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FLOOR AREA

BASEMENT	= 1133.33 SQ. FT.
MAIN	= 1000.00 SQ. FT.
UPPER	= 1074.07 SQ. FT.
LOFT	= 909.33 SQ. FT.
TOTAL	= 2983.40 SQ. FT.

LOT COVERAGE

LOT (25X125)	= 3125.00 SQ. FT.
HOUSE + WING WALL	= 1003.89 SQ. FT.
GARAGE 20X20	= 400.00 SQ. FT.
1403.89/3125.00 = 44.92%	

PROJECT NOTES:



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AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	18/03/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PURPOSE WITHOUT THE WRITTEN
PERMISSION

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RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-03-20 5:40:19 PM

PROJECT NAME:
2032 - 27th ST SW. (South Lot)
CALGARY, ALBERTA

DESIGNER: JT JOB #: 154-26

SCALE: AS SHOWN SHEET: A-0.0

1	ASPHALT SHINGLE	5	SMART BOARD & BATTEN - WHITE
2	6" ALUMINUM FASCIA	6	BRICK AS SPEC'D
3	METAL FINISH - BLACK	7	CAST-IN-PLACE CONCRETE
4	STUCCO FINISH - WHITE	8	CONCRETE PARGING

Architectural elevation drawing of a building facade. The drawing includes a table of vertical dimensions on the left and a numbered key (1-7) on the right.

Vertical Dimensions Table:

Description	Height
ROOF PEAK	1132.33
TOP PLATE	1131.75
TOP OF LOFT FLOOR	1128.98
	1128.61
TOP OF UPPER FLOOR	1125.84
	1125.46
TOP OF MAIN FLOOR	1122.08
TOP OF FOUNDATION	1121.71
GRADE	1121.50

Key:

- 1
- 2
- 3
- 4
- 5
- 6
- 7

Architectural Details:

- Roof:** Gabled roof with a peak at 1132.33. The roof slope is 1" / 12".
- Loft Floor:** The top of the loft floor is at 1128.98. The floor is 1" - 2 3/4" thick.
- Upper Floor:** The top of the upper floor is at 1125.84. The floor is 1" - 2 3/4" thick.
- Main Floor:** The top of the main floor is at 1122.08. The floor is 1" - 2 3/4" thick.
- Foundation:** The top of the foundation is at 1121.71. The foundation is 8" thick.
- Windows:**
 - Loft Window:** A large arched window with a custom design, 8'-0" high and 3'-0" wide. It is divided into three sections: 2'0"x3'0"P (left), 4'0"x3'0"P (center), and 2'0"x3'0"P (right).
 - Upper Floor Windows:** A row of three windows, each 9'-0" high and 4'-0" wide. The windows are divided into three sections: 4'0"x1'6"P (left), 4'0"x1'6"P (center), and 4'0"x1'6"P (right). The windows are labeled 2'0"x4'6"C (left), 2'0"x4'6"P (center), and 2'0"x4'6"C (right).
 - Main Floor Windows:** A row of three windows, each 10'-0" high and 4'-0" wide. The windows are divided into three sections: 4'0"x2'6"P (left), 4'0"x2'6"P (center), and 4'0"x2'6"P (right). The windows are labeled 10'-0" French (left), 4'0"x5'6"P (center), and 2'0"x5'6"C (right).
- Doors:** A set of double doors, each 10'-0" high and 4'-0" wide. The doors are labeled 4'0"x2'6"P (left) and 4'0"x2'6"P (right).
- Stairs:** A set of stairs, 3'-4" wide, leading up to the main floor.
- Other Details:**
 - A small window, 10"x5'0"P, is located on the right side of the upper floor.
 - A small window, 10'-0" French, is located on the left side of the main floor.
 - A small window, 4'0"x2'6"P, is located on the right side of the main floor.
 - A small window, 4'0"x2'6"P, is located on the left side of the main floor.
 - A small window, 4'0"x2'6"P, is located on the right side of the main floor.
 - A small window, 4'0"x2'6"P, is located on the left side of the main floor.

This architectural elevation drawing shows the front facade of a building with the following details:

- Left Side Dimensions (Total: 35' - 10 3/8"):

 - Roof Peak to Top of Loft Floor: 9' - 1 1/8"
 - Top of Loft Floor to Top of Upper Floor: 9' - 1 1/8"
 - Top of Upper Floor to Top of Main Floor: 11' - 1 1/8"
 - Top of Main Floor to Top of Foundation: 1' - 2 3/4"
 - Top of Foundation to Grade: 1' - 0"**
- Right Side Dimensions (Total: 35' - 10 3/8"):

 - Roof Peak to Top of Loft Floor: 9' - 1 1/8"
 - Top of Loft Floor to Top of Upper Floor: 9' - 1 1/8"
 - Top of Upper Floor to Top of Main Floor: 11' - 1 1/8"
 - Top of Main Floor to Top of Foundation: 1' - 2 3/4"
 - Top of Foundation to Grade: 1' - 0"**
- Key Features and Callouts:**
 - Roof:** ROOF PEAK (1132.33), TOP PLATE (1131.75).
 - Loft Floor:** TOP OF LOFT FLOOR (1128.98, 1128.61). Features a RAILING and two 2.0m PRIVACY WALLS. Windows are 2'6"x5'0"C and 2'8"x7'0".
 - Upper Floor:** TOP OF UPPER FLOOR (1125.84, 1125.46). Features four 2'6"x5'0"P windows and a 2'6"x5'0"C window.
 - Main Floor:** TOP OF MAIN FLOOR (1122.08). Features a 12'x8' - 4 PANEL DOOR (DBL SLIDER) with a RAILING, four 3'0"x2'0"P windows, and three POTs.
 - Foundation:** TOP OF FOUNDATION (1121.71).
 - Grade:** GRADE (1121.40).
 - Callouts:** 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

SHEET: A-20

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

6" ALUMNIMUM FASCIA
- 3

METAL FINISH - BLACK
- 4

STUCCO FINISH - WHITE
- 5

SMART BOARD & BATTEN - WHITE
- 6

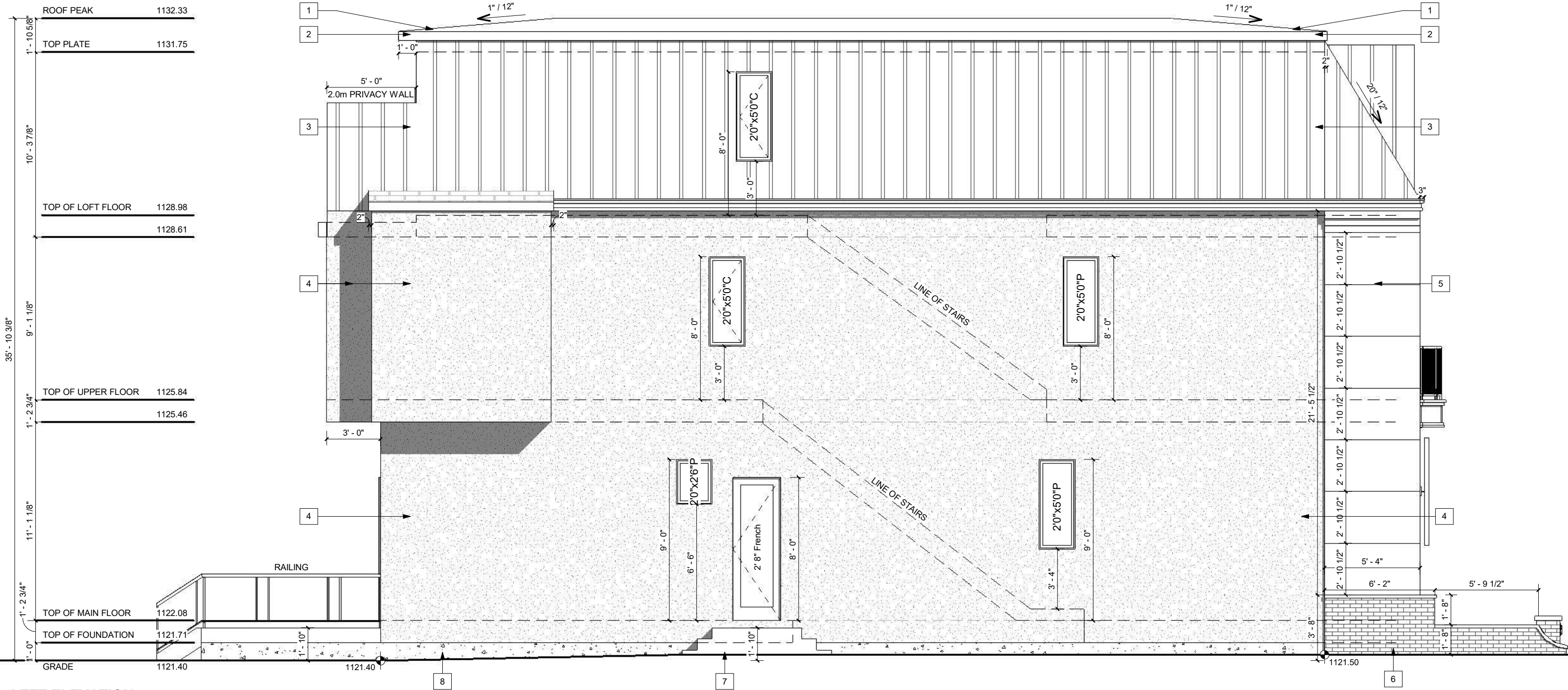
BRICK AS SPEC'D
- 7

CAST-IN-PLACE CONCRETE
- 8

CONCRETE PARGING

WINDOW CALCULATION
WALL AREA = 1921.34 SQ. FT.
WINDOW AREA = 47.74 SQ. FT.
TOTAL: 47.74 / 1921.34 = 2.50%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

-ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING



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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-03-20 5:40:24 PM



PROJECT NAME:

2032 - 27th ST SW. (South Lot)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

154-26

SCALE:

AS SHOWN

SHEET:

A-2.1

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 2

6" ALUMNIMUM FASCIA
- 3

METAL FINISH - BLACK
- 4

STUCCO FINISH - WHITE
- 5

SMART BOARD & BATTEN - WHITE
- 6

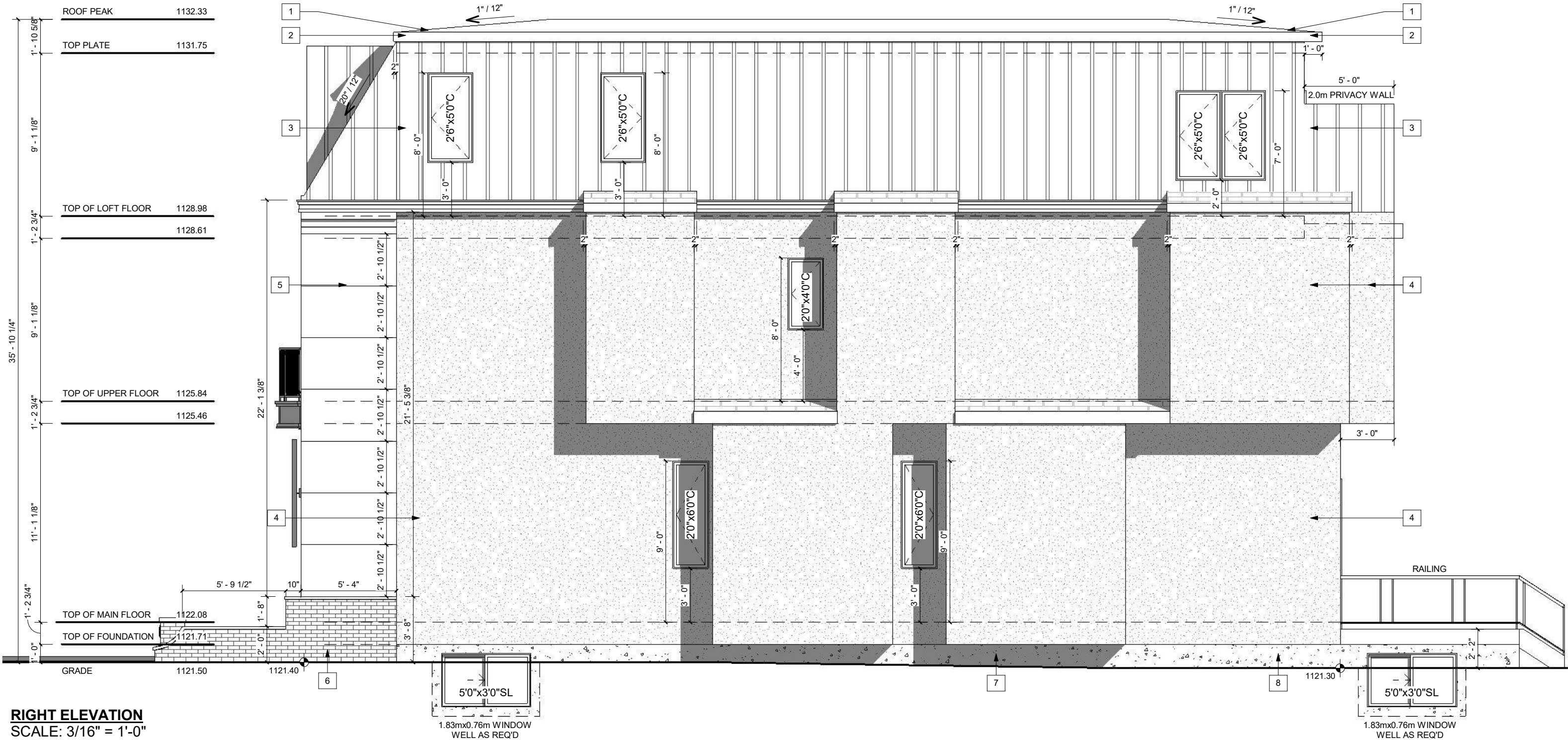
BRICK AS SPEC'D
- 7

CAST-IN-PLACE CONCRETE
- 8

CONCRETE PARGING

WINDOW CALCULATION
WALL AREA = 1944.55 SQ. FT.
WINDOW AREA = 85.16 SQ. FT.
TOTAL: 85.16 / 1944.55 = 4.38%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-03-20 5:40:24 PM



PROJECT NAME:

2032 - 27th ST SW. (South Lot)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

154-26

SCALE:

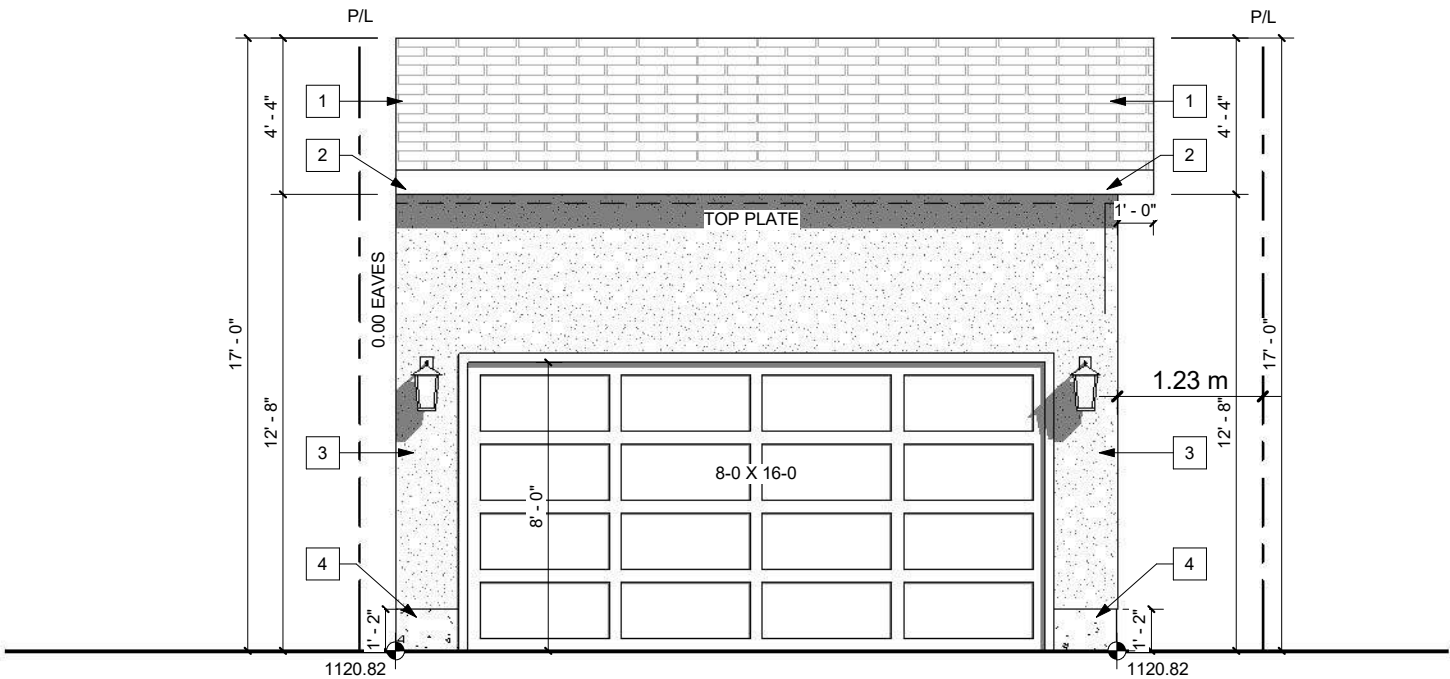
AS SHOWN

SHEET:

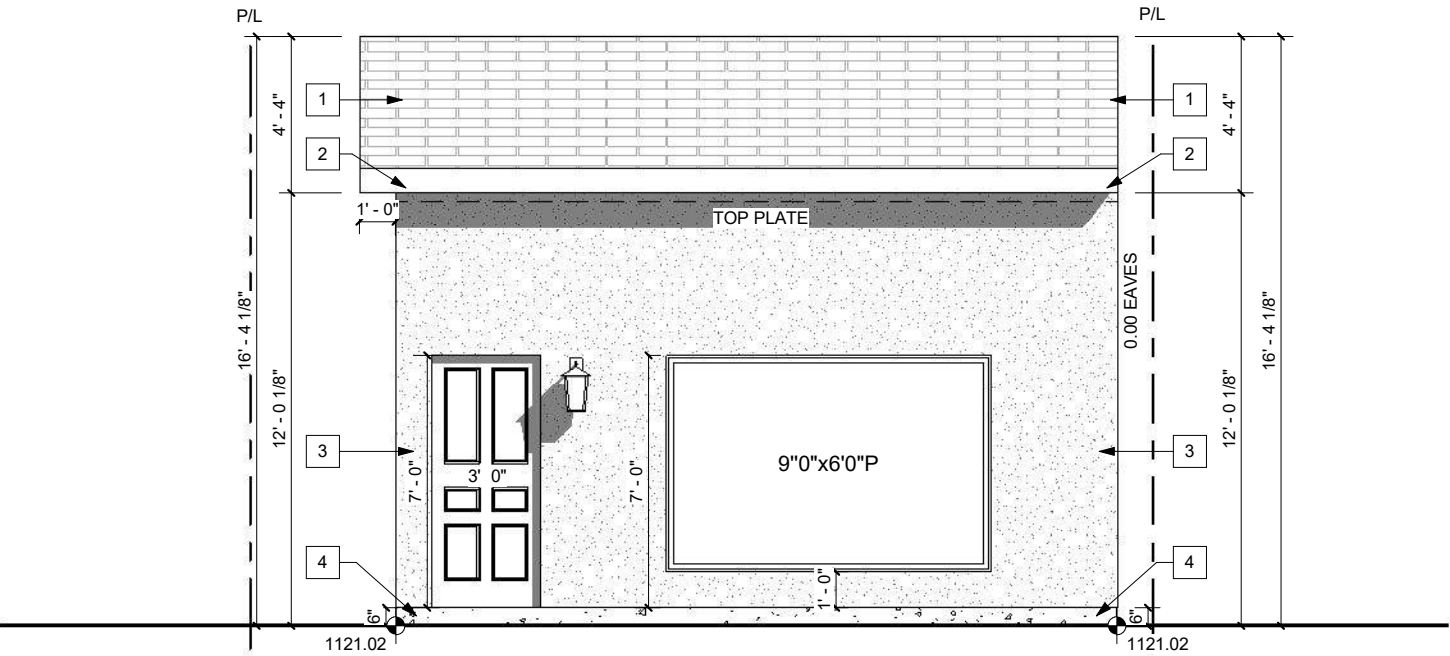
A-2.2

EXTERIOR FINISHES:

- 1ASPHALT SHINGLES
- 28" ALUMNIMUM FASCIA
- 3STUCCO FINISH
- 4CONC. PARGING



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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ISSUES:

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01.	18/03/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-03-20 5:40:25 PM

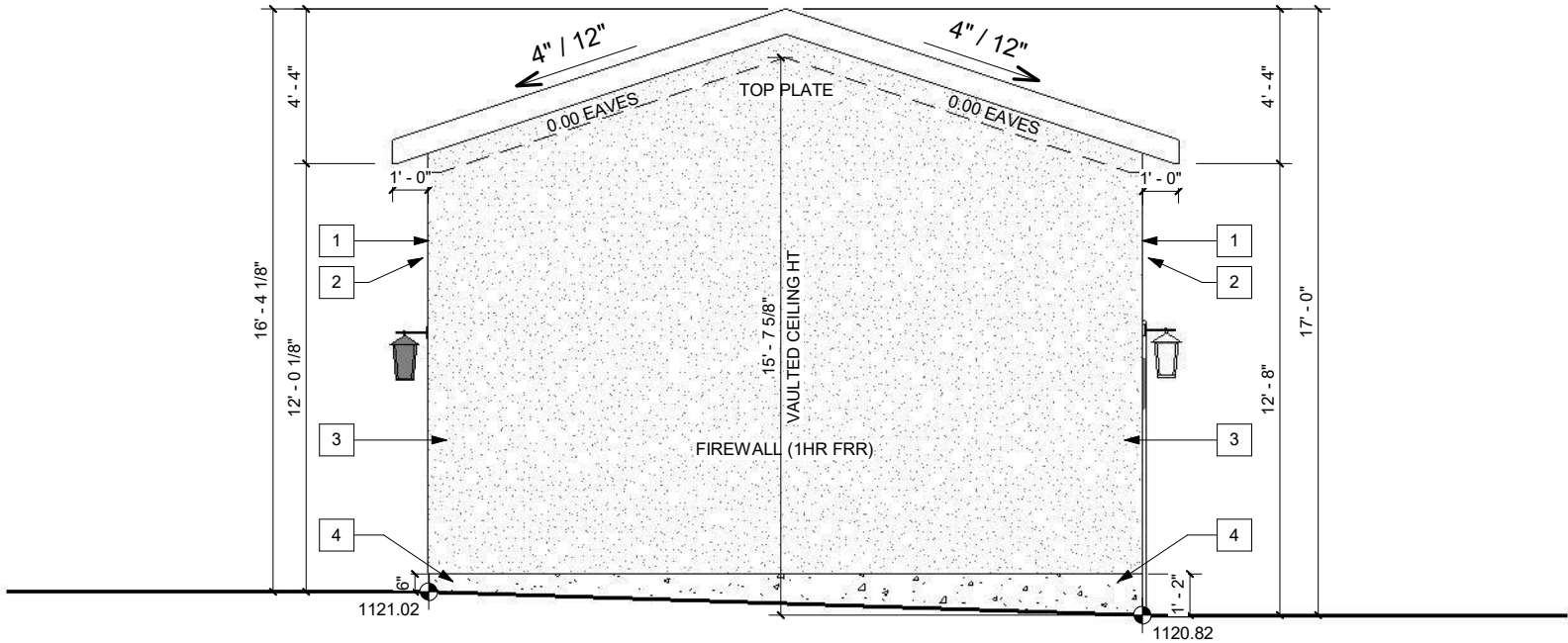
PROJECT NAME:
2032 - 27th ST SW. (South Lot)
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 154-26

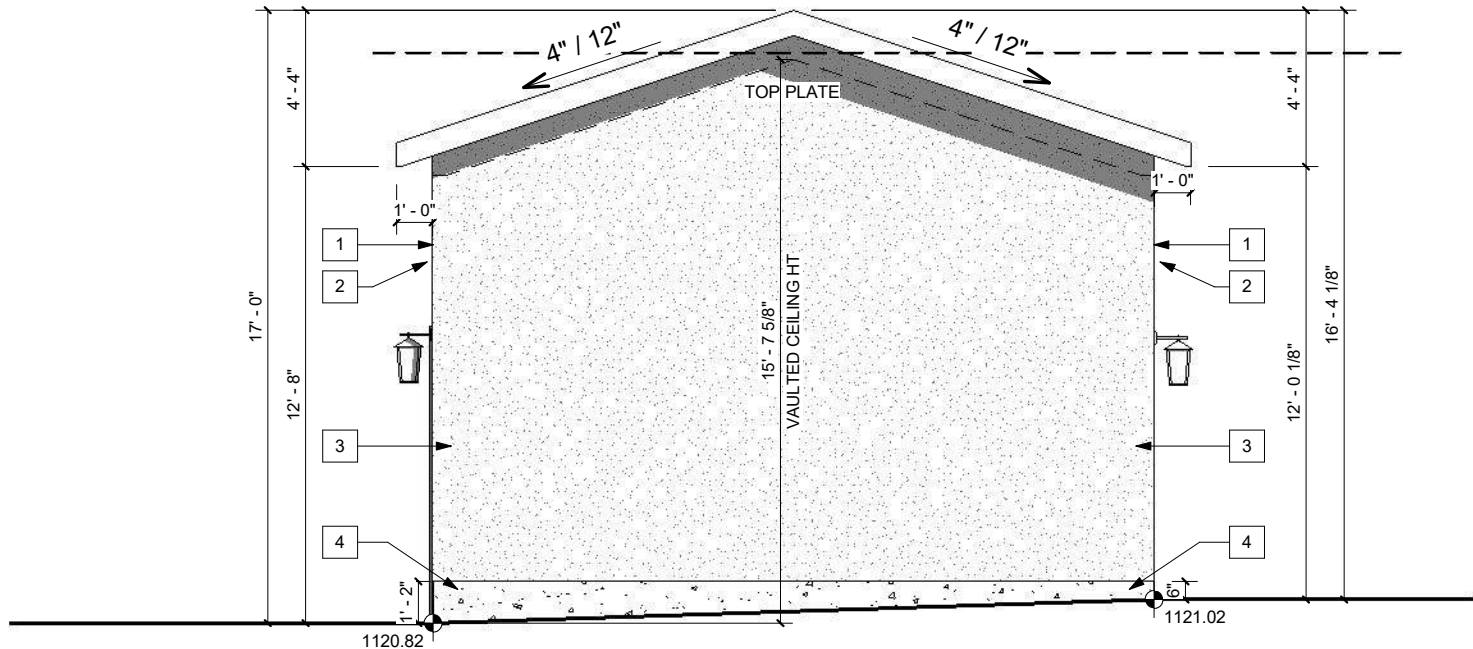
SCALE: AS SHOWN
SHEET: A-4.1

EXTERIOR FINISHES:

- 1ASPHALT SHINGLES
- 28" ALUMNIMUM FASCIA
- 3STUCCO FINISH
- 4CONC. PARGING



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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PROJECT:
NEW HOME

STATUS: -

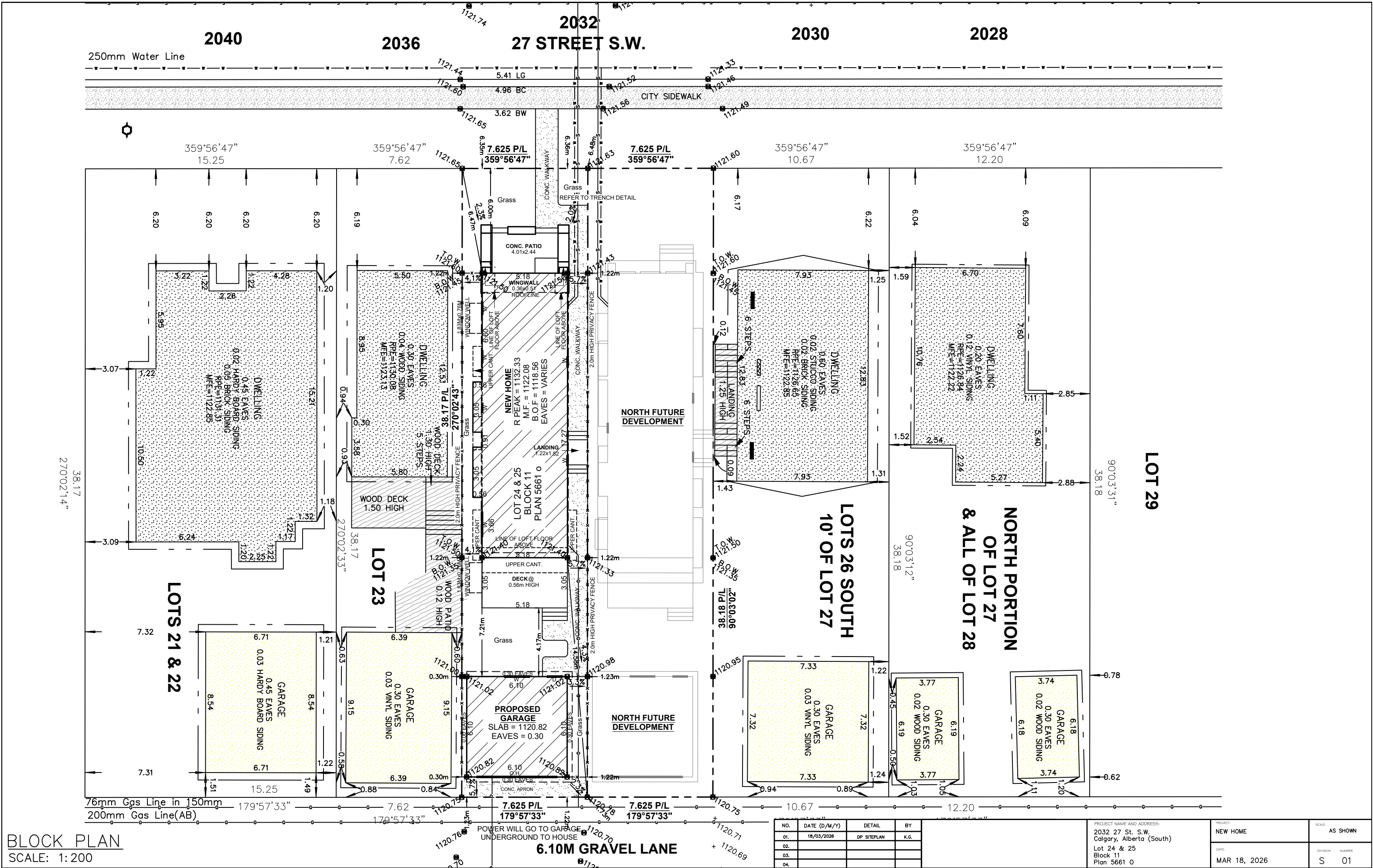
SIGNATURES:
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PRINTED: 2026-03-20 5:40:25 PM

PROJECT NAME:
2032 - 27th ST SW. (South Lot)
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 154-26

SCALE: AS SHOWN
SHEET: A-4.2

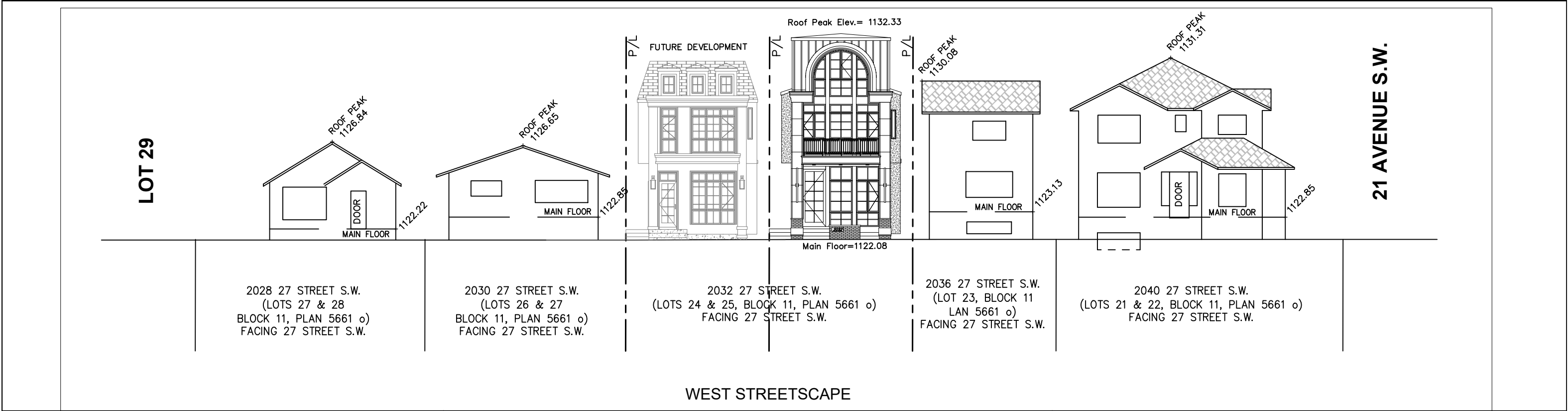


BLOCK PLAN
SCALE: 1: 200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	18/03/2026	DP SITEPLAN	K.G.
02.			
03.			
04.			

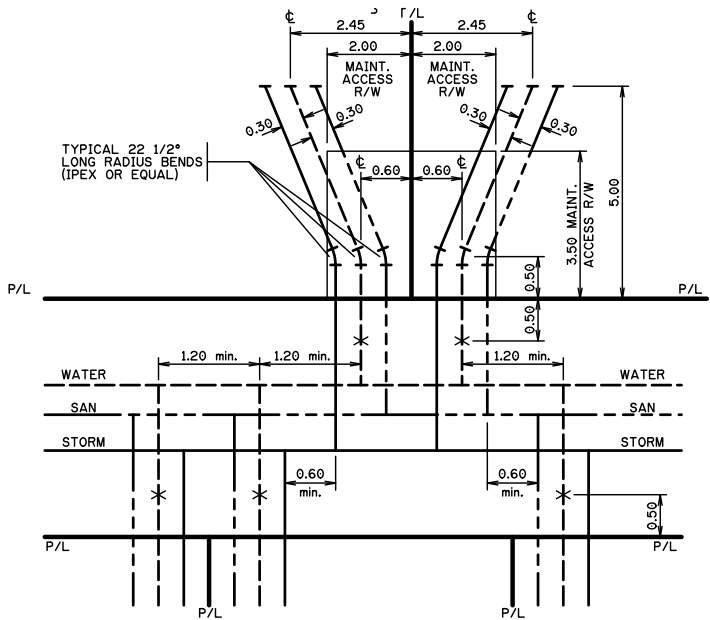
PROJECT NAME AND ADDRESS:
2032 27 St. S.W.
Calgary, Alberta (South)
Lot 24 & 25
Block 11
Plan 5661 0

PROJECT	SCALE
NEW HOME	AS SHOWN
DATE:	DIVISION
MAR 18, 2026	NUMBER
	S 01



NOTES-

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES



TRENCH DETAIL

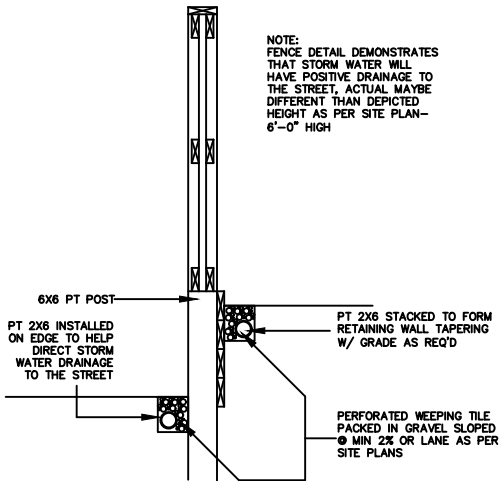
SCALE: 1:200

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Coniferous	0.15	1.50	3.00	In Subject Property	To Be Removed
T2	Bush	0.70	4.00	3.00	In Subject Property	To Be Removed
T3	Bush	0.70	5.00	3.00	In Subject Property	To Be Removed
T4	Bush	0.30	2.00	3.00	In Subject Property	To Be Removed
T5	Coniferous	0.40	1.50	5.00	In Subject Property	To Be Removed
T6	Coniferous	0.40	1.50	5.00	In Subject Property	To Be Removed
T7	Coniferous	1.00	15.00	15.00	In Subject Property	To Be Removed
T8	Bush	0.40	4.00	3.00	In Subject Property	To Be Removed
T9	Bush	0.40	2.00	3.00	In Subject Property	To Be Removed
T10	Bush	0.50	4.00	2.50	In Subject Property	To Be Removed
T11	Deciduous	0.40	10.00	20.00	In Subject Property	To Be Removed
T12	Deciduous	1.00	20.00	25.00	In Subject Property	To Be Removed
T13	Deciduous	1.00	4.00	5.00	In Subject Property	To Be Removed
T14	Deciduous	0.30	5.00	4.00	In Subject Property	To Be Removed
T15	Coniferous	0.05	1.00	4.00	In Subject Property	To Be Removed
T16	Deciduous	0.15	3.00	5.00	In Subject Property	To Be Removed
T17	Deciduous	1.00	10.00	6.00	On Property Line	To Be Removed
T18	Deciduous	0.20	4.00	6.00	In Subject Property	To Be Removed
T19	Coniferous	0.20	2.00	12.00	In Subject Property	To Be Removed
T20	Coniferous	0.10	1.00	8.00	In Subject Property	To Be Removed
T21	Coniferous	0.25	3.60	15.00	In Subject Property	To Be Removed
T22	Coniferous	0.25	3.60	15.00	In Subject Property	To Be Removed
T23	Coniferous	0.10	2.00	5.00	In Subject Property	To Be Removed
T24	Coniferous	0.10	2.00	5.00	In Subject Property	To Be Removed
T25	Coniferous	0.10	2.00	5.00	In Subject Property	To Be Removed
T26	Deciduous	1.00	10.00	20.00	In Subject Property	To Be Removed
T27	Coniferous	0.15	2.00	12.00	In Subject Property	To Be Removed
T28	Deciduous	0.40	5.00	4.00	In Subject Property	To Be Removed
T29	Deciduous	0.20	2.00	8.00	In Subject Property	To Be Removed
T30	Bush	0.30	3.00	4.00	In Subject Property	To Be Removed
T31	Coniferous	0.60	7.00	20.00	On Property Line	To Be Removed

NEW HOME SQFT.

	UNIT#1
GARAGES	400.00 SQ FT
BASEMENT	1133.33 SQ FT
MAIN FLOOR	1000.00 SQ FT
UPPER FLOOR	1074.07 SQ FT
LOFT FLOOR	909.33 SQ FT
TOTAL	2983.40 SQ FT



FENCE SECTION DETAIL

SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	18/03/2026	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:
2032 27 St. S.W.
Calgary, Alberta (South)
Lot 24 & 25
Block 11
Plan 5661 0

PROJECT: NEW HOME	SCALE: AS SHOWN
DATE: MAR 18, 2026	DIVISION NUMBER S 02