SHOWN

DRAWN BY: KN

DRAWING #:

DP5

K5 Design Studio
+ Interior Design

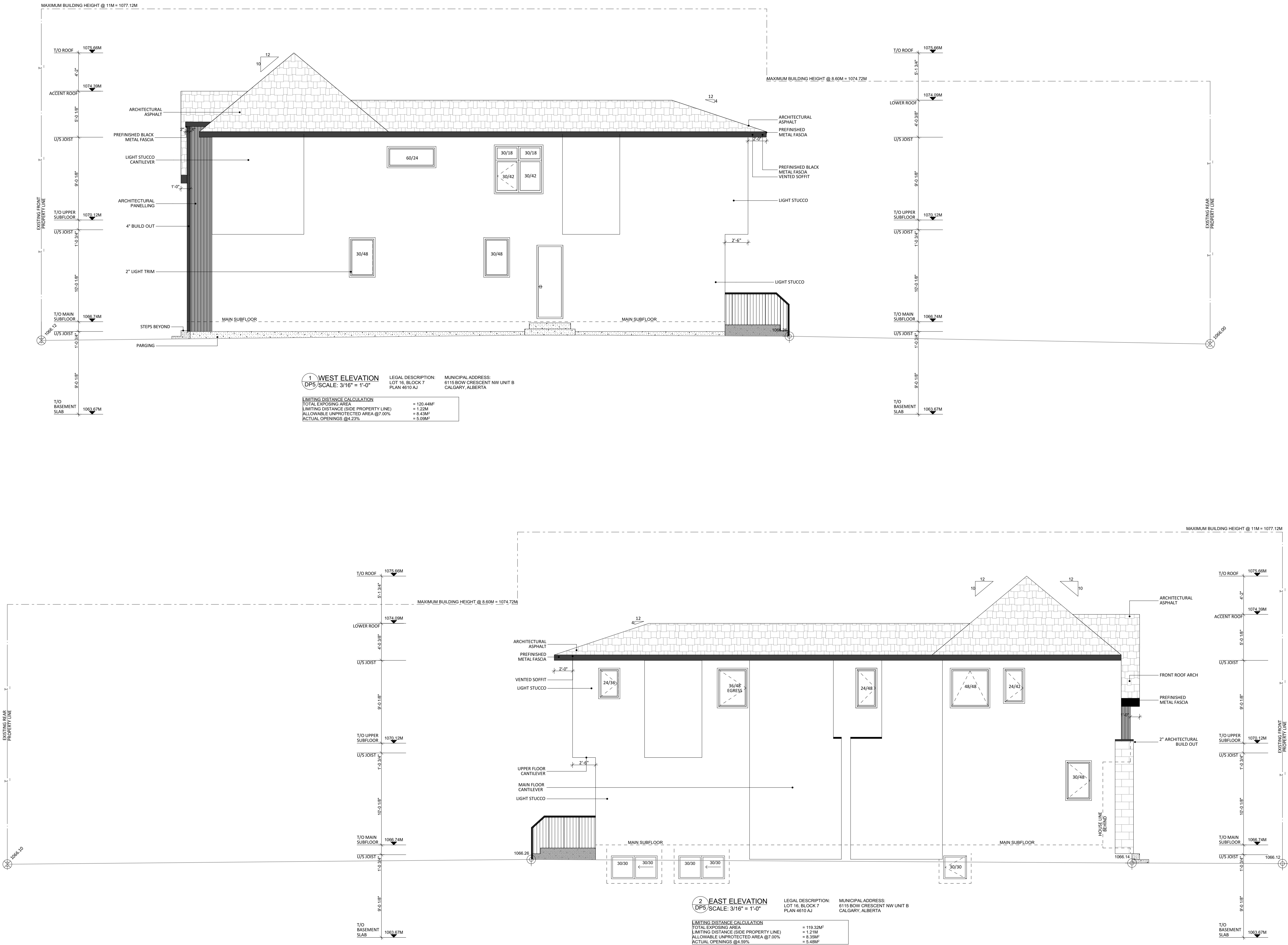
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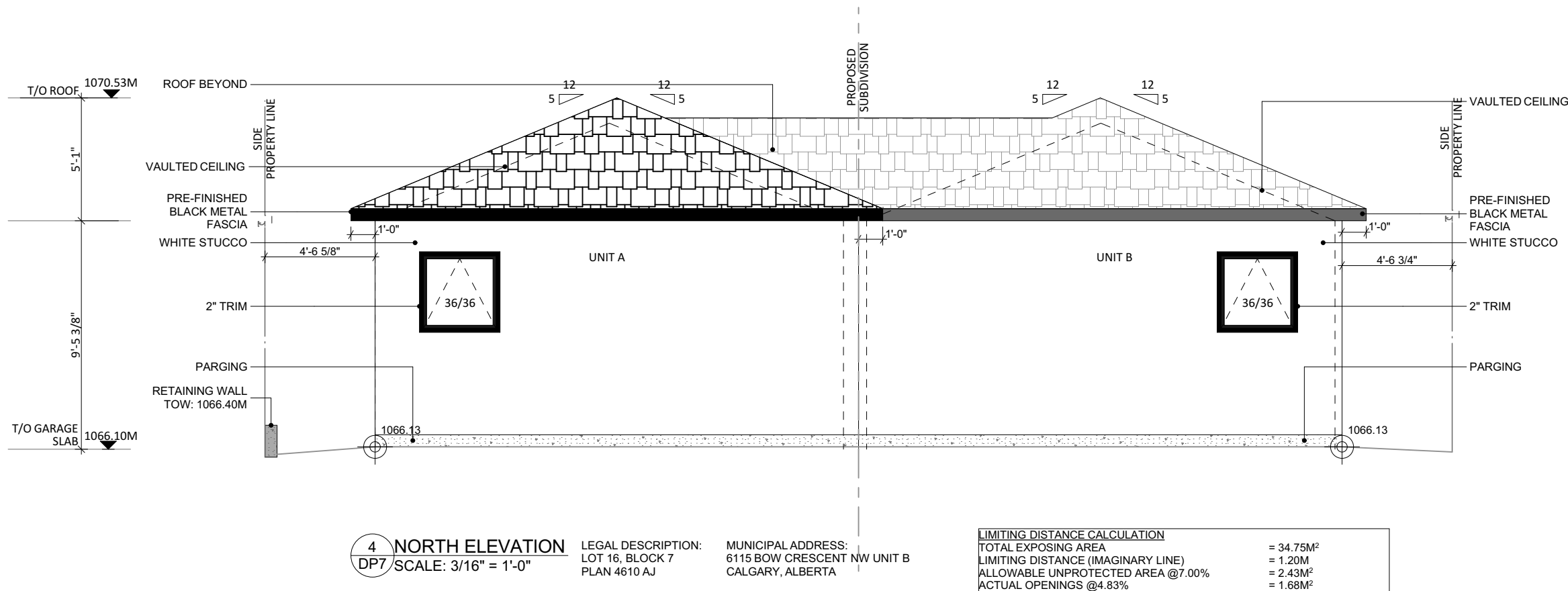
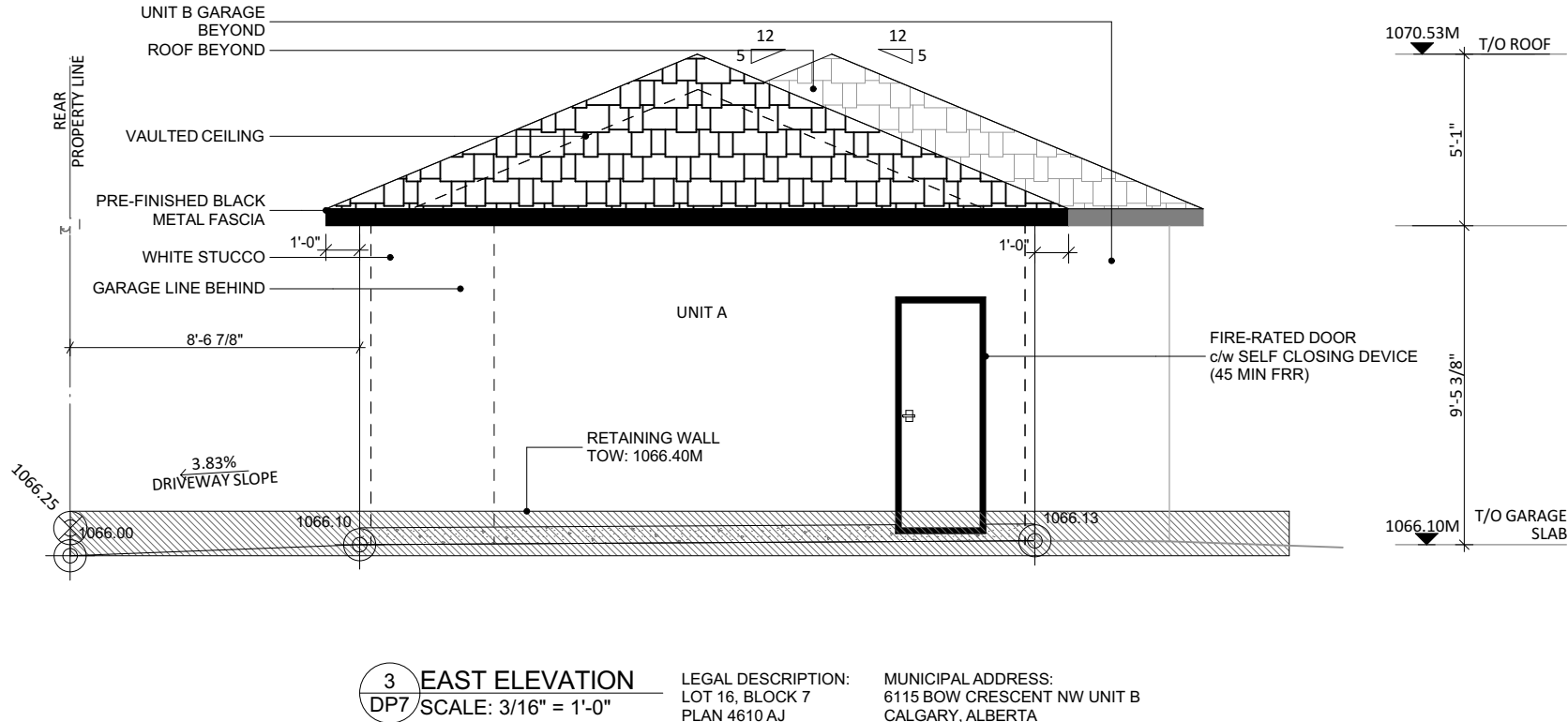
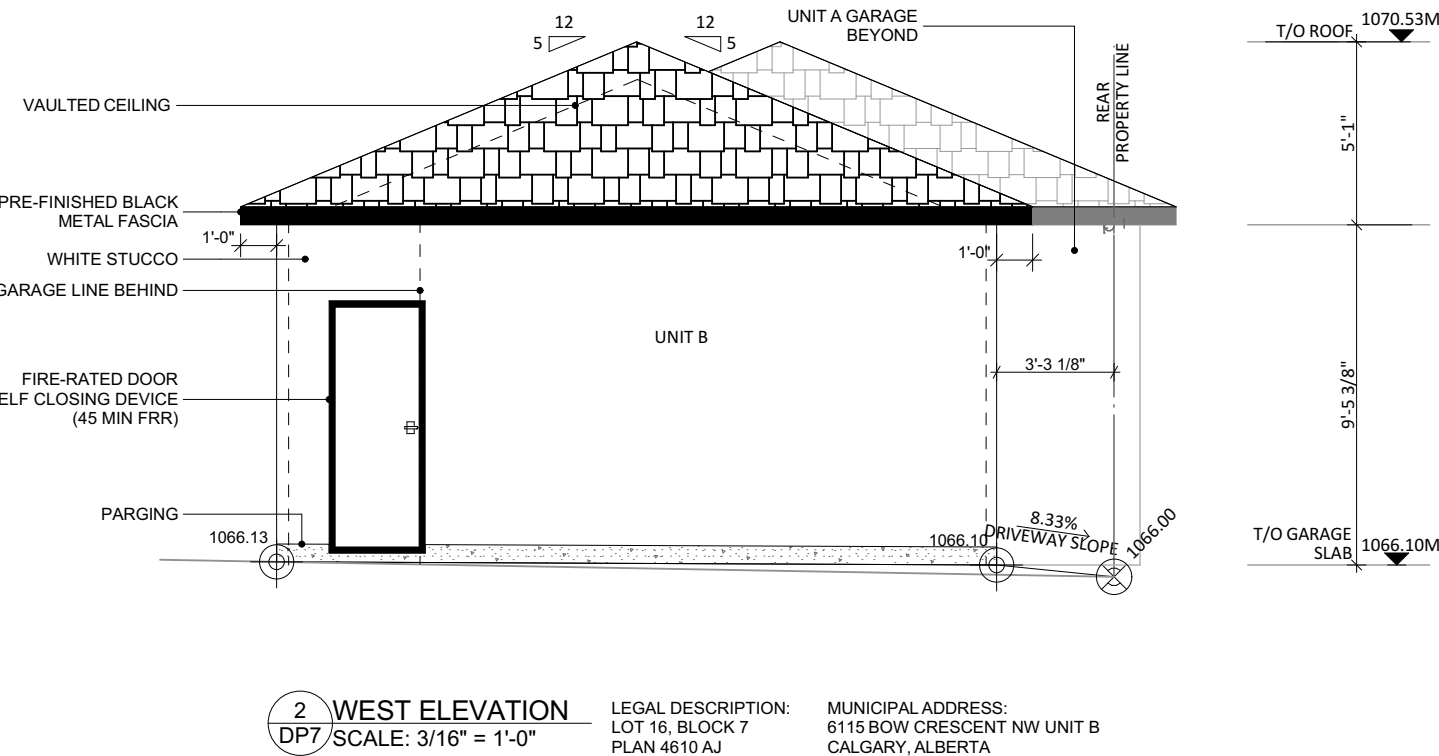
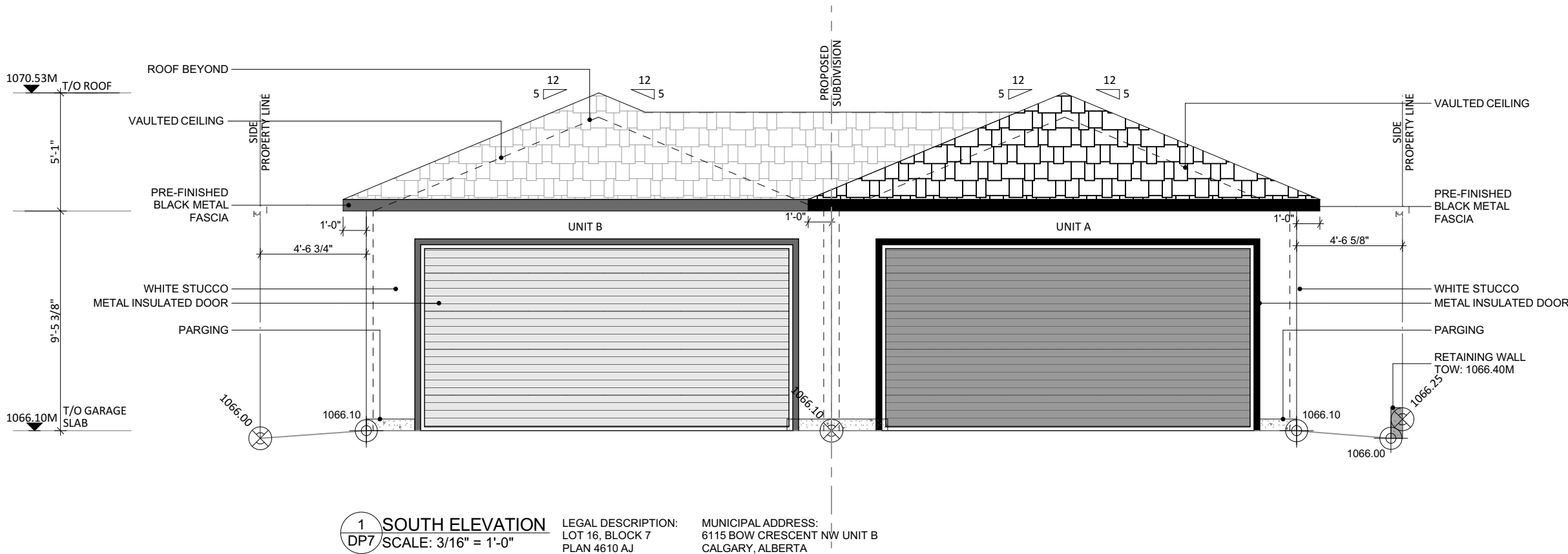
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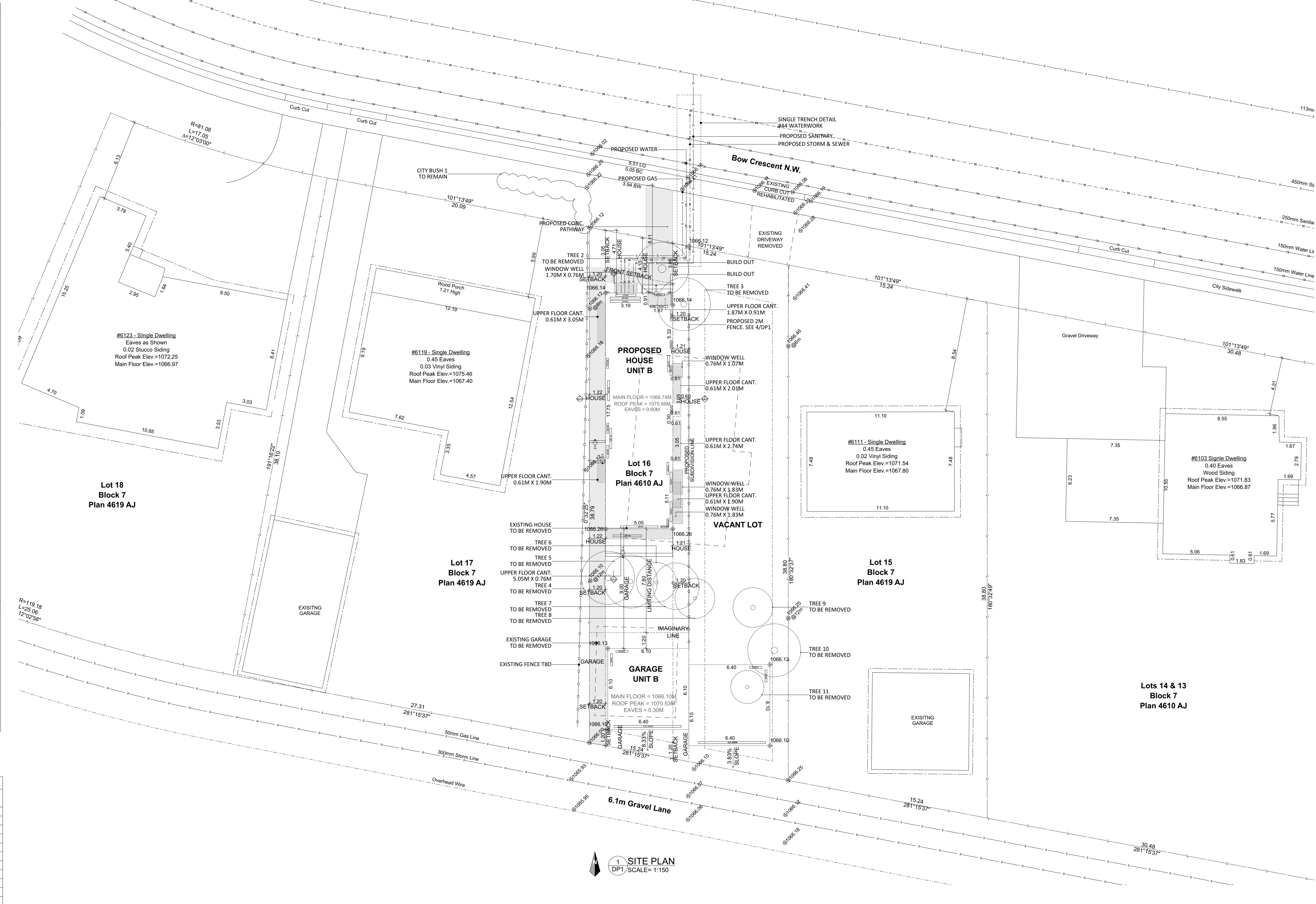
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