

# AMENDED DRAWINGS

DP No: DP2026-01653  
 Date Received: 06 25 2026  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

# SITE PLAN

## LEGEND

ELEVATIONS ARE SHOWN THUS:  $\odot$  = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 55269 AND 179085  
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\odot$  denotes Calculation points
- $\boxtimes$  denotes Water Valve
- $\odot$  denotes Gas Valve
- $\odot$  denotes Manhole
- $\odot$  denotes Tree
- $\odot$  denotes Power Pole
- $\triangle$  denotes Sign
- $\odot$  denotes Light Standard
- $\boxtimes$  denotes Fire Hydrant
- X-X- denotes Fence
- S-S- denotes Sanitary Line
- ST-ST- denotes Storm Line
- W-W- denotes Water Line
- G-G- denotes Gas Line
- E-E- denotes Electrical Line
- A-A- denotes A.G.T Line
- - - - denotes Utility Right of Way Line
- - - - denotes Property Line
- - - - denotes Door
- - - - denotes Main Floor Windows
- - - - denotes Second Floor Windows
- - - - denotes Basement Floor Windows
- - - - denotes Shed Hatch
- - - - denotes Detached Garage Hatch
- - - - denotes Main Building Hatch
- - - - denotes Concrete and Asphalt Hatch
- - - - denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: Grade Oriented (H-GO) District

SCALE 1:200

LEGAL DESCRIPTION:

Lots 16  
 Block 2  
 Plan 2736 HS

MUNICIPAL ADDRESS:

2720 45 ST. S.W.  
 Calgary, Alberta

LOT COVERAGE DETAIL:  
 (MULTI HOUSE)

LOT SIZE: 661.101 SQ M  
 HOUSE: 291.716 SQ M  
 MAIN CANT.: 0.000 SQ M  
 GARAGE: 99.340 SQ M  
 COVERED PORCH: 0.000 SQ M  
 WING WALL: 0.000 SQ M

TOTAL UNITS: 5  
 LOT SIZE: 661.101 SQ M (0.0661101 ha)  
 DENSITY: 75 UNITS/ha

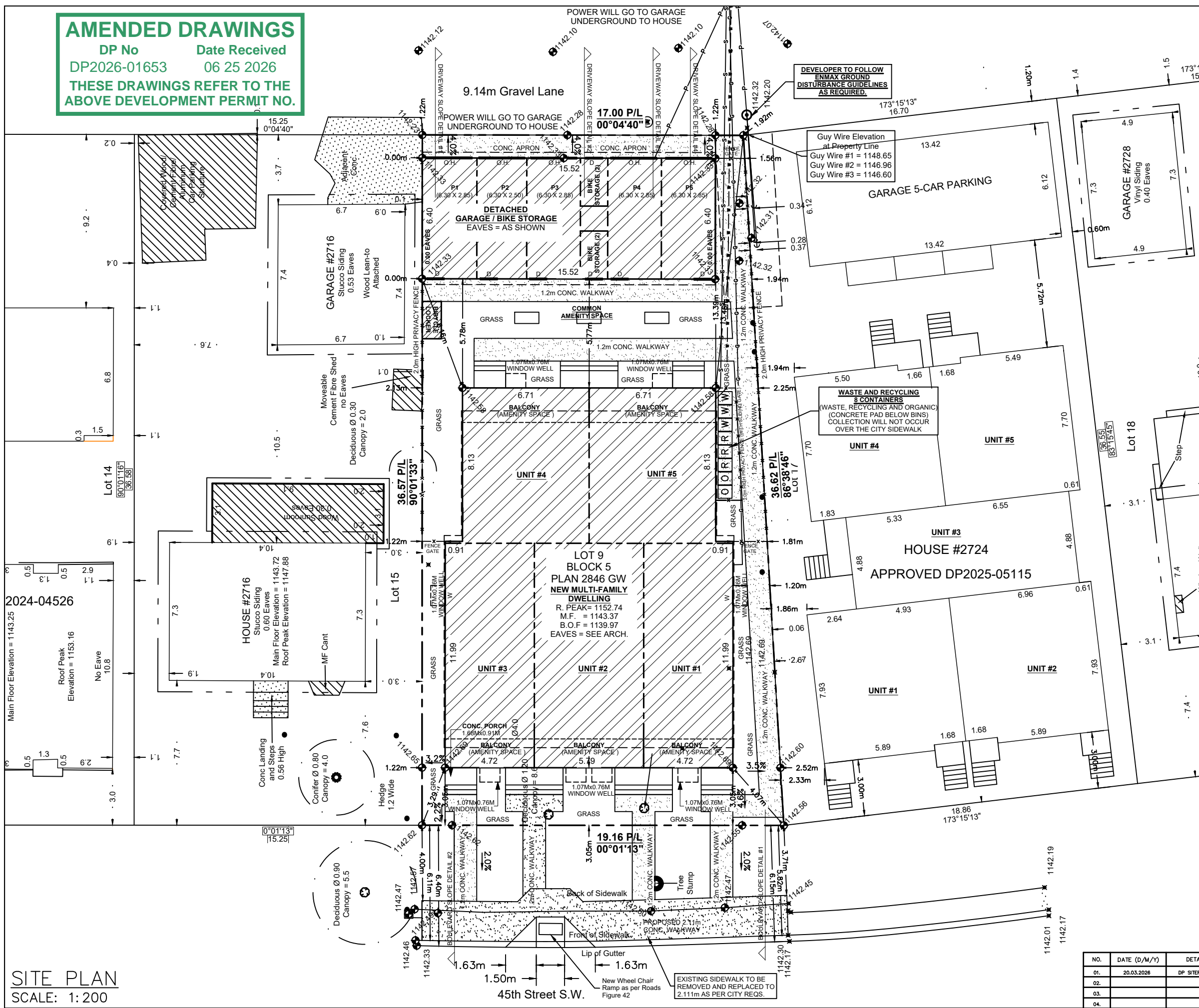
PARKING PROVIDED: 5 STALLS  
 CLASS #1 BIKE STORAGE: 5 UNITS

TOTAL : 391,056 / 661,101  
 = 59.152%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	SCALE:
01.	20.03.2026	DP SITEPLAN	T.Y.	2720 45 STREET SW Calgary, Alberta	1: 200
02.				Lots 16 Block 2	DIVISION NUMBER
03.				Plan 22736 HS	S 01
04.					

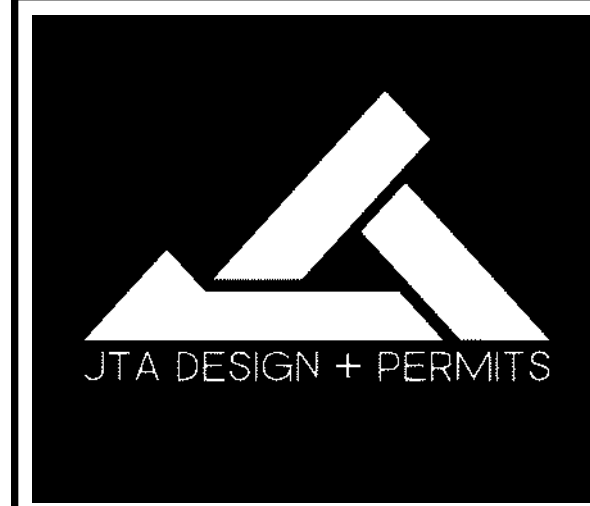
# SITE PLAN

SCALE: 1:200



2024-04526

SITE PLAN  
 SCALE: 1:200



GENERAL NOTES:

MUNICIPAL ADDRESS:  
2720 45 STREET S.W.

PROJECT:  
5 - UNITS TOWNHOME

PROJECT NUMBER:  
194 - 26

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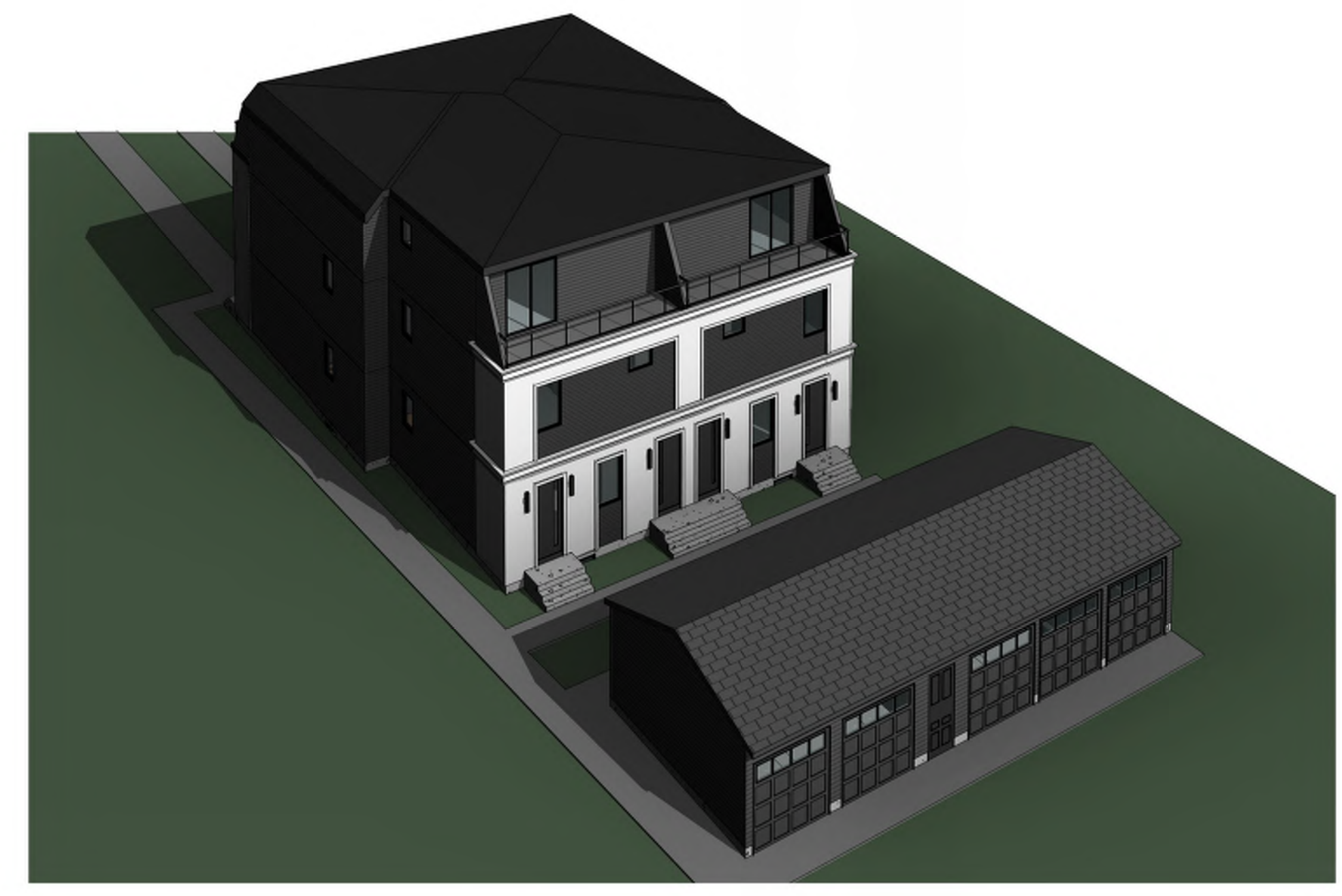
NO.	DATE(D/M/Y)	DETAIL	BY
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**LIST OF DRAWINGS**

A-0.0	Cover Page
A-0.1	Assemblies
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left & Right Elevation
A-3.0	Garage Plan & Elevations
A-3.1	Garage Sections
A-4.0	Section 1
A-4.1	Section 2 & 3
A-5.0	Details 1
A-5.1	Details 2
A-5.2	Details 3
A-5.3	Details 4
E-1.0	Basement Electrical
E-1.1	Main Electrical
E-1.2	Upper Electrical
E-1.3	Loft Electrical

FLOOR AREA - UNIT #1	FLOOR AREA - UNIT #2	FLOOR AREA - UNIT #3	FLOOR AREA - UNIT #4	FLOOR AREA - UNIT #5
BASEMENT (SUITE) = 605.50 SQ. FT.	BASEMENT (SUITE) = 741.00 SQ. FT.	BASEMENT (SUITE) = 605.50 SQ. FT.	BASEMENT (SUITE) = 594.00 SQ. FT.	BASEMENT (SUITE) = 594.00 SQ. FT.
MAIN = 605.50 SQ. FT.	MAIN = 741.00 SQ. FT.	MAIN = 605.50 SQ. FT.	MAIN = 594.00 SQ. FT.	MAIN = 594.00 SQ. FT.
UPPER = 605.50 SQ. FT.	UPPER = 741.00 SQ. FT.	UPPER = 605.50 SQ. FT.	UPPER = 594.00 SQ. FT.	UPPER = 594.00 SQ. FT.
LOFT = 528.00 SQ. FT.	LOFT = 646.00 SQ. FT.	LOFT = 528.00 SQ. FT.	LOFT = 462.00 SQ. FT.	LOFT = 462.00 SQ. FT.
TOTAL = 1739.00 SQ. FT.	TOTAL = 2128.00 SQ. FT.	TOTAL = 1739.00 SQ. FT.	TOTAL = 1650.00 SQ. FT.	TOTAL = 1650.00 SQ. FT.

DRAWING SET:

SHEET NAME:  
Cover Page

DESIGN BY: JT

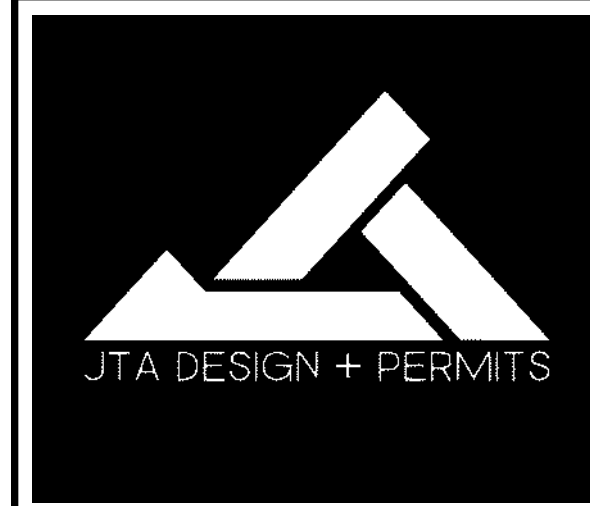
DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-25 11:10:51 AM

SCALE:

PAGE: **A-0.0**



GENERAL NOTES:

MUNICIPAL ADDRESS:  
2720 45 STREET S.W.

PROJECT:  
5 - UNITS TOWNHOME

PROJECT NUMBER:  
194 - 26

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DRAWING SET:

SHEET NAME:  
Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-25 11:11:01 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

- EXTERIOR FINISHES:**
- 1 TORCH-ON ROOF
  - 2 6" ALUMINUM FASCIA
  - 3 DARK HARDIE SIDING FINISH
  - 4 LIGHT STUCCO FINISH
  - 5 SMART BOARD & BATTEN - BLACK
  - 6 BRICK FINISH AS SPEC'D.
  - 7 PRECAST CONCRETE
  - 8 CONC. PARGING

**VENTED SOFFIT NOTES:**  
-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

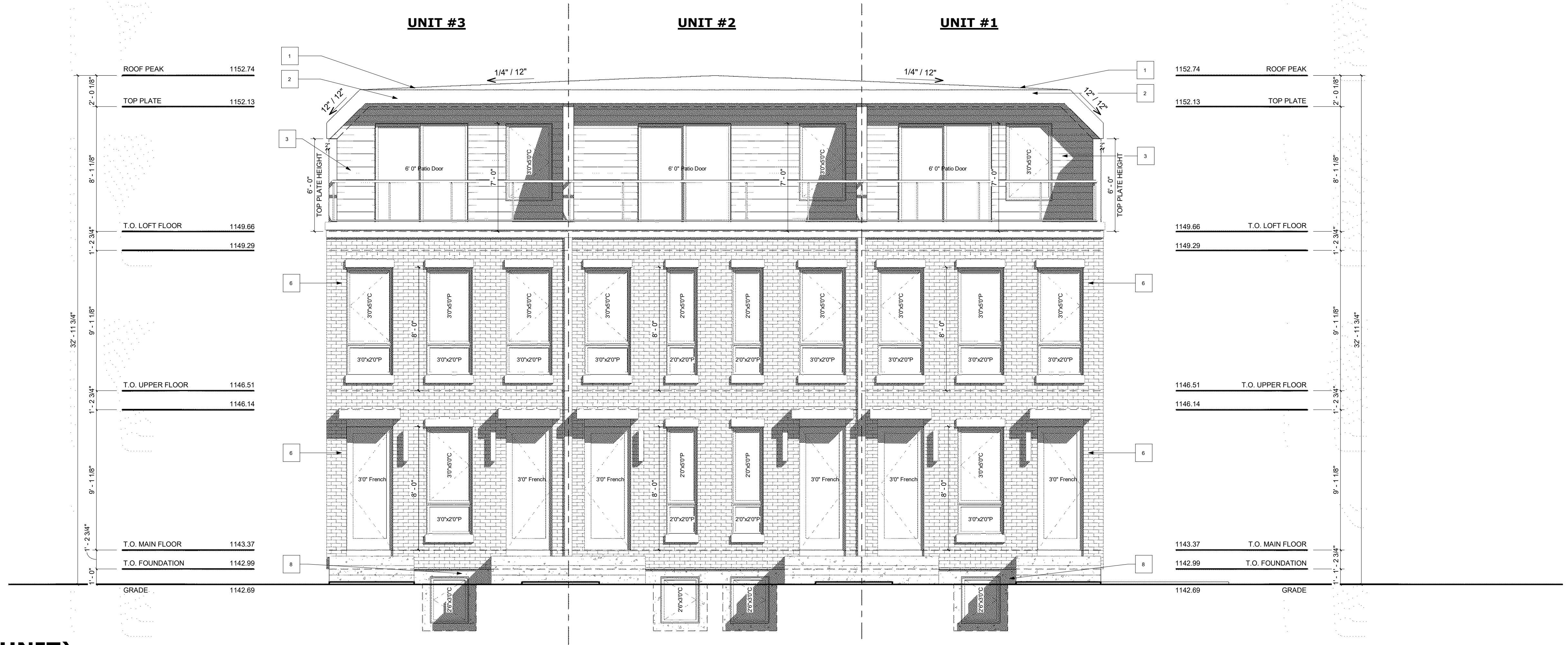
**FRONT ELEVATION (FRONT UNIT)**  
SCALE: 1/4" = 1'-0"

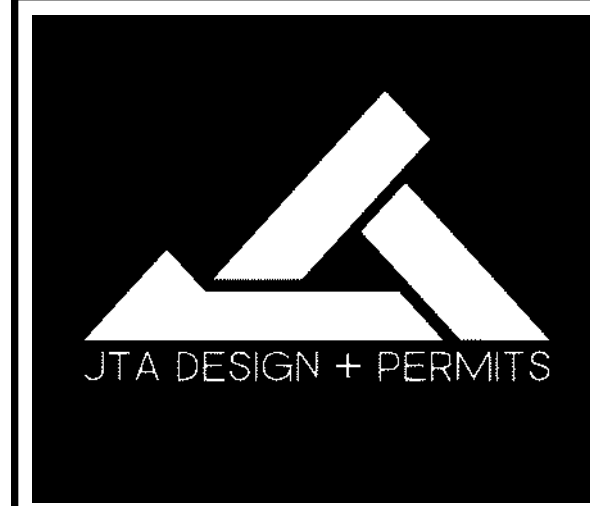
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  - 8 CONC. PARGING

NBC 2023 A.E. REFERENCE 9.10.14. SPATIAL SEPARATION BETWEEN BUILDINGS  
WINDOW CALCULATION @4.57m LIMITING DISTANCE  
WALL AREA = 1362.95 SQ. FT.  
WINDOW AREA = 160.71 SQ. FT.  
TOTAL: 160.71 / 1154.92 = 11.79%

**VENTED SOFFIT NOTES:**  
-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

**REAR ELEVATION (FRONT UNIT)**  
SCALE: 1/4" = 1'-0"





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DRAWING SET:

SHEET NAME:  
Left & Right Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-25 11:11:05 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**

**EXTERIOR FINISHES:**

- 1 TORCH-ON ROOF
- 2 6" ALUMINUM FASCIA
- 3 DARK HARDIE SIDING FINISH
- 4 LIGHT STUCCO FINISH
- 5 SMART BOARD & BATTEN - BLACK
- 6 BRICK FINISH AS SPEC'D.
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**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

**WINDOW CALCULATION 1:**

@ 7.22m LIMITING DISTANCE  
WALL AREA = 1944.17 SQ. FT.  
WINDOW AREA = 58.13 SQ. FT.  
TOTAL: 58.13 / 1944.17 = 2.9%



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISHES:**

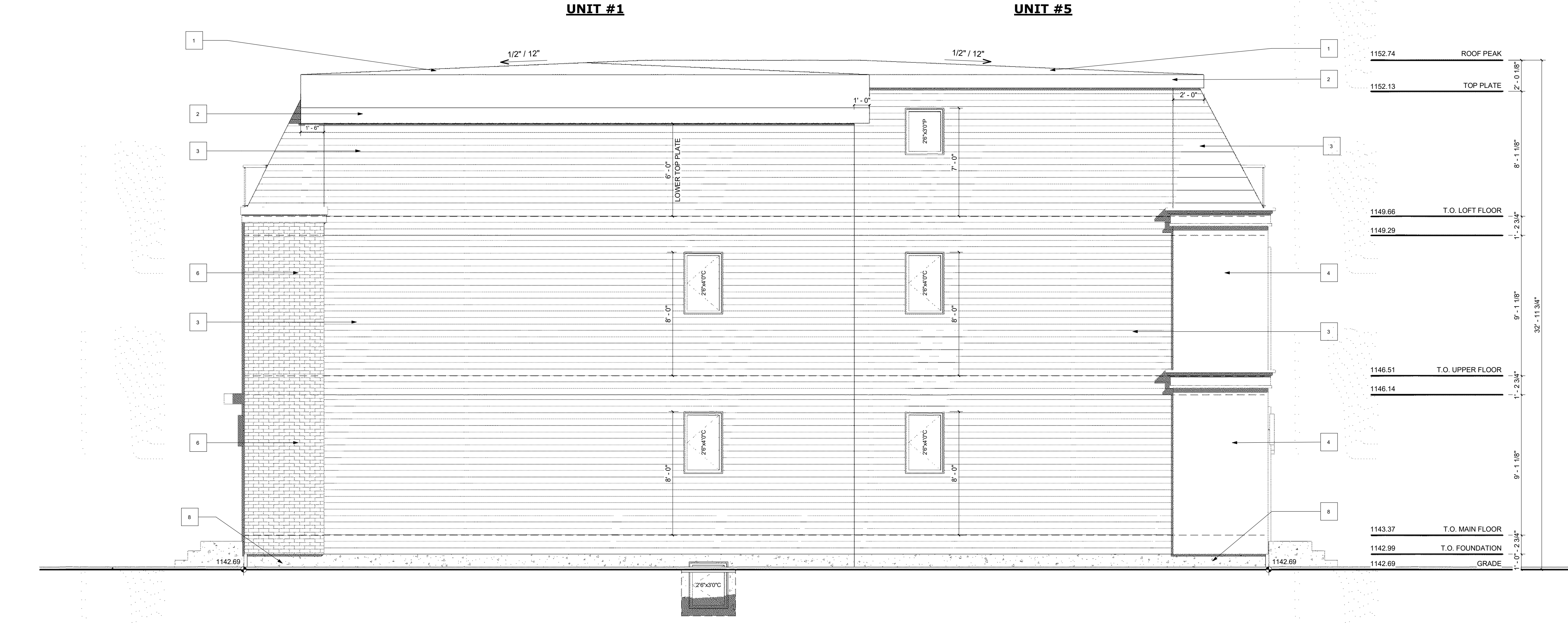
- 1 TORCH-ON ROOF
- 2 6" ALUMINUM FASCIA
- 3 DARK HARDIE SIDING FINISH
- 4 LIGHT STUCCO FINISH
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**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

**WINDOW CALCULATION 2:**

@ 7.22m LIMITING DISTANCE  
WALL AREA = 1944.17 SQ. FT.  
WINDOW AREA = 58.13 SQ. FT.  
TOTAL: 58.13 / 1944.17 = 2.9%



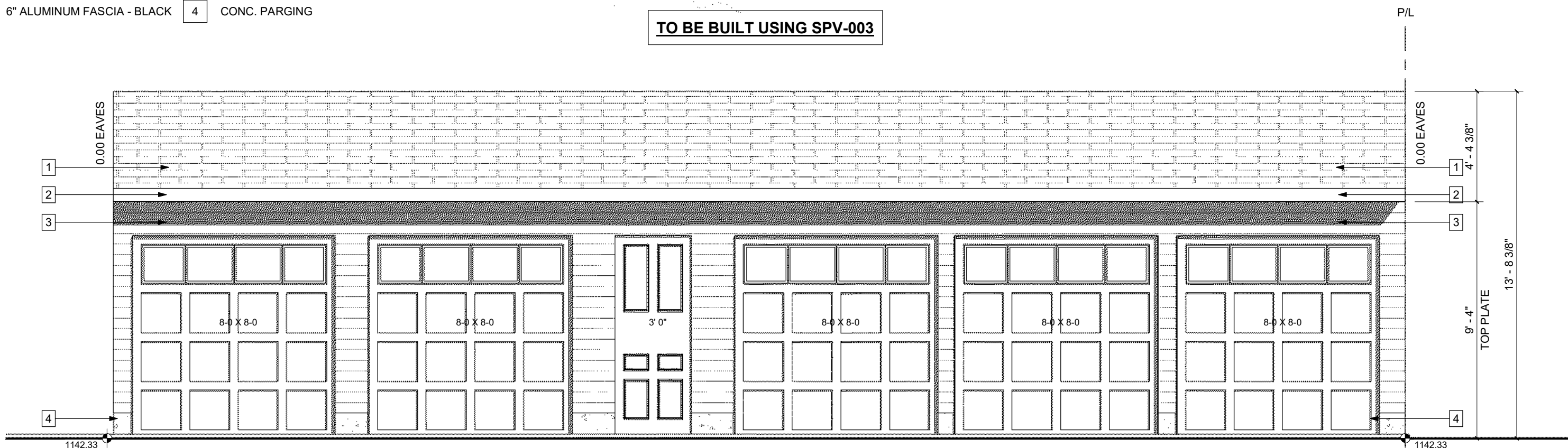
**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 HARDIEBOARD SIDING FINISH - BLACK
- 4 CONC. PARGING

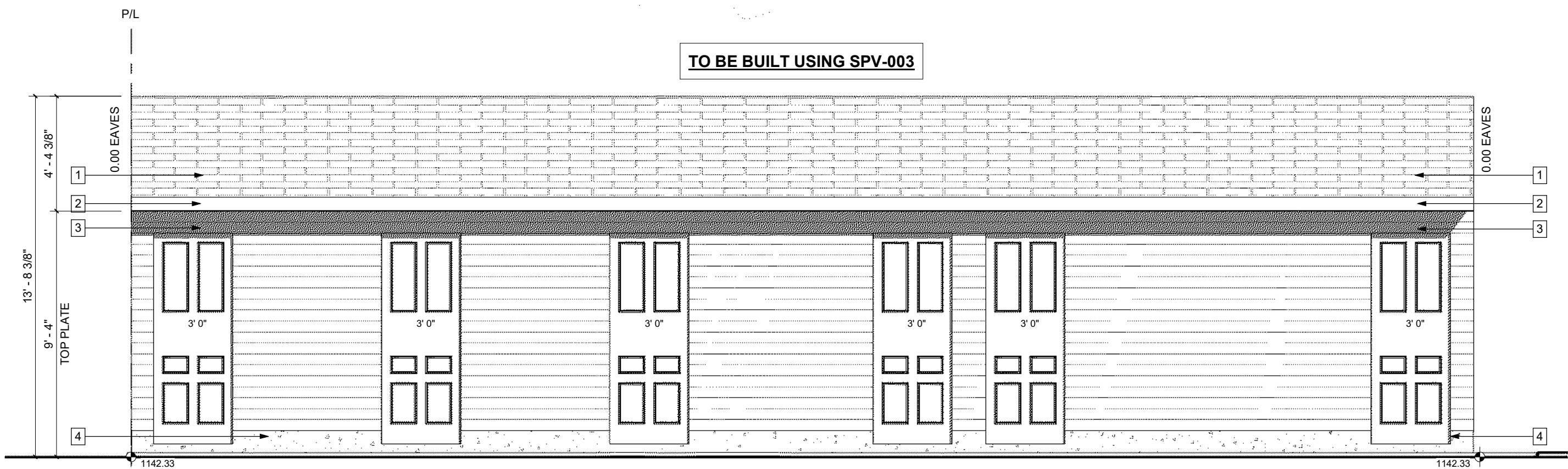
TO BE BUILT USING SPV-003



**GARAGE FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

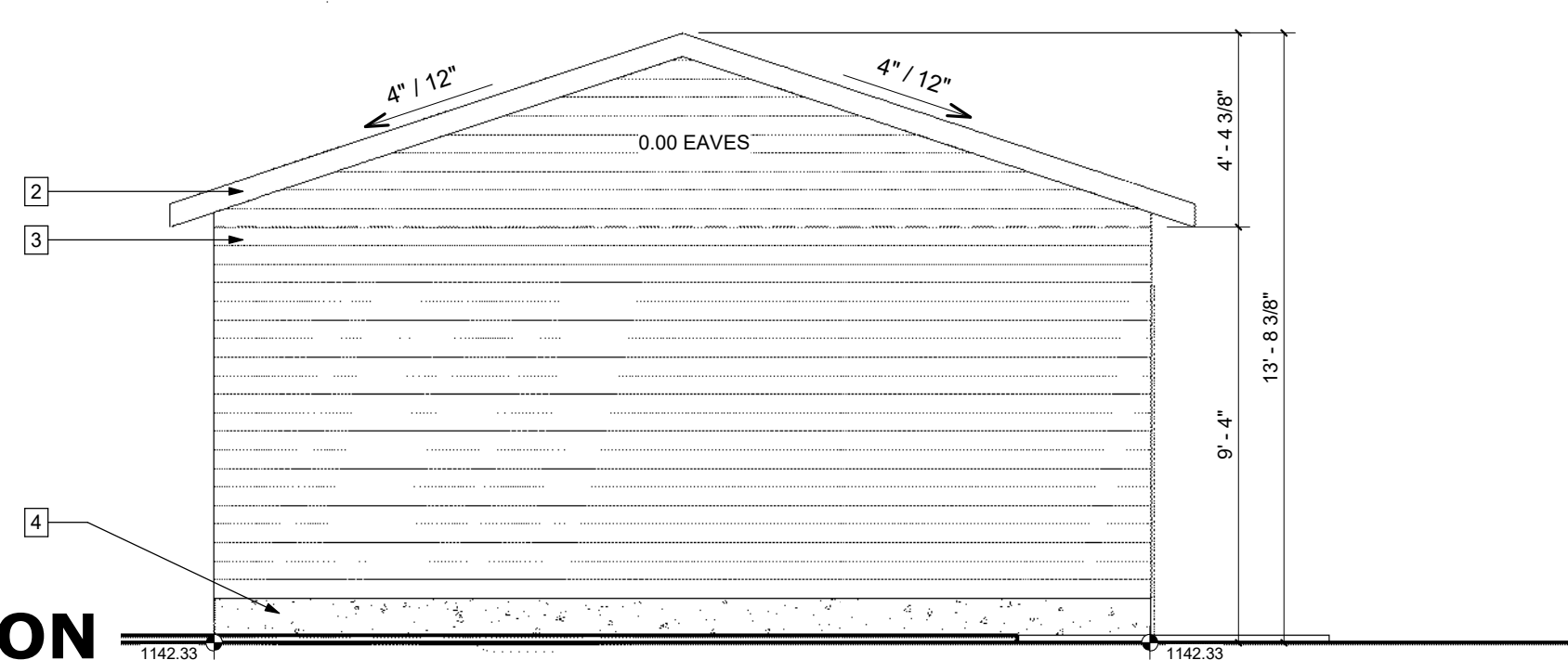
TO BE BUILT USING SPV-003



**GARAGE REAR ELEVATION**

SCALE: 1/4" = 1'-0"

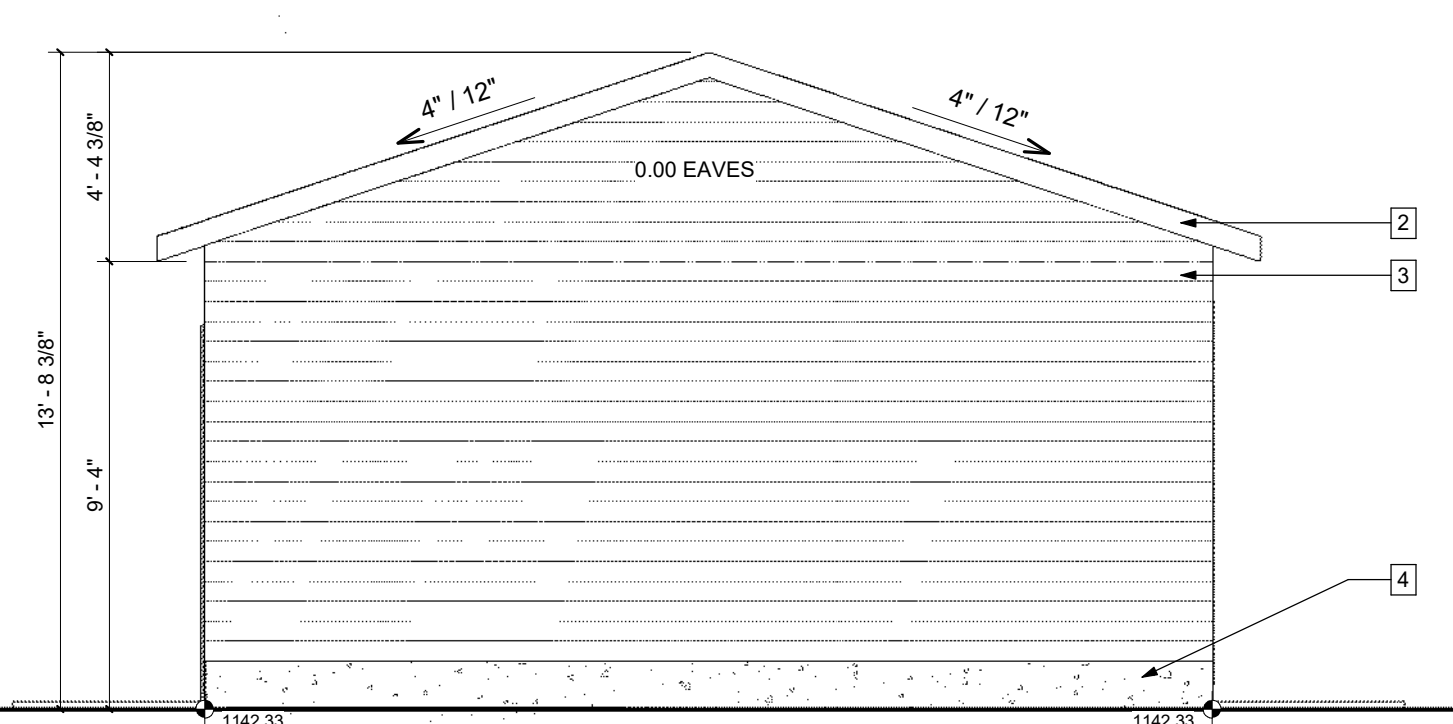
TO BE BUILT USING SPV-003



**GARAGE RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

TO BE BUILT USING SPV-003

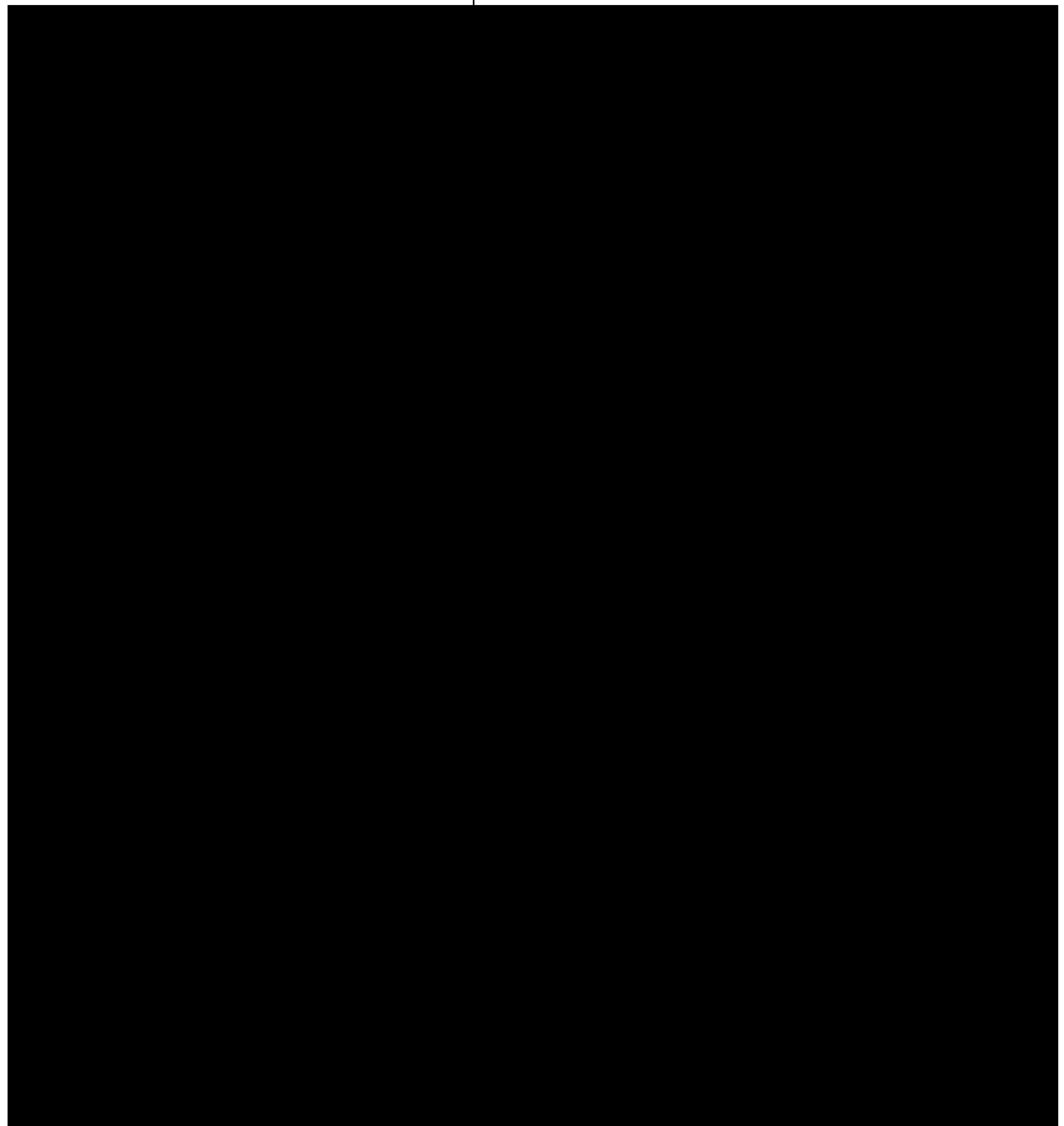


**GARAGE LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

\*32 MPA CONCRETE STRENGTH AT 28 DAYS C-W TYPE 60 CEMENT UNLESS RECOMMENDED OTHERWISE BY GEOTECHNICAL ENGINEER\*

TO BE BUILT USING SPV-003



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2720 45 STREET S.W.

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5 - UNITS TOWNHOME

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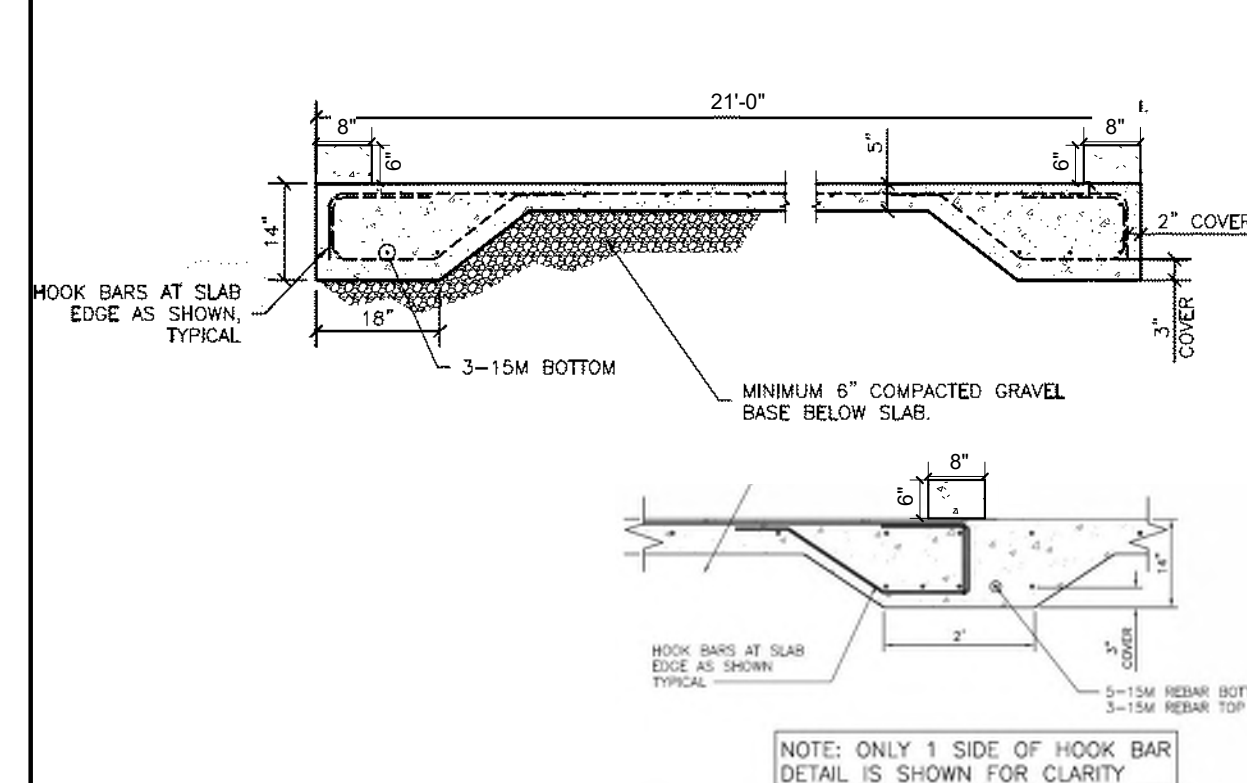
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**GARAGE FOUNDATION SECTION**

SCALE: NTS

**ULINE 1-LOOP WAVE STYLE BIKE RACK**



MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27



**CLASS-1 BICYCLE PARKING STALL DETAILS**

SCALE: NTS

DRAWING SET:

SHEET NAME:  
Garage Plan & Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-25 11:11:08 AM

SCALE: As indicated

PAGE: **A-3.0**