

4313 30 AVE SW

4 UNIT ROWHOUSE W/ 4 SECONDARY SUITES
LOT 11, BLOCK 38, PLAN 8158 HM
GLENBROOK, SW CALGARY, LOT ZONING: R-CG

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RESPONSIBILITIES

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587-377-7279 vaughn@vmdesigns.ca

ISSUED SETS		m/d/y
DP Set		03.19.26
DR Draft Set		06.05.26
DR Set		06.26.26
DR Set - Rev 1		07.06.26

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

STREET ADDRESS

4313 30 AVE SW

LEGAL ADDRESS

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PLAN 8158 HM

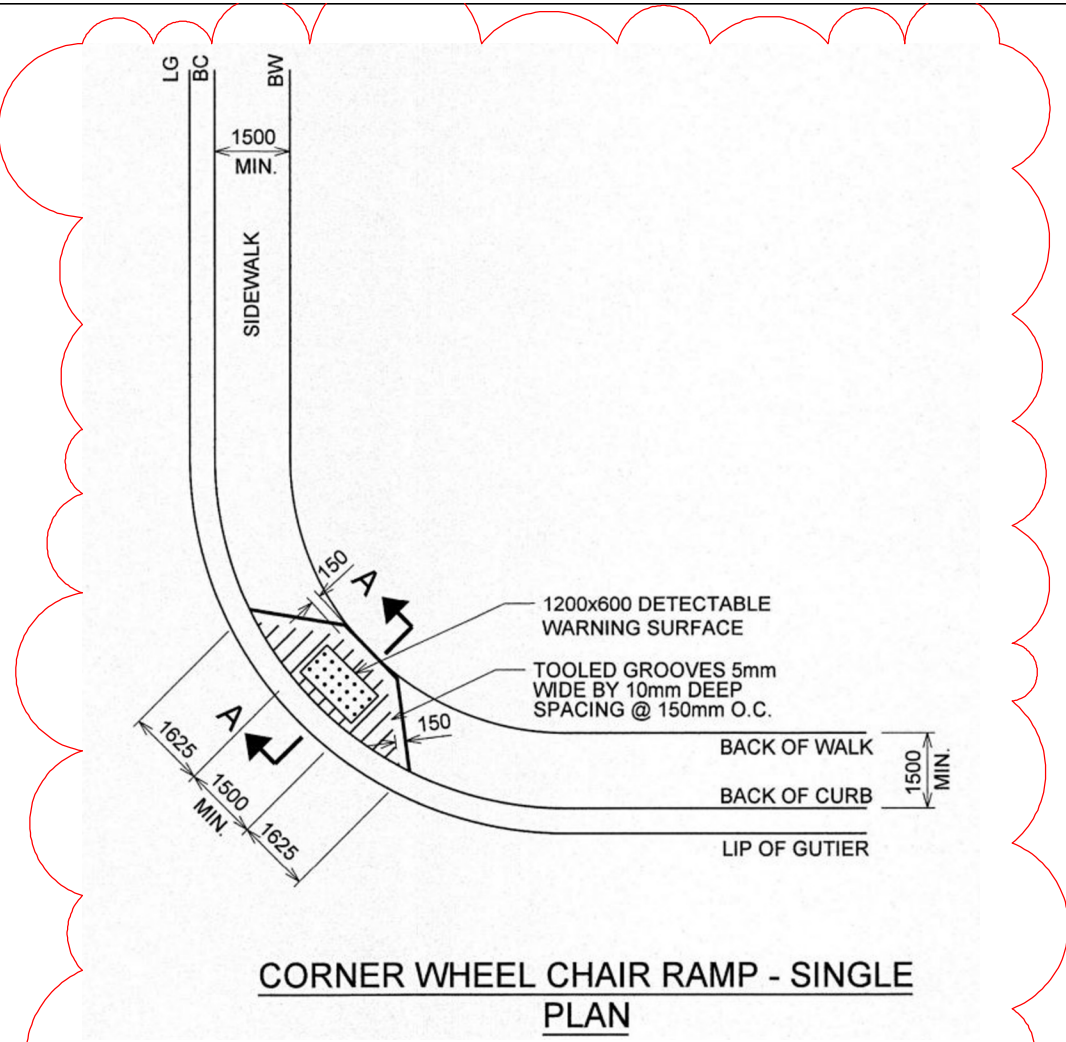
PROJECT

GLENBROOK
ROWHOUSE

DRAWING

COVER PAGE

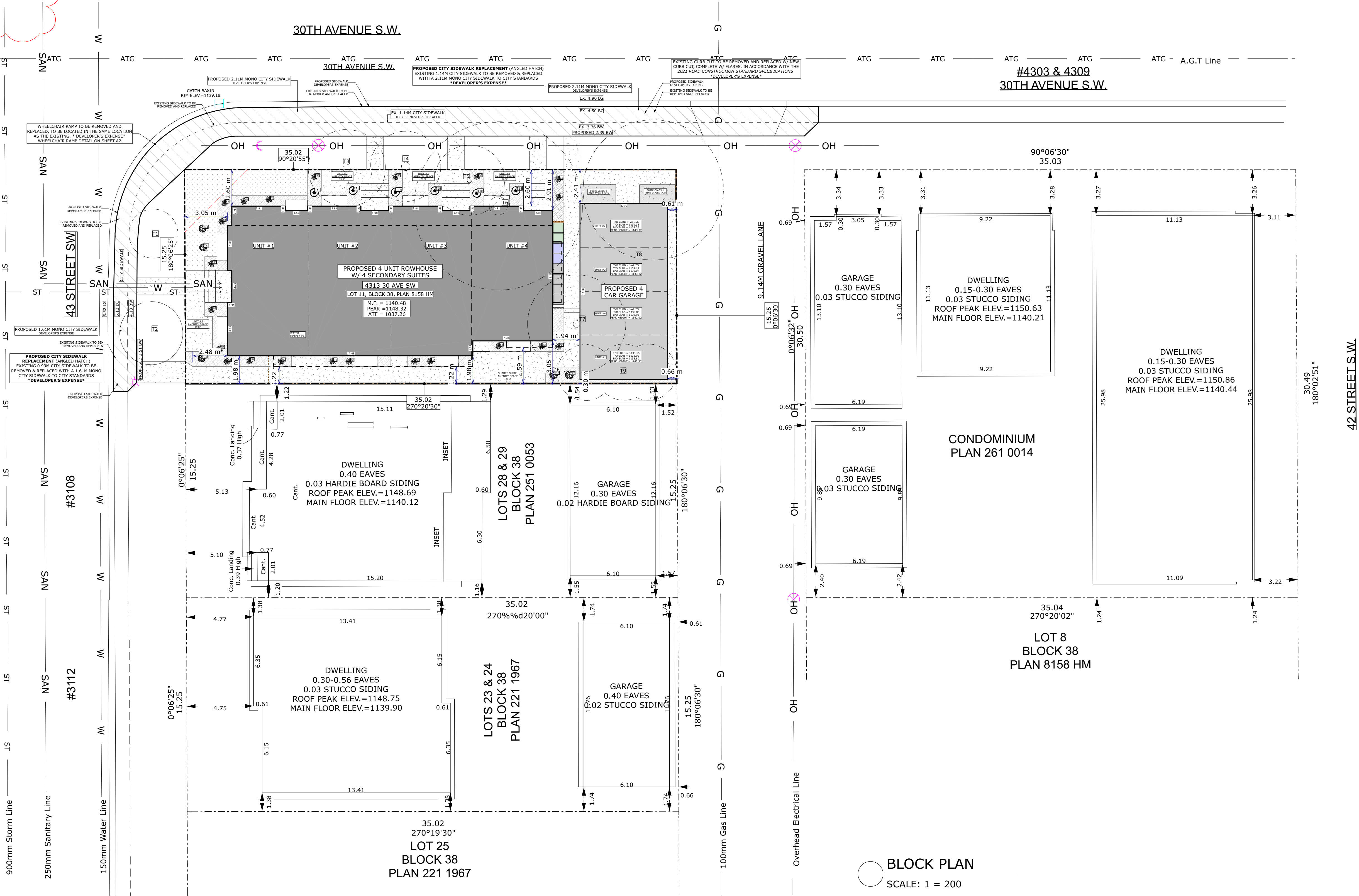
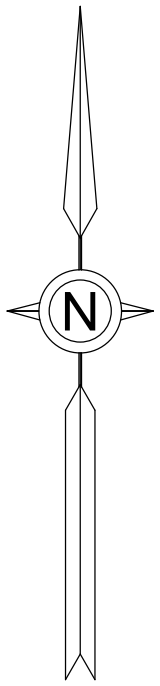
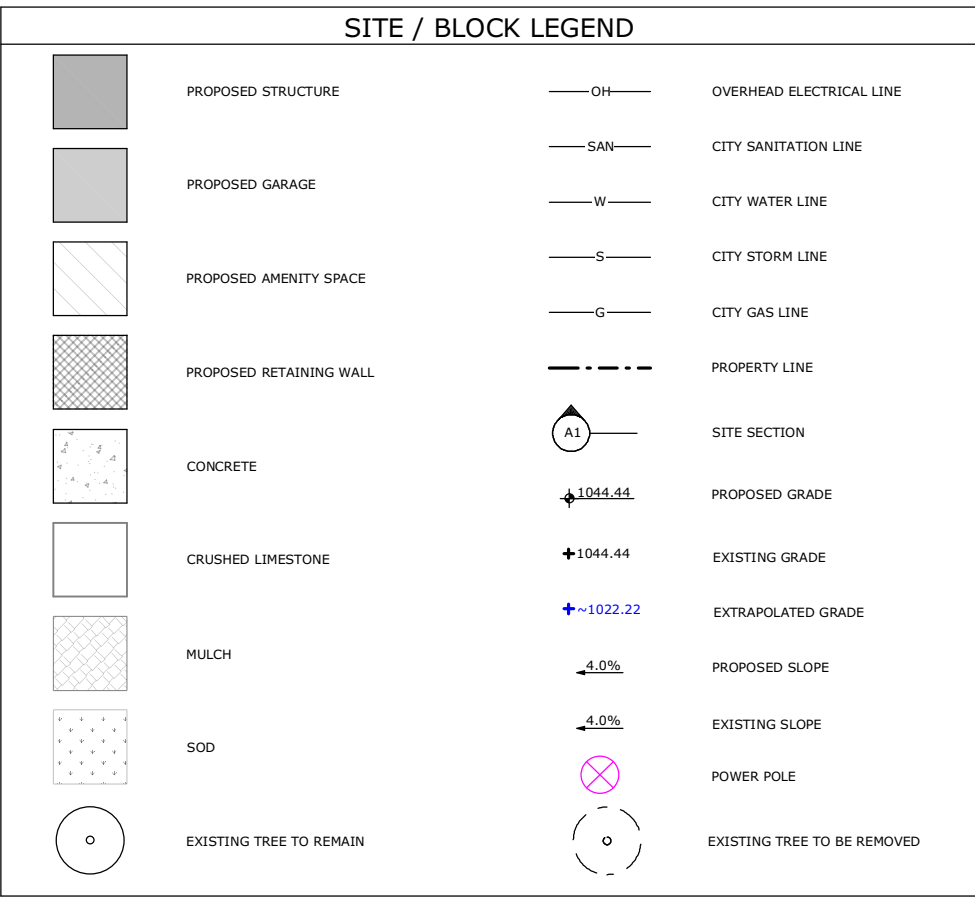
ZONING R-CG	PROJECT TAG 26-06-RMH-03
DRAWN BY VM	SHEET
SCALE AS NOTED	A1 / 9



CORNER WHEEL CHAIR RAMP - SINGLE PLAN

WHEELCHAIR RAMP
SCALE: N.T.S.

TREE SCHEDULE:						
Tree No.	Variety	Trunk (m)	Canopy (m)	Height (m)	Location	STATUS & NAME
T1	Bush	---	4.5	3.5	In City Property	To be removed
T2	Deciduous	0.15	4.5	5.0	In City Property	To remain (T-32249340 - CRATAEGUS)
T3	Coniferous	0.55	5.5	15.0	On Property Line	To be removed (T-51560687) - PICEA GLAUCA
T4	Coniferous	0.60	5.0	14.0	On Property Line	To be removed (T-51560686) - PICEA GLAUCA
T5	Deciduous	0.35	5.0	9.0	In Subject Property	To be removed
T6	Deciduous	1.30	12.0	7.5	In Subject Property	To be removed
T7	Deciduous	0.50	7.0	5.5	In Subject Property	To be removed
T8	Bush	---	6.0	10.0	In Subject Property	To be removed
T9	Tree Line	0.15	4.0	6.0	In Subject Property	To be removed
T10	Coniferous	0.10	0.60	2.00	In Subject Property	To be Planted (x6) Green Penguin Scots Pine - Pinus syl. 'Green Penguin' *MA
T11	Deciduous	0.10	0.60	2.00	In Subject Property	To be planted (x3) - Princess Kay Plum - Prunus nigra 'Princess Kay' *MATURE
T12	Deciduous	0.10	0.60	2.00	In Subject Property	To be Planted (x2) Columnar Swedish Aspen - Populus tremula 'Erecta'
S1	Bush	-	0.60	0.60	In Subject Property	To be planted (x9) - Bella Sol Potentilla - Potentilla Fruticosa 'Hachdon'
S2	Bush	-	0.60	0.60	In Subject Property	To be planted (x5) - Blue Star Juniper - Juniperus Squuamata 'Blue Star'
S3	Bush	-	0.60	0.60	In Subject Property	To be planted (x8) - Tor Spirea - Spiraea Betulifolia 'Tor'



BLOCK PLAN
SCALE: 1 = 200

RESPONSIBILITIES

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STREET ADDRESS

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LEGAL ADDRESS

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PLAN 8158 HM

PROJECT

GLENBROOK
ROWHOUSE

DRAWING

BLOCK PLAN

ZONING

R-CG

DRAWN BY

VM

SCALE

AS NOTED

PROJECT TAG

26-06-RMH-03

SHEET

A2 / 9

VM DESIGNS

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PLAN 8158 HM

GLENBROOK ROWHOUSE

SITE PLAN & BUILDING STATS

ZONING R-CG	PROJECT TAG 26-06-RMH-03
DRAWN BY VM	SHEET A3 / 9
SCALE AS NOTED	

BUILDING HEIGHT

PROPOSED PEAK GEODETIC = 1148.32 m

9.32 m

LOT AREA = 0.053401 ha
 UNITS = 4

LOT AREA = 534.01 m2 (5,748.04 sf)
BUILDING FOOTPRINT = 237.60 m2 (2,557.58 sf)
GARAGE = 78.40 m2 (843.92 sf)
TOTAL COVERED AREA = 316.00 m2 (3,401.50 sf)
TOTAL COVERED AREA ALLOWED = 320.40 m2 (3,448.82 sf)

59.17 %

UNIT #1 = 89 SF
UNIT #2 = 76 SF
UNIT #3 = 76 SF
UNIT #4 = 76 SF
SHARED SUITE AMENITY = 188 SF

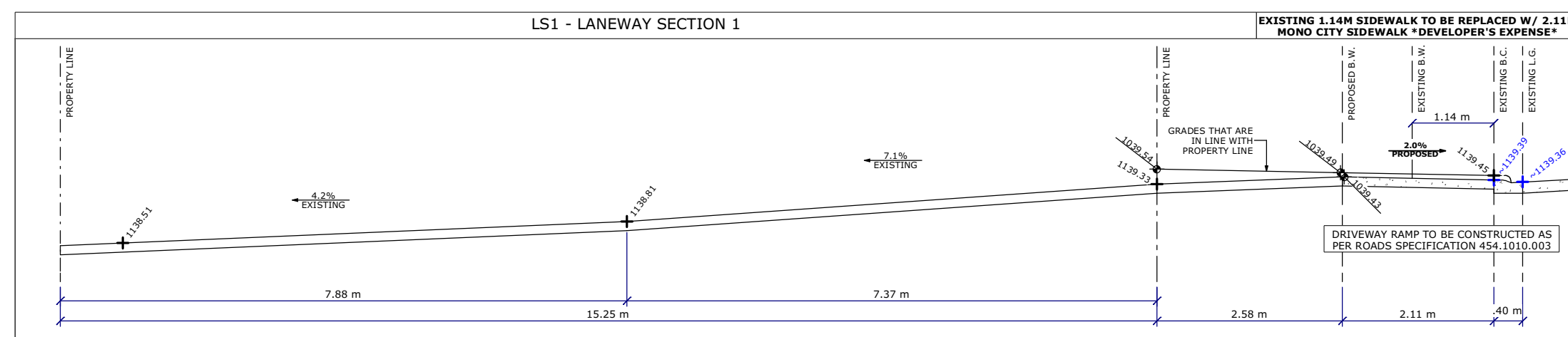
TOTAL = 505 sf

UNIT #1	TOTAL = 1199 sf MAIN = 647 sf UPPER = 552 sf
UNIT #2	TOTAL = 1240 sf MAIN = 658 sf UPPER = 582 sf
UNIT #3	TOTAL = 1240 sf MAIN = 658 sf UPPER = 582 sf
UNIT #4	TOTAL = 1088 sf MAIN = 591 sf UPPER = 497 sf
TOTAL = 4,767 sf	

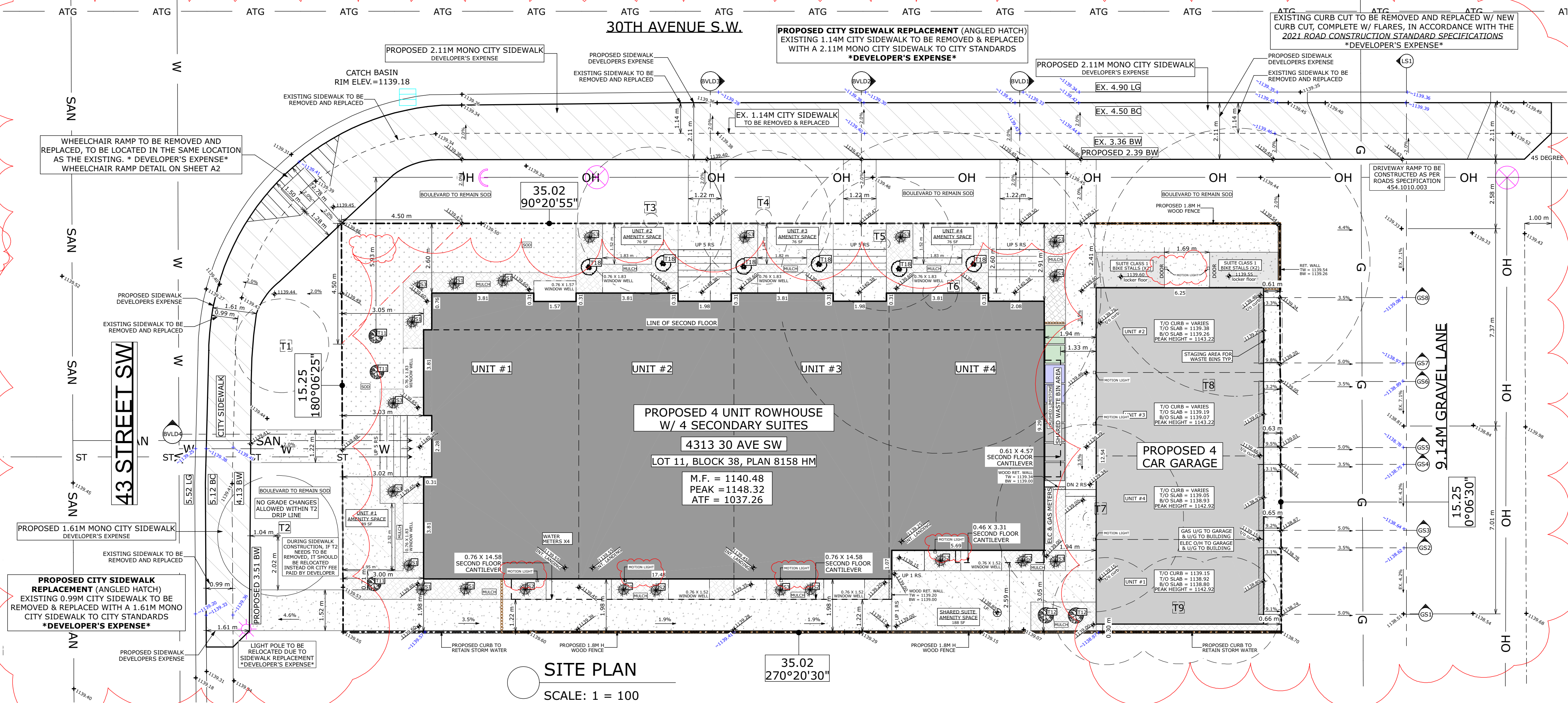
SUITE #1b	600 sf
SUITE #2b	632 sf
SUITE #3b	632 sf
SUITE #4b	546 sf
TOTAL = 2,410 sf	

CLASS 1 BIKE STALLS = 4

4 stalls



SCALE: 1 = 75



LANDSCAPE AREA

LOT AREA = 534.01 m2 (5,748.04 sf)

BUILDING FOOTPRINT = 237.60 m2
GARAGE = 78.40 m2
CONCRETE APRON = 7.98 m2
WINDOW WELLS (X9) = 11.60 m2
SUITE LOCKERS = 6.65 m2
TOTAL AREA NOT LANDSCAPED = 342.62 m2

TOTAL LANDSCAPED AREAS = 191.78 m2

HARD LANDSCAPE
CONCRETE 96.33 m2
CRUSHED LIMESTONE 4.88 m2
ENTRY LANDING & STAIRS X4 12.23 m2
TOTAL 113.44 m2 = 59.16%

SOFT LANDSCAPE
SOD 27.49 m2
MULCH 50.85 m2
TOTAL 78.34 m2 = 40.84%
HARD = 59.16%
SOFT = 40.84%

REQUIRED PLANTINGS

A MINIMUM OF 1.0 TREE & 3.0 SHRUBS MUST BE PROVIDED FOR EACH 110 m2 OF PARCEL AREA
LOT AREA = 534.01 m2 / 110 = 4.85
TREES - 1.0 x 4.85 = 4.85
SHRUBS - 3.0 x 4.85 = 14.55

PROPOSED
TREES - 11
SHRUBS - 22
11 TREES - 22 SHRUBS

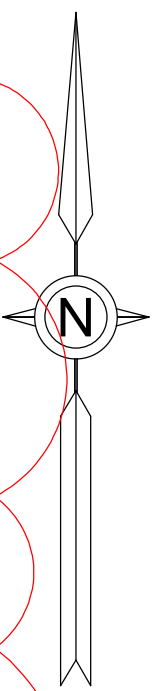
SITE PLAN NOTES

- SOD TO BE A DROUGHT TOLERANT GRASS SPECIES.
- SOD,SHRUBS & TREES TO BE IRRIGATED BY AN UNDERGROUND LOW WATER IRRIGATION SYSTEM.
- MINIMUM SOIL DEPTH OF 600mm FOR PLANTING BEDS WITH SHRUBS AND 300mm IN ALL OTHER AREAS.
- 300mm OF TOPSOIL TO BE APPLIED EVERYWHERE ON SITE EXCEPT UNDER WALKWAYS.

TREE SCHEDULE:

Tree No.	Variety	Trunk (m)	Canopy (m)	Height (m)	Location	STATUS & NAME
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T8	Bush	---	6.0	10.0	In Subject Property	To be removed
T9	Tree Line	0.15	4.0	6.0	In Subject Property	To be removed
T10	Coniferous	0.10	0.60	2.00	In Subject Property	To be Planted (x6) Green Penguin Scots Pine - Pinus syl. 'Green Penguin' *MATURE HEIGHT 2M*
T11	Deciduous	0.10	0.60	2.00	In Subject Property	To be planted (x3) - Princess Kay Plum - Prunus nigra 'Princess Kay' *MATURE HEIGHT 3.96M*
T12	Deciduous	0.10	0.60	2.00	In Subject Property	To be Planted (x2) Columnar Swedish Aspen - Populus tremula 'Erecta'
S1	Bush	-	0.60	0.60	In Subject Property	To be planted (x9) - Bella Sol Potentilla - Potentilla Fruticosa 'Hachdon'
S2	Bush	-	0.60	0.60	In Subject Property	To be planted (x5) - Blue Star Juniper - Juniperus Sqwuamata 'Blue Star'
S3	Bush	-	0.60	0.60	In Subject Property	To be planted (x8) - Tor Spirea - Spiraea Betulifolia 'Tor'

LANDSCAPE LEGEND		
	PROPOSED STRUCTURE	OVERHEAD ELECTRICAL LINE
	PROPOSED GARAGE	SAN CITY SANITATION LINE
	PROPOSED AMENITY SPACE	W CITY WATER LINE
	PROPOSED RETAINING WALL	S CITY STORM LINE
	CONCRETE	G CITY GAS LINE
	CRUSHED LIMESTONE	- - - - - PROPERTY LINE
	MULCH	A SITE SECTION
	SOD	1084.66 PROPOSED GRADE
	EXISTING TREE TO REMAIN	1044.44 EXISTING GRADE
		1022.22 EXTRAPOLATED GRADE
		4.0% PROPOSED SLOPE
		4.0% EXISTING SLOPE
		POWER POLE
		EXISTING TREE TO BE REMOVED



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GLENBROOK
ROWHOUSE

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LANDSCAPE PLAN

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R-CG	26-06-RMH-03
DRAWN BY	SHEET
VM	A4 / 9
SCALE	
AS NOTED	

43 STREET SW

PROPOSED 2.11M MONO CITY SIDEWALK
DEVELOPER'S EXPENSE

PROPOSED CITY SIDEWALK REPLACEMENT (ANGLED HATCH)
EXISTING 1.14M CITY SIDEWALK TO BE REMOVED & REPLACED
WITH A 2.11M MONO CITY SIDEWALK TO CITY STANDARDS
DEVELOPER'S EXPENSE

PROPOSED 2.11M MONO CITY SIDEWALK
DEVELOPER'S EXPENSE
EX. 4.90 LG

EX. 4.50 BC

EX. 3.36 BW
PROPOSED 2.39 BW

WHEELCHAIR RAMP TO BE REMOVED AND
REPLACED, TO BE LOCATED IN THE SAME LOCATION
AS THE EXISTING. * DEVELOPER'S EXPENSE*
WHEELCHAIR RAMP DETAIL ON SHEET A2

PROPOSED 1.61M MONO CITY SIDEWALK
DEVELOPER'S EXPENSE

PROPOSED CITY SIDEWALK
REPLACEMENT (ANGLED HATCH)
EXISTING 0.99M CITY SIDEWALK TO BE
REMOVED & REPLACED WITH A 1.61M MONO
CITY SIDEWALK TO CITY STANDARDS
DEVELOPER'S EXPENSE

LANDSCAPE PLAN
SCALE: 1 = 100

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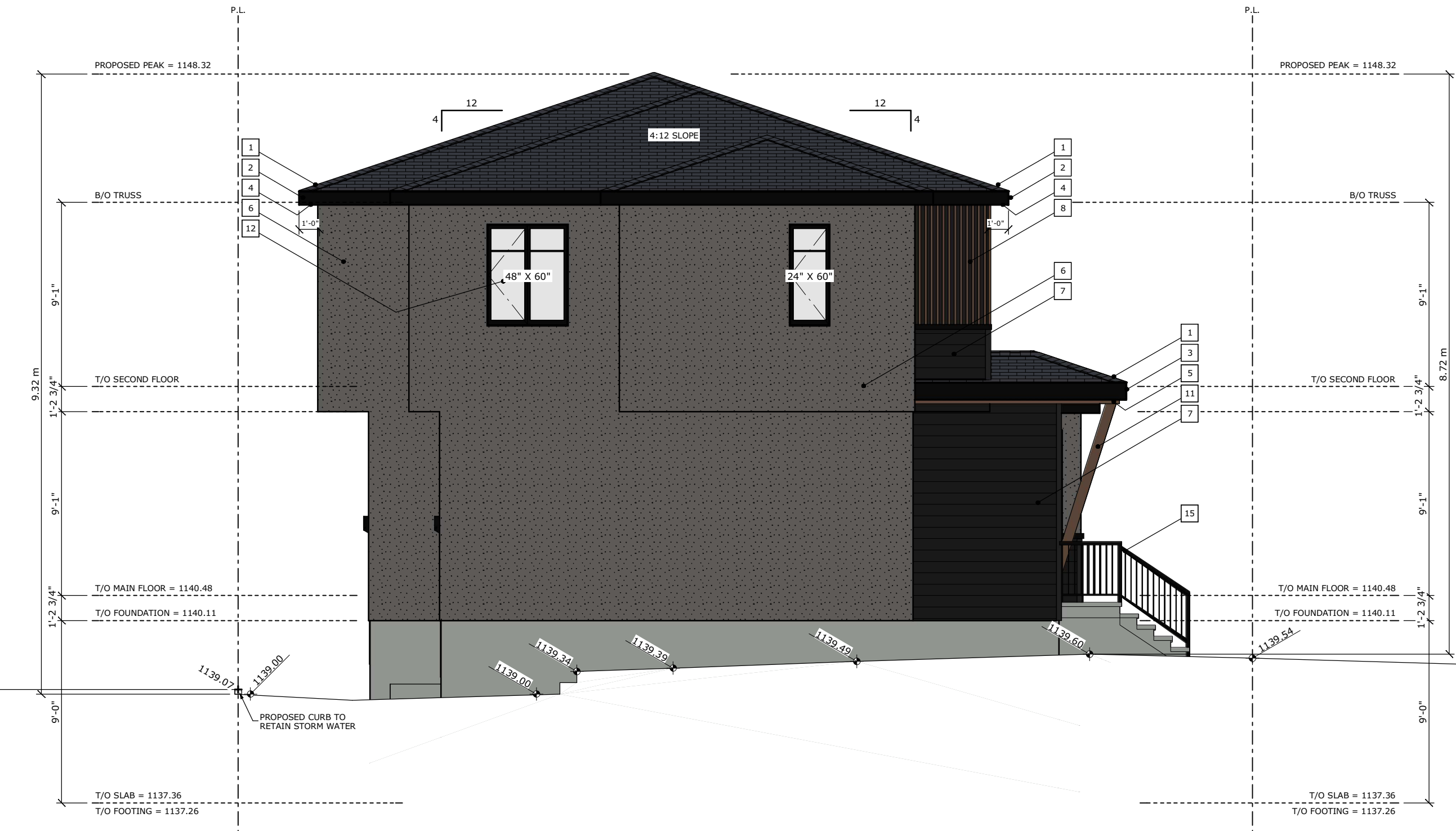
SCALE
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A8 / 9

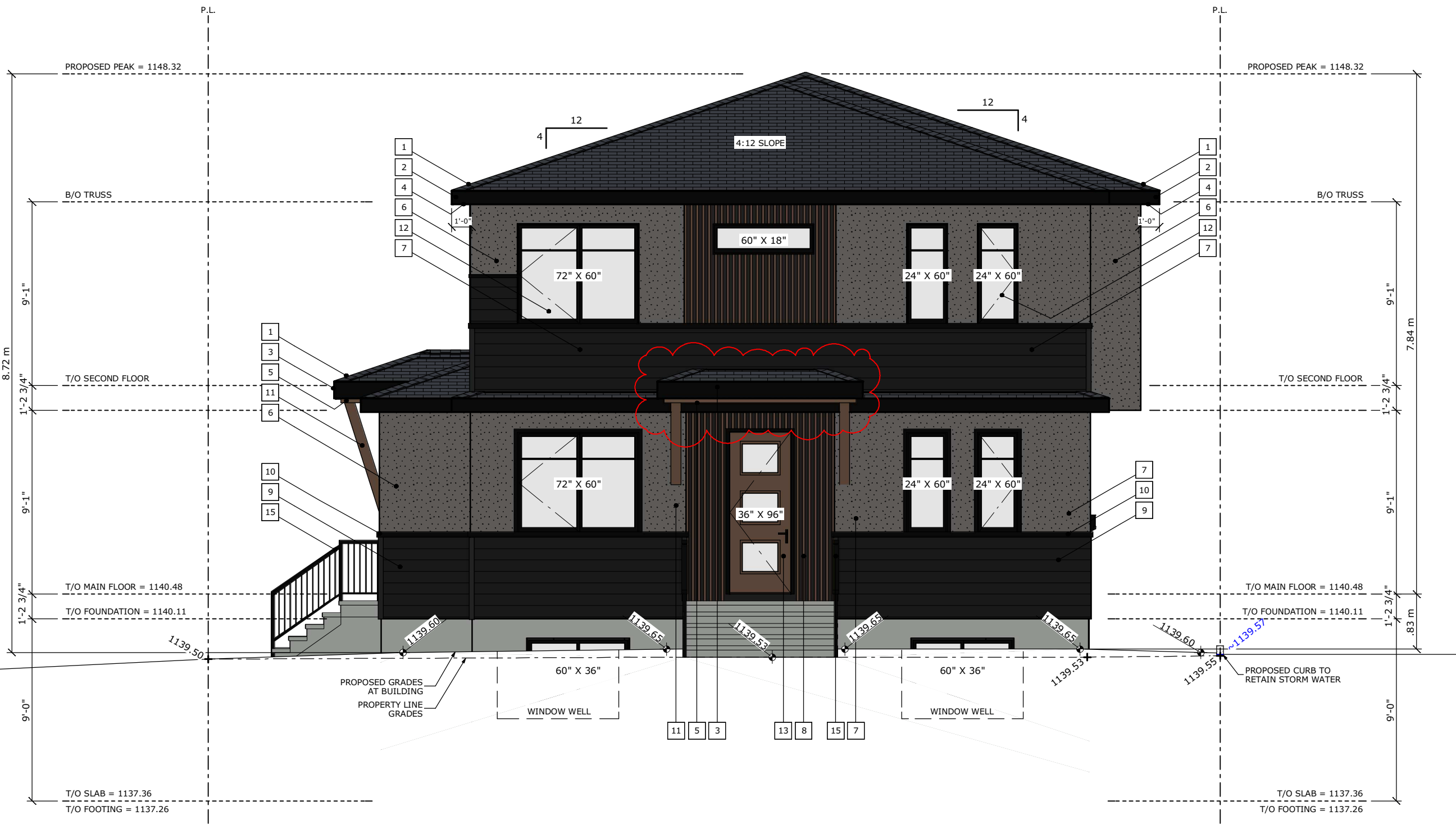


FRONT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING - CLASS 4 SHINGLES
2	8" ALUMINUM FASCIA - BLACK
3	12" ALUMINUM FASCIA - BLACK
4	VENTED ALUMINUM SOFFIT - BLACK
5	NON VENTED ALUMINUM SOFFIT - WOOD
6	ACRYLIC SMOOTH STUCCO - GREY
7	HORIZONTAL JAMES HARDIE SIDING - CHARCOAL
8	VERTICAL ALUMINUM WOOD SLATS
9	STONE VENEER
10	STONE CAP
11	WOOD BRACKETS
12	VINYL CLAD WINDOWS - BLACK
13	FIBREGLASS DOOR - WOOD
14	FIBREGLASS INSULATED GARAGE DOOR - CHARCOAL
15	RAILING - BLACK



LEFT ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

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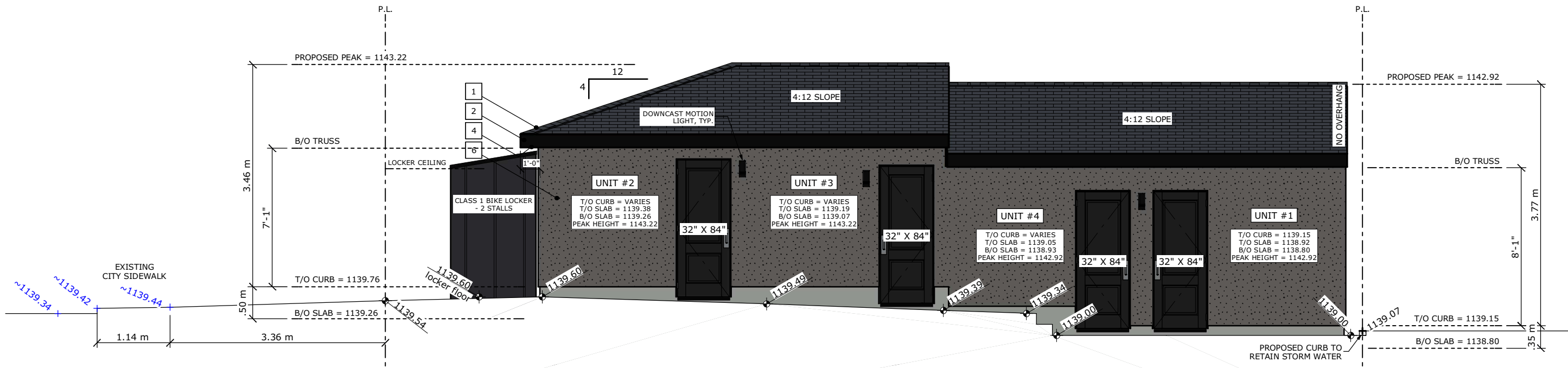
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SCALE AS NOTED	



GARAGE YARD ELEVATION (WEST)

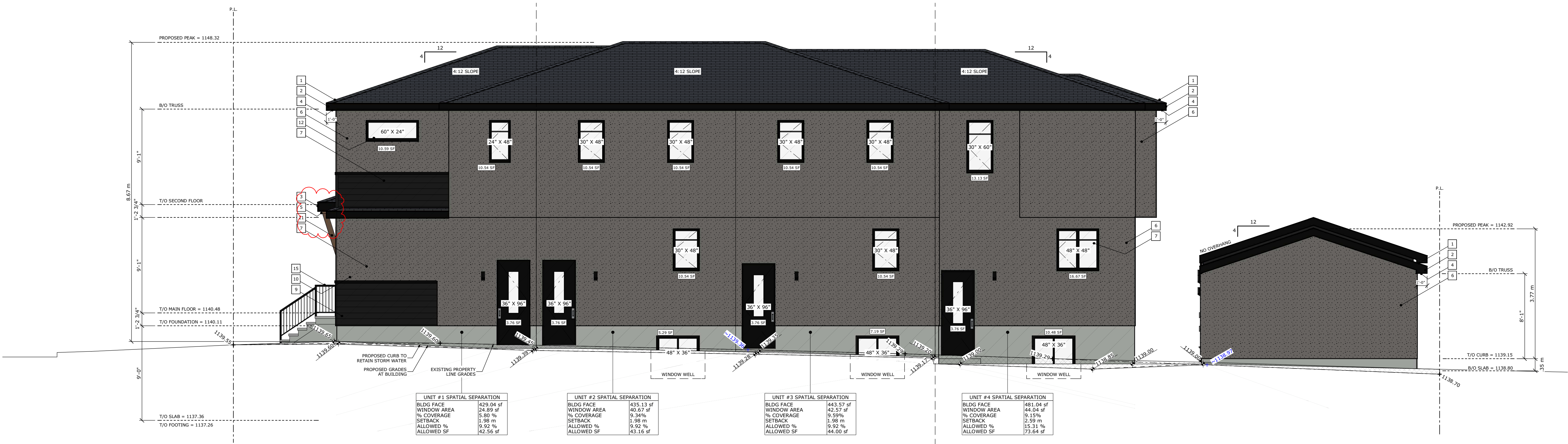
SCALE: 3/16" = 1'-0"



GARAGE LANE ELEVATION (EAST)

SCALE: 3/16" = 1'-0"

EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING - CLASS 4 SHINGLES
2	8" ALUMINUM FASCIA - BLACK
3	12" ALUMINUM FASCIA - BLACK
4	VENTED ALUMINUM SOFFIT - BLACK
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9	STONE VENEER
10	STONE CAP
11	WOOD BRACKETS
12	VINYL CLAD WINDOWS - BLACK
13	FIBREGLASS DOOR - WOOD
14	FIBREGLASS INSULATED GARAGE DOOR - CHARCOAL
15	RAILING - BLACK



BACK ELEVATION (SOUTH)

SCALE: 3/16" = 1'-0"