

ABBREVIATIONS		
A	ABOVE FINISHED FLOOR	A.F.F.
	ACOUSTIC TILE	ACT.
	ALUMINUM	ALUM.
B	ANKOZZED	AND.
	ARCHITECTURAL	ARCH.
	BATT INSULATION	BATT INSUL.
C	BEAM	BM.
	BOTH WAYS	B.W.
	BOTTOM	BOT.
D	BARRIER FREE	B.F.
	BUILDING	BLDG.
	BUILT-UP ROOF	B.U.R.
E	CARPET	CPT.
	CATCH BASIN	C.B.
	CEILING	CLG.
F	CENTER LINE	C.L.
	CERAMIC TILE	C.T.
	COLUMN	COL.
G	COMBUSTIBLE	COMB.
	COMPLETE WITH CONCRETE	C/W CONC.
	CONCRETE BLOCK CONSTRUCTION	CONC. BL. CONST.
H	CONTROL JOINT	C.J.
	CONTINUOUS CORRIDOR	CONT. CORR.
	DIAMETER	DIA.
I	DIMENSION	DIM.
	DISHWASHER	D.W.
	DOUBLE GLAZED	D.G.
J	DOWN	DN.
	DRAWING	DWG.
	DRINKING FOUNTAIN	D.F.
K	EACH	EA.
	ELEVATION	ELEV.
	ELECTRICAL	ELEC.
L	EQUAL	EQ.
	EXISTING	EXIST.
	EXPANSION JOINT	EXP. JT.
M	EXPOSED	EXP.
	EXTERIOR	EXT.
	FACE OF FOUNDATION	F.O.F.
N	FINISH	FIN.
	FIRE-RESISTANCE RATING	F.R.R.
	FLOOR	FL.
O	FLOOR DRAIN	F.D.
	FLOOR AREA RATIO	F.A.R.
	FIRE HOSE CABINET	F.H.C.
P	FIRE EXTINGUISHER	F.E.
	FOOTING	FTG.
	FOUNDATION	FOUND.
Q	GAUGE	GA.
	GEODETIC	GEO.
	GLASS	GL.
R	GRADE	GR.
	GREATER THAN	>
	GROSS FLOOR AREA	G.F.A.
S	GROUND FLOOR	GR.FLR.
	GYPSON WALL BOARD	G.W.B.
	HOLLOW METAL	H.M.
T	HORIZONTAL	HORIZ.
	HOSE BIBS	H.B.
	HOLLOW CORE	H.C.
U	HOLLOW STEEL SECTION	H.S.S.
	INTERIOR	INT.
	INSIDE FACE	I.F.
V	INSULATION	INSUL.
	JANITOR	JAN.
	LAMINATED	LAM.
W	LAVATORY	LAV.
	LESS THAN	<
	MANHOLE	M.H.
X	MANUFACTURER	MANF.
	MAXIMUM	MAX.
	MECHANICAL	MECH.
Y	METAL	MTL.
	MICROWAVE	M.W.
	MINIMUM	MIN.
Z	MISCELLANEOUS	MISC.
	NATURAL	NAT.
	NOT APPLICABLE	N.A.
AA	NOT IN CONTRACT	N.I.C.
	NOT TO SCALE	N.T.S.
	NUMBER	NUM.
BB	ON CENTER	O.C.
	OPENING	OPG.
	OUTSIDE FACE	O.F.
CC	OVERHEAD DOOR	O.H.D.
	PAINT	PT.
	PARTITION	PTN.
DD	PLATE	PL.
	PLASTIC LAMINATE	PLAM.
	PLYWOOD	PLY.
EE	POLYETHYLENE	POLY.
	PRECAST CONCRETE	P.C. CONC.
	PREFINISHED	PREFIN.
FF	PRESSED STEEL	P.S.
	PRESSURE TREATED	P.T.
	PROPERTY LINE	PL.
GG	QUARRY TILE	Q.T.
	RADIUS	R.
	RAINWATER LEADER	R.W.L.
HH	REINFORCING	REIN.
	REQUIRED	REQ.
	REFRIGERATOR	F.R.
II	REVISED	REV.
	ROOM	RM.
	ROOF DRAIN	R.D.
JJ	ROOF TOP UNIT	R.T.U.
	ROUGH OPENING	R.O.
	RUBBER COVE BASE	R.C.B.
KK	SIMILAR	SIM.
	SLAB ON GRADE	S.O.G.
	SOAP DISPENSER	S.D.
LL	SOLID CORE	S.C.
	SPANDREL PANEL	S.P.
	SPECIFICATIONS	SPEC.
MM	SQUARE	SQ.
	STAINLESS STEEL	S.S.
	STEEL	STL.
NN	STORAGE	STOR.
	STOVE	ST.
	STRUCTURAL	STRUCT.
OO	TELEVISION	T.V.
	TEXTURED	TEX.
	TOP OF	T/O
PP	TOUNGE AND GROOVE	T&G.
	TOWEL DISPENSER	T.D.
	TYPICAL	TYP.
QQ	UNDERSIDE	US
	UNDERWRITERS LABORATORIES OF CANADA	U.L.C.
	UNPROTECTED OPENING(S)	UP.O.
RR	VAPOUR BARRIER	V.B.
	VENEER	VEN.
	VERTICAL	VERT.
SS	VESTIBULE	VEST.
	VINYL COMPOSITE TILE	V.C.T.
	WAREHOUSE	W.H.
TT	WATER CLOSET	W.C.
	WATERPROOF	W.P.
	WOOD	WD.



PROPOSED COMMERCIAL DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT - 18th March 2026



SITE PIC. #1: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #2: DESCRIPTION
DATE: (OPTIONAL)



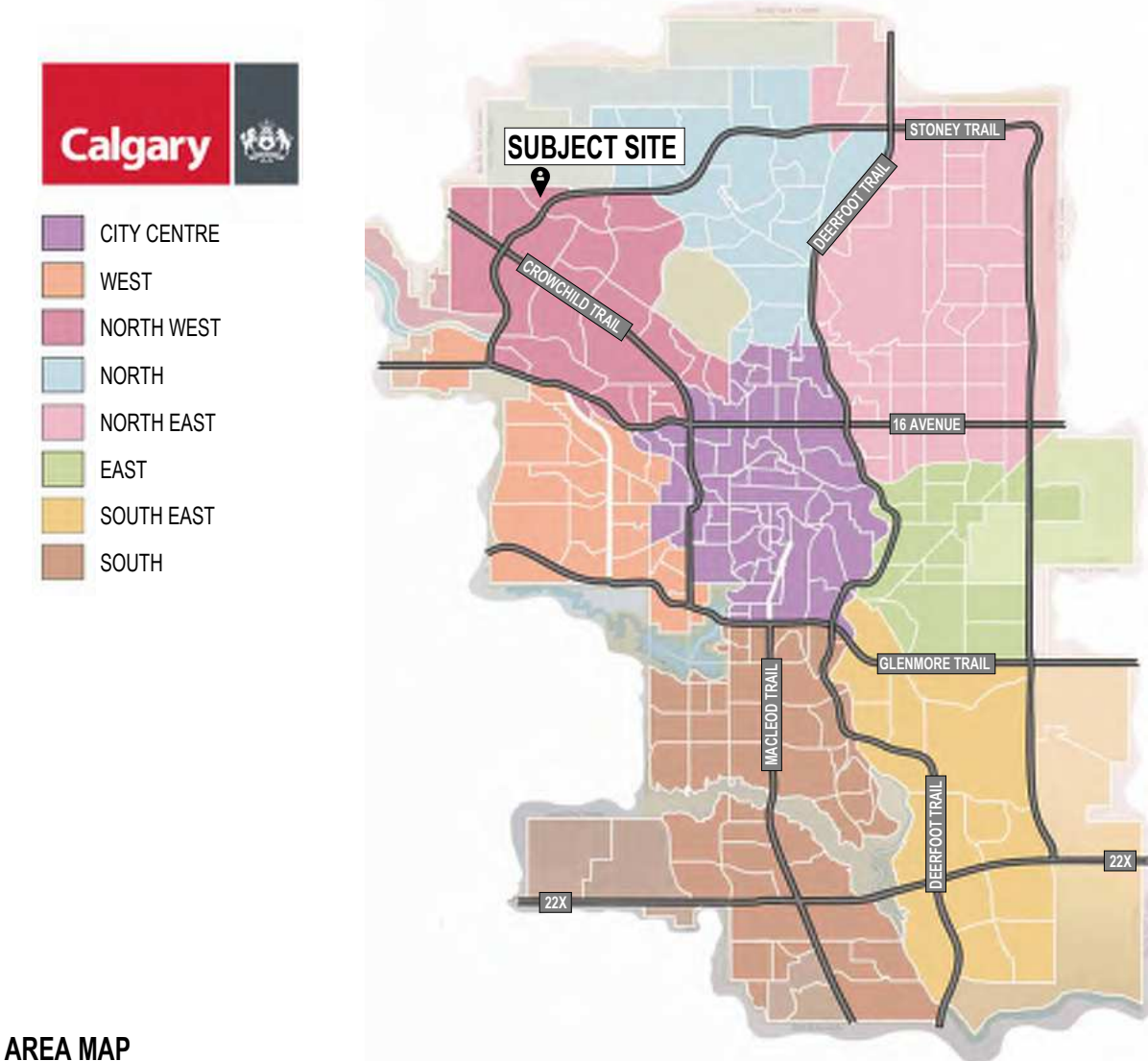
SITE PIC. #3: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #4: DESCRIPTION
DATE: (OPTIONAL)



LOCATION MAP



AREA MAP

BASIS OF CODE CHECK : NBC - 2023 ALBERTA EDITION

BUILDING 1

PROJECT TYPE : COMMERCIAL 2 STOREY MIX USE

MAJOR OCCUPANCY CLASSIFICATIONS: A-3.1.2.1.(1):

GROUP D	
GROUP E	
NUMBER OF STOREYS:	2 STOREYS
BUILDING FOOTPRINT:	836.13 m²
SPRINKLERED:	NO

STREETS FACING 3.2.2.10 :
(IF SPRINKLERED IGNORE)

3 STREETS

CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE

FLOOR AREAS:	MAIN FLOOR	2ND FLOOR	TOTAL G.F.A.
	836.13 m²	821.13 m²	1,657.26 m²

BUILDING 3

PROJECT TYPE : COMMERCIAL 2 STOREY MIX USE

MAJOR OCCUPANCY CLASSIFICATIONS: A-3.1.2.1.(1):

GROUP D	
GROUP E	
NUMBER OF STOREYS:	2 STOREYS
BUILDING FOOTPRINT:	571.35 m²
SPRINKLERED:	NO

STREETS FACING 3.2.2.10 :
(IF SPRINKLERED IGNORE)

3 STREETS

CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE

FLOOR AREAS:	MAIN FLOOR	2ND FLOOR	TOTAL G.F.A.
	571.35 m²	560.28 m²	1,131.63 m²

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.64.) - BUILDING 1

SEPARATIONS BETWEEN OCCUPANCIES: N/A
- UP TO 2 STOREYS (2 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 1,200 SQ.M. IF 2 STOREYS (836.13 ACTUAL SQ.M.)

2. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

a) FLOOR ASSEMBLIES: SHALL BE FIRE SEPARATIONS WITH F.R.R. NOT < 45 MIN. IF COMBUSTIBLE CONSTRUCTION

d) LOADBEARING WALLS,COLS & ARCHES: F.R.R. NOT < 45 MIN. IF COMBUSTIBLE CONSTRUCTION

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.28.) - BUILDING 2

SEPARATIONS BETWEEN OCCUPANCIES: N/A
- UP TO 1 STOREY (1 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 500 SQ.M. (278.71 ACTUAL SQ.M.)

1. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

1. IN A BUILDING REFERRED TO IN SENTENCE (1) WITHOUT A BASEMENT, THE BUILDING AREA LIMITS OF SENTENCE (1) ARE PERMITTED TO BE DOUBLED PROVIDED A FIRE SEPARATION WITH A FIRE-RESISTANCE RATING NOT LESS THAN 1 H IS USED TO SEPARATE THE BUILDING INTO FIRE COMPARTMENTS, EACH ONE OF WHICH DOES NOT EXCEED THE LIMITS OF CLAUSE (1)(B).

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.64.) - BUILDING 3

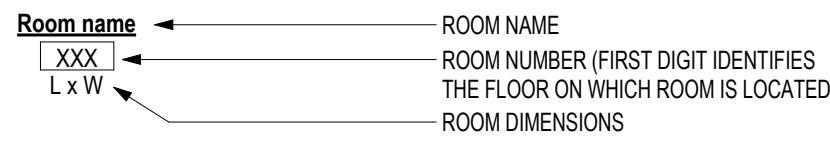
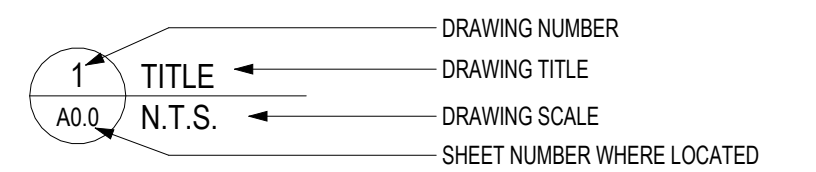
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DRAWING REFERENCE SYMBOLS



GENERAL NOTES:

- DEVIATION FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/DESIGNER ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS.
- THESE DRAWINGS AND DETAILS ARE, BY THEIR VERY NATURE, SCHEMATIC AND DO NOT DEPICT EVERY CONDITION, DETAIL, CONNECTION, ETC. WHICH WILL OCCUR.
- KNOWLEDGEABLE, PROPERLY LICENSED CONTRACTORS AND JOB CONTRACTORS MUST BE RELIED UPON TO ACHIEVE PROPER INSTALLATION OF MATERIALS, FLASHINGS, WEATHER SEALINGS, MATERIAL TRANSITIONS, SEPARATIONS, CONNECTIONS, ANCHORAGES, ETC.
- FOR THE AVOIDANCE OF DOUBT, ALL DIMENSIONS ARE MEASURED TO WALL STRUCTURE AND NOT THE FINISHES UNLESS OTHERWISE NOTED.

RWA
ARCHITECTURE
Roger White Architecture Inc.

GENERAL NOTES

METRIC :

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THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS FORBIDDEN.

REV	DATE	DESCRIPTION
REVISIONS		

1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUANCES		

BP#:

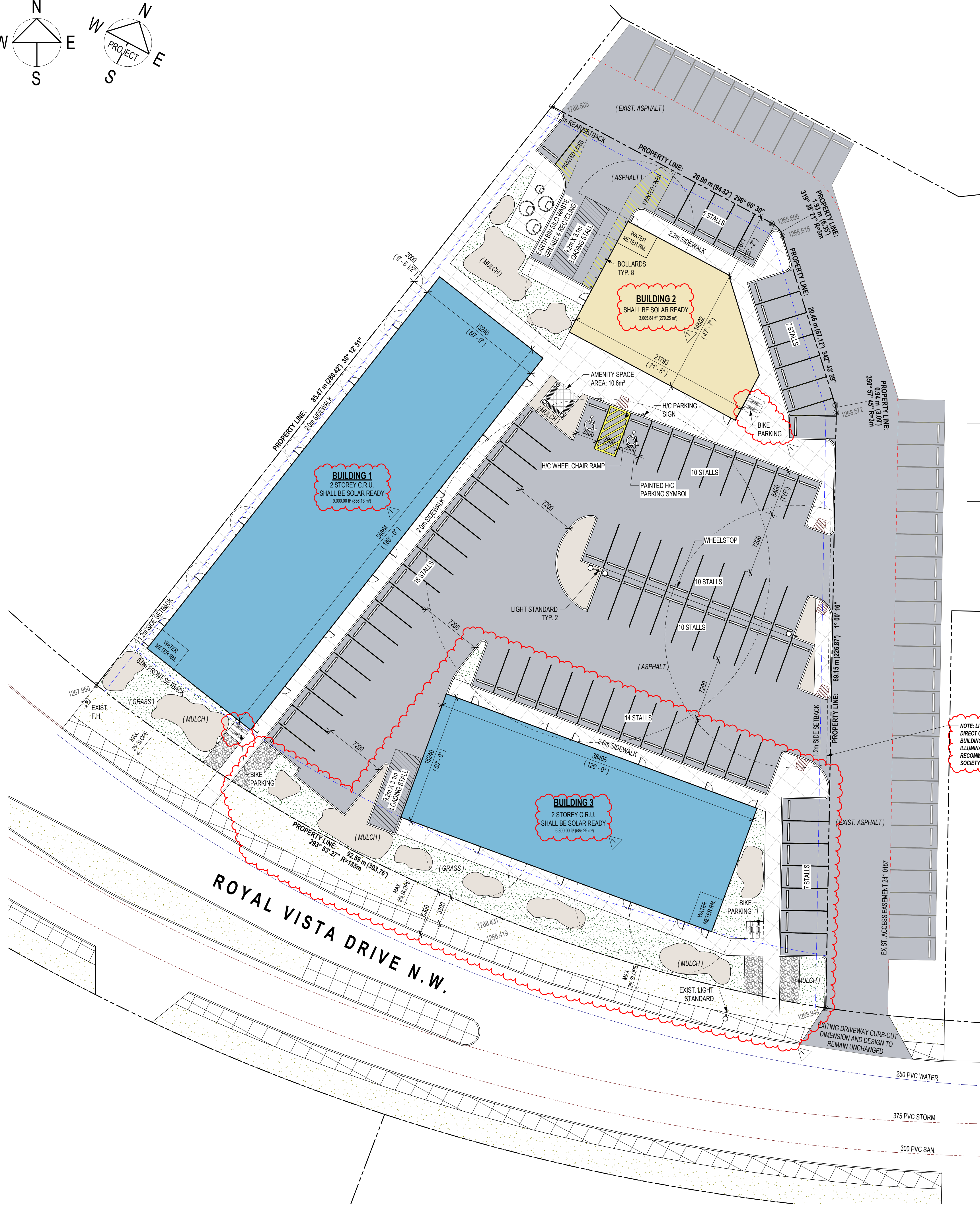
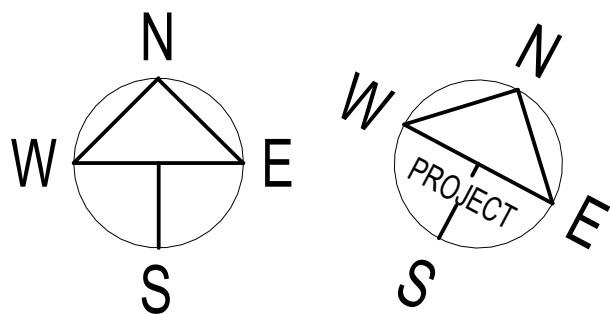
DP#:

DP2026-01627

COM-TECH
www.comtechdesign.com
Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3040

CLIENT:	JASON JIN
CONTACT PERSON:	Layne Martin: layne@comtechdesign.com
PROJECT:	ROYAL VISTA COMMERCIAL
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
14 ROYAL VISTA DR NW CALGARY, AB.	LOT: 8 BLOCK: 6 PLAN: 241 0156
DRAWING:	TITLE SHEET

DRAWN BY:	DATE:	DP0.0
JLC	18 JUN 26	
SCALE:	CHECKED BY:	
As indicated	LGM	



NOTE: LIGHTING FIXTURE ILLUMINATION CUTOFF.
DIRECT GLARE SHALL NOT BE VISIBLE TO ADJACENT
BUILDINGS OR NEARBY LAND OR PUBLIC ROADWAYS.
ILLUMINATION LEVELS SHALL NOT EXCEED THE LEVELS
RECOMMENDED BY THE ILLUMINATING ENGINEERS
SOCIETY OF NORTH AMERICA (IESNA).

1 SITE PLAN
DP1.0 1 : 250



XXXXXX	INDICATES EXISTING GRADE
XXXXXX	INDICATES PROPOSED GRADE
XXXXXX	INDICATES EXISTING CONTOUR

SITE INFORMATION

LOT AREA:
TOTAL LOT AREA: 1.3311 acre (0.5598 ha) 5,598 m²
ZONING:
LAND USE BYLAW - 1P2007
DIRECT CONTROL - 5002022

USE:
OFFICE
RETAIL CONSUMER SERVICE (MAX. AREA 930m²)
RESTAURANT

BUILDING AREA:
BUILDING 1 - RETAIL (MAIN FLOOR): 836.13 m² (9,000.00 ft²)
BUILDING 1 - OFFICE (2ND FLOOR): 821.13 m² (8,838.60 ft²)
BUILDING 2 - RESTAURANT: 279.25 m² (3,005.85 ft²)
BUILDING 3 - RETAIL (MAIN FLOOR): 571.35 m² (6,150.00 ft²)
BUILDING 3 - OFFICE (2ND FLOOR): 560.28 m² (6,030.78 ft²)

TOTAL AREA: 3,068.14 m² (33,025.23 ft²)
FOOTPRINT: 1,686.73 m² (18,155.85 ft²)

PARCEL COVERAGE:

BUILDING FOOTPRINT = 1,630.45 m² (17,550.00 ft²)
LOT AREA = 5,598 m²
1,630.45 m² / 5,598 m² = **29.1% PARCEL COVERAGE**

FAR: 3.011.86 m² (G.F.A.) / 5,598 m² (LOT AREA) = **0.538**

PARKING:

SEE PARKING STUDY BY BUNT & ASSOCIATES

TOTAL PARKING: 83 STALLS

BICYCLE PARKING:

TOTAL CLASS 1 BIKE PARKING REQUIRED: 2 STALLS
TOTAL CLASS 2 BIKE PARKING REQUIRED: 8 STALLS
TOTAL CLASS 1 BIKE PARKING PROVIDED: 0 STALLS
TOTAL CLASS 2 BIKE PARKING PROVIDED: 10 STALLS

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CLIENT: JASON JIN

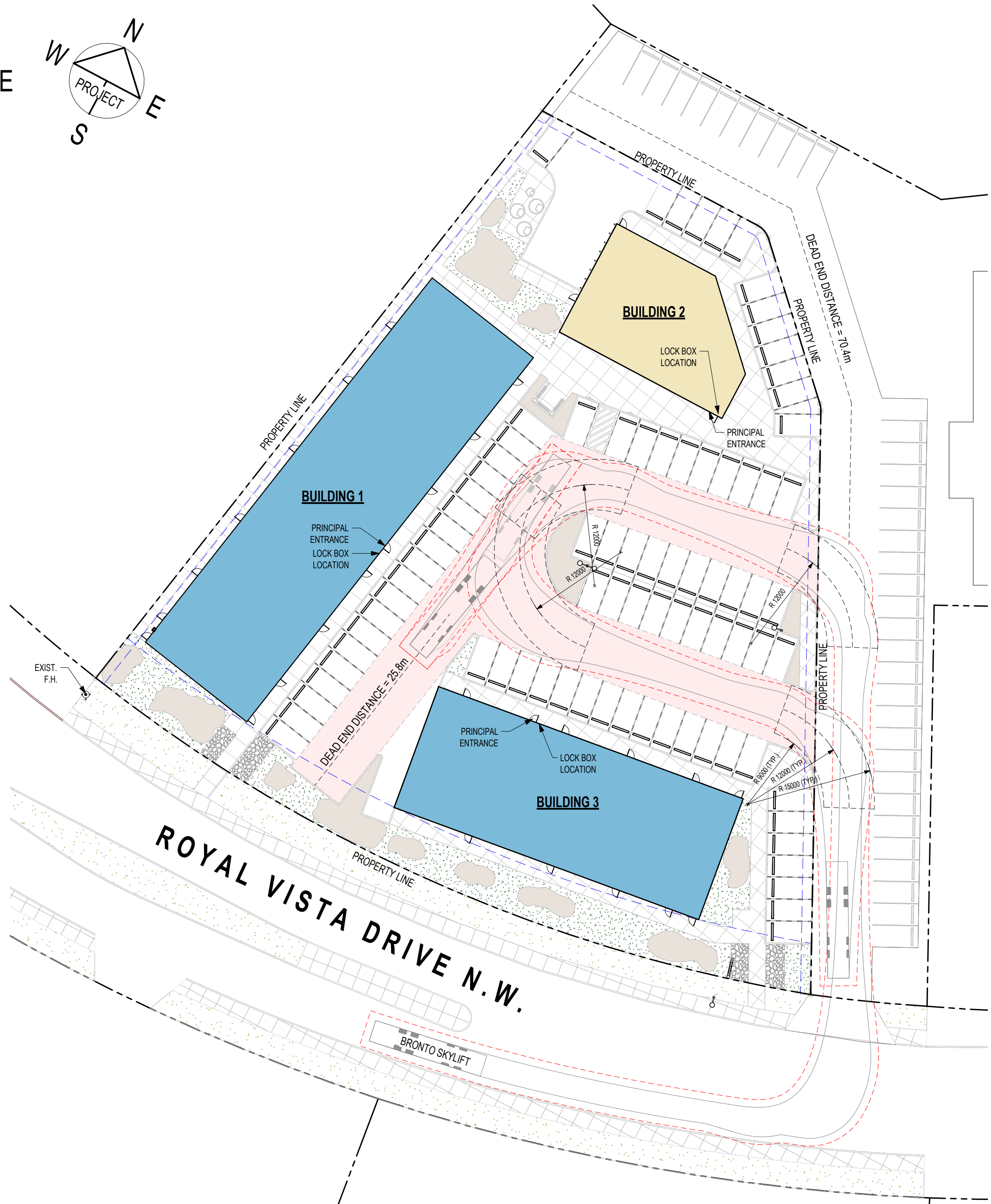
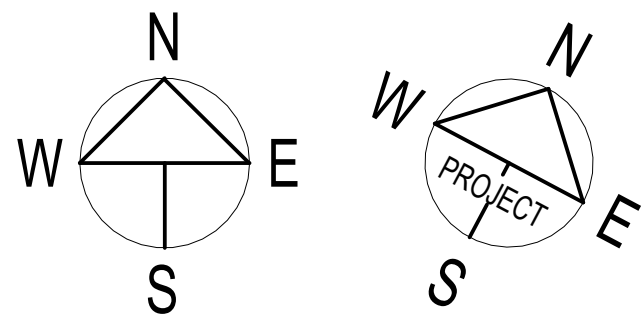
CONTACT PERSON: Layne Martin: layne@comtechdesign.com

PROJECT: ROYAL VISTA COMMERCIAL

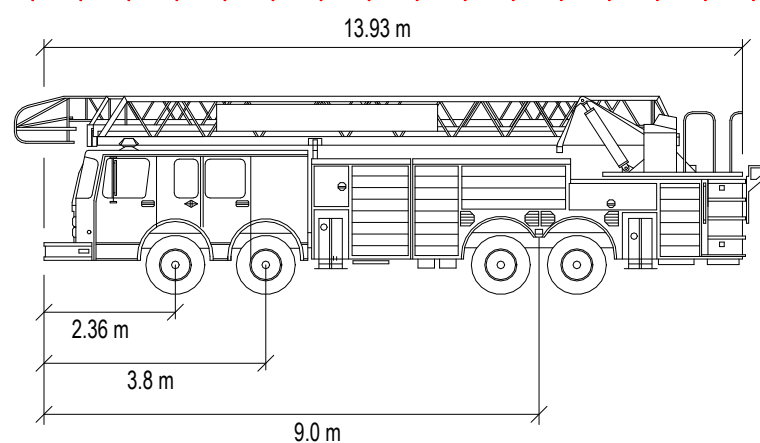
MUNICIPAL ADDRESS: 14 ROYAL VISTA DR NW CALGARY, AB. LEGAL ADDRESS: LOT: 8 BLOCK: 6 PLAN: 241 0156

SITE PLAN & SITE INFORMATION

DRAWN BY: JILC DATE: 18 JUN 26
SCALE: As indicated CHECKED BY: LGM
DP1.0



2 SITE PLAN-FIRE SAFETY
DP1.1 1:400



FIRETRUCK (BRONTO SKYLIFT)

WIDTH: 2.36 m
TRACK: 2.57 m
LOCK TO LOCK TIME: 6.0 s
STEERING ANGLE: 47.50°

STRUCTURAL CAPACITY OF DRIVABLE SURFACE

- DRIVABLE SURFACE (ACCESS ROUTE)
 - STRUCTURALLY CAPABLE OF A 38,556kg/85,000lbs LOAD
- DRIVABLE SURFACE
 - STRUCTURALLY CAPABLE OF A 25,000kg LOAD

PROVISIONS FOR FIREFIGHTING (3.2.5)

FIRE ALARM DETERMINATION 3.2.4.1.

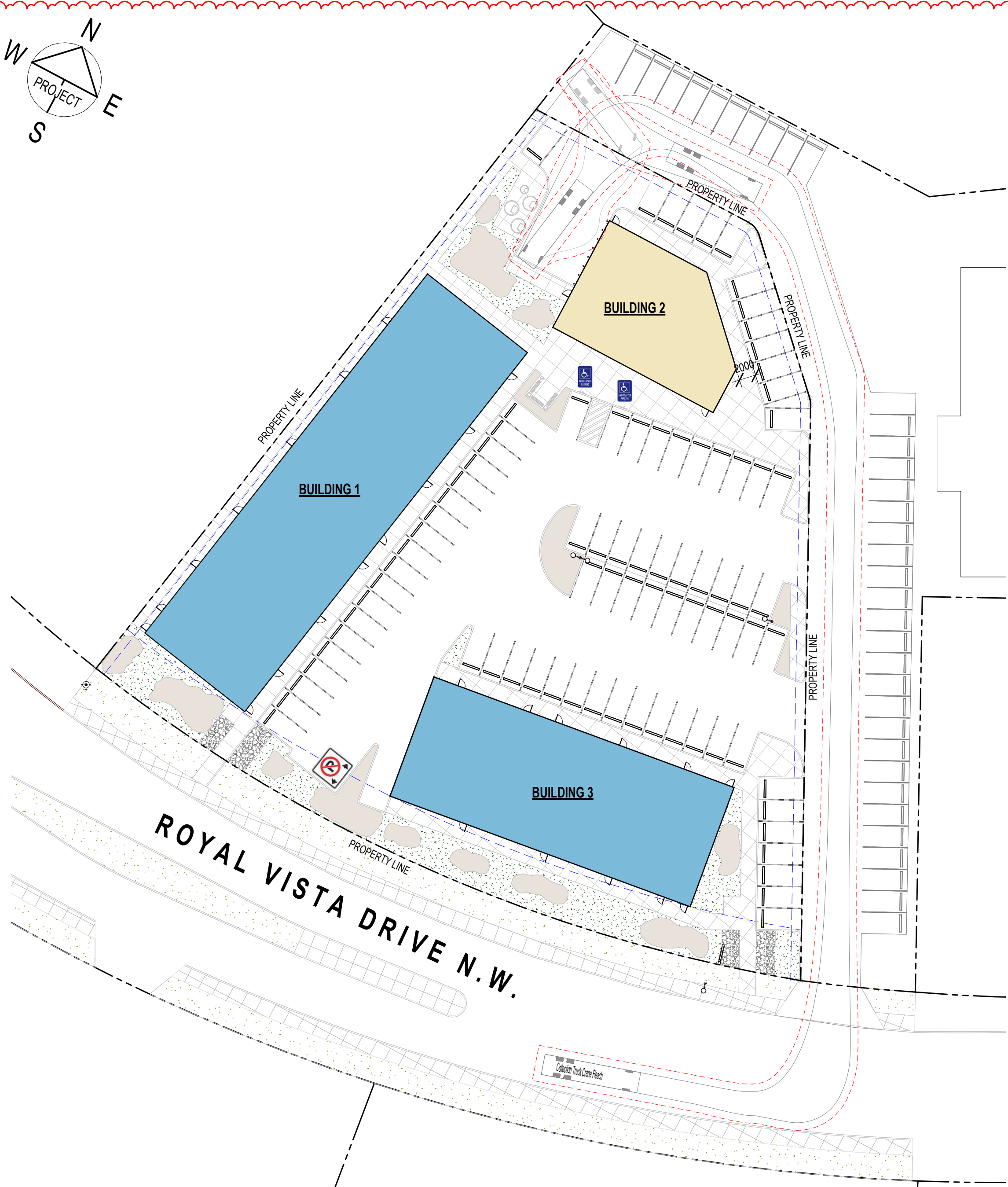
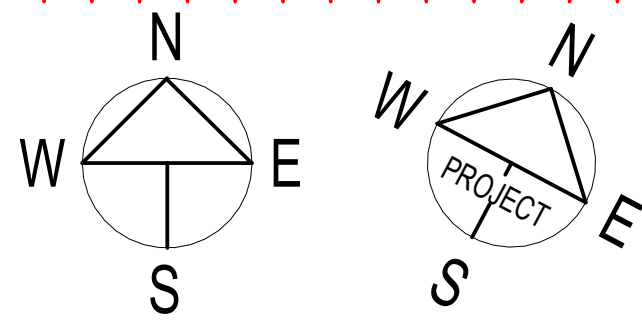
1) BUILDING IN WHICH AUTOMATIC SPRINKLER INSTALLED THEREFORE FIRE ALARM REQUIRED (NOT REQUIRED)

LOCATION OF ACCESS ROUTES 3.2.5.5.

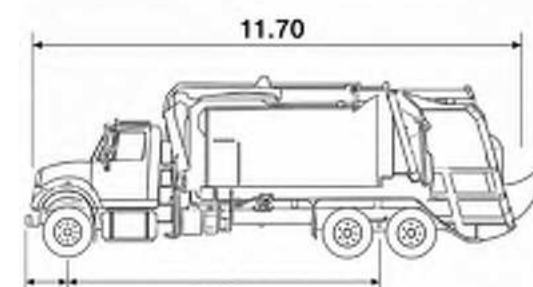
- BUILDING NOT PROVIDED WITH FIRE DEPARTMENT CONNECTION, A FIRE DEPARTMENT PUMPER VEHICLE CAN BE LOCATED SO THAT THE LENGTH OF THE ACCESS ROUTE FROM HYDRANT TO VEHICLE PLUS THE UNOBSTRUCTED PATH OF TRAVEL FIREFIGHTER FROM VEHICLE TO THE BUILDING IS NOT MORE THAN 90M, AND
- THE UNOBSTRUCTED PATH OF TRAVEL FOR THE FIREFIGHTER FROM VEHICLE TO THE BUILDING IS NOT MORE THAN 45M.

ACCESS ROUTE DESIGN 3.2.5.6.

- A PORTION OF A ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL:
 - HAVE A CLEAR WIDTH NOT < 6m, UNLESS IT CAN BE SHOWN THAT LESSER WIDTHS ARE SATISFACTORY.
 - HAVE A CENTERLINE RADIUS NOT < 12m.
 - HAVE AN OVERHEAD CLEARANCE NOT < 5m.
 - HAVE A CHANGE OF GRADIENT NOT > 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15m.
 - BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS.
 - HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 90M LONG, AND
 - BE CONNECTED TO A PUBLIC THOROUGHFARE.



1 SITE PLAN-VEHICLE CIRCULATION
DP1.1 1:400



COLLECTION TRUCK
CRANE REACH

Width : 2.47
Track : 2.47
Lock to Lock Time : 6.0
Steering Angle : 53.0

TRAFFIC SIGN SCHEDULE

SIGN	COUNT	MOUNTING
	2	2 - 48" WHITE SHORT SQUEEZE 2 - 101NS FIXED BASE
	0	1 - 96" U-CHANNEL
	1	1 - 42" U-CHANNEL

RWA
ARCHITECTURE
Roger White Architecture Inc.

GENERAL NOTES

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CLIENT: JASON JIN

CONTACT PERSON: Layne Martin: layne@comtechdesign.com

PROJECT: ROYAL VISTA COMMERCIAL

MUNICIPAL ADDRESS: 14 ROYAL VISTA DR NW CALGARY, AB. LEGAL ADDRESS: LOT: 8 BLOCK: 6 PLAN: 241 0156

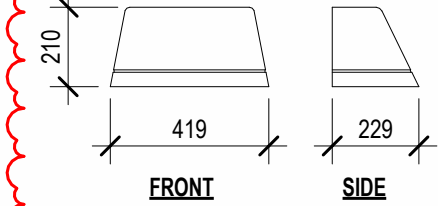
DRAWING: SITE TRAFFIC PLANS

DRAWN BY: JILC DATE: 18 JUN 26
SCALE: As indicated CHECKED BY: LGM
DP1.1

EXTERIOR FINISHES LEGEND

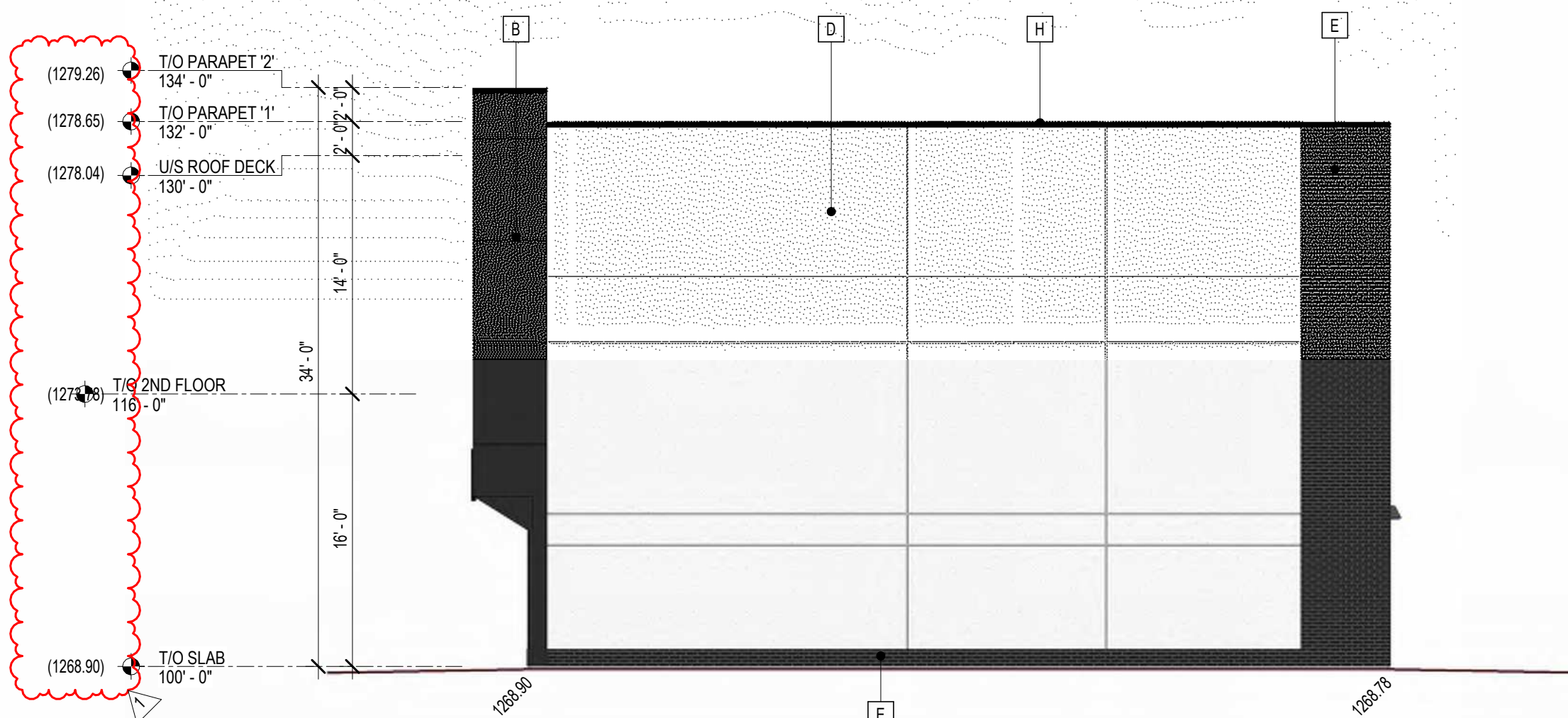
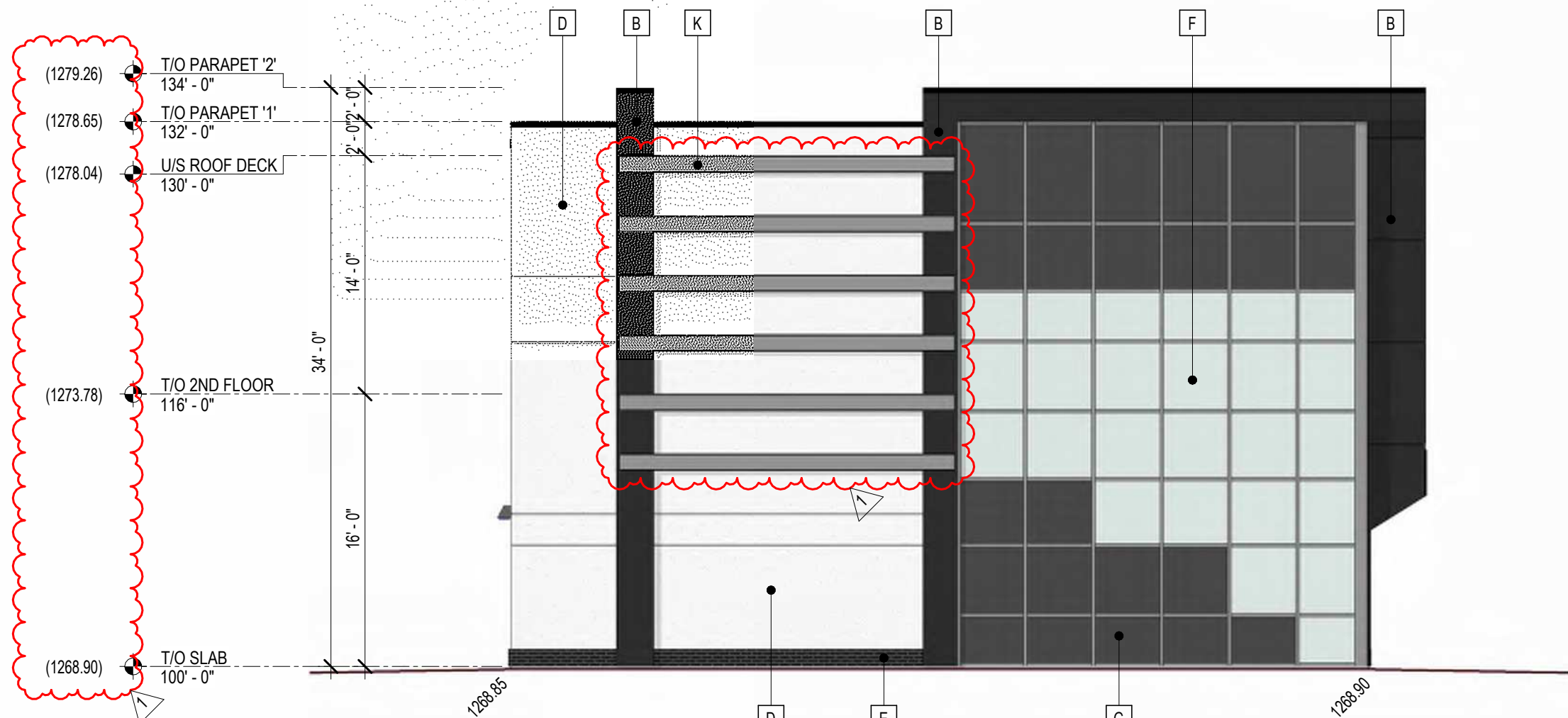
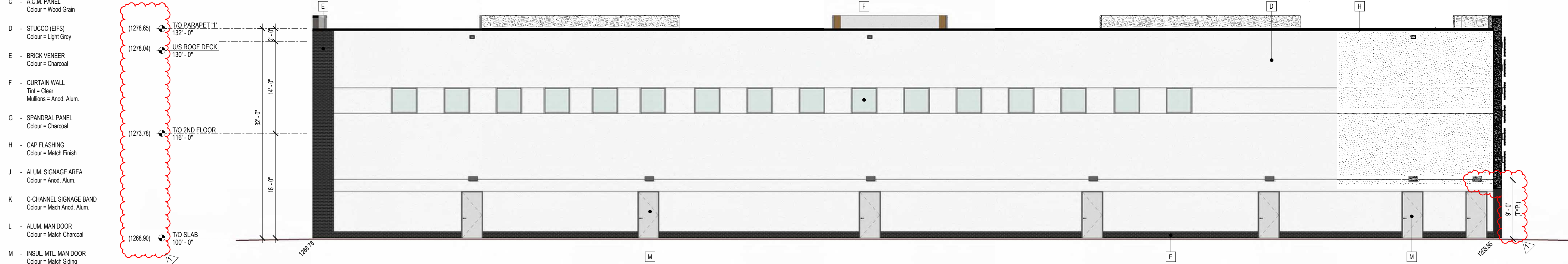
- A - VERTICAL CORRUGATED METAL SIDING
Colour = Galvanized
- B - A.C.M. PANEL
Colour = Charcoal
- C - A.C.M. PANEL
Colour = Wood Grain
- D - STUCCO (EIFS)
Colour = Light Grey
- E - BRICK VENEER
Colour = Charcoal
- F - CURTAIN WALL
Tint = Clear
Mullions = Anod. Alum.
- G - SPANDRAL PANEL
Colour = Charcoal
- H - CAP FLASHING
Colour = Match Finish
- J - ALUM. SIGNAGE AREA
Colour = Anod. Alum.
- K - C-CHANNEL SIGNAGE BAND
Colour = Match Anod. Alum.
- L - ALUM. MAN DOOR
Colour = Match Charcoal
- M - INSUL. MTL. MAN DOOR
Colour = Match Siding
- N - HORIZONTAL METAL SIDING
Colour = Wood Grain
(or equal)
- O - A.C.M. PANEL
Colour = Light Grey
- P - STUCCO (EIFS)
Colour = Dark Grey
- Q - STUCCO (EIFS)
Colour = Brown to Match Wood Grain Siding

WALL MOUNTED LIGHT PACK DETAIL



COUNT: 7

NOTE: ALL LIGHTING WILL BE DOWN LIGHTING AND BE DESIGNED BY A PROFESSIONAL ENGINEER



GENERAL NOTES

IMPERIAL :

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PROJECT:

ROYAL VISTA COMMERCIAL

MUNICIPAL ADDRESS: 14 ROYAL VISTA DR NW CALGARY, AB. LEGAL ADDRESS: LOT: 8 BLOCK: 6 PLAN: 241 0156

DRAWING:

BUILDING 1 EXTERIOR ELEVATIONS

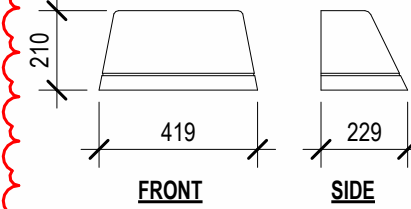
DRAWN BY: JILC DATE: 18 JUN 26
SCALE: As indicated CHECKED BY: LGM

DP3.0

EXTERIOR FINISHES LEGEND

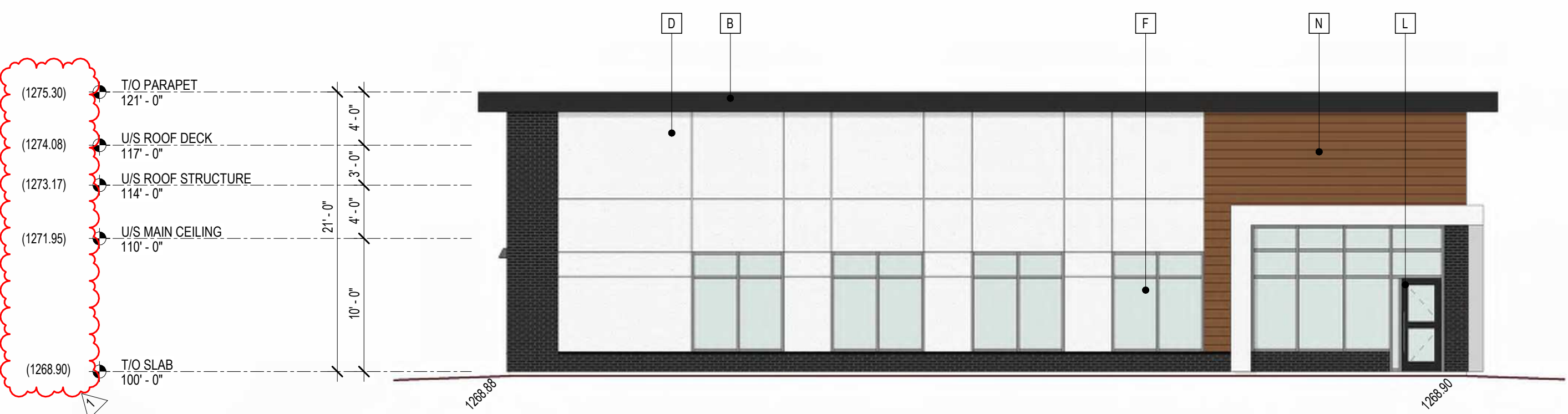
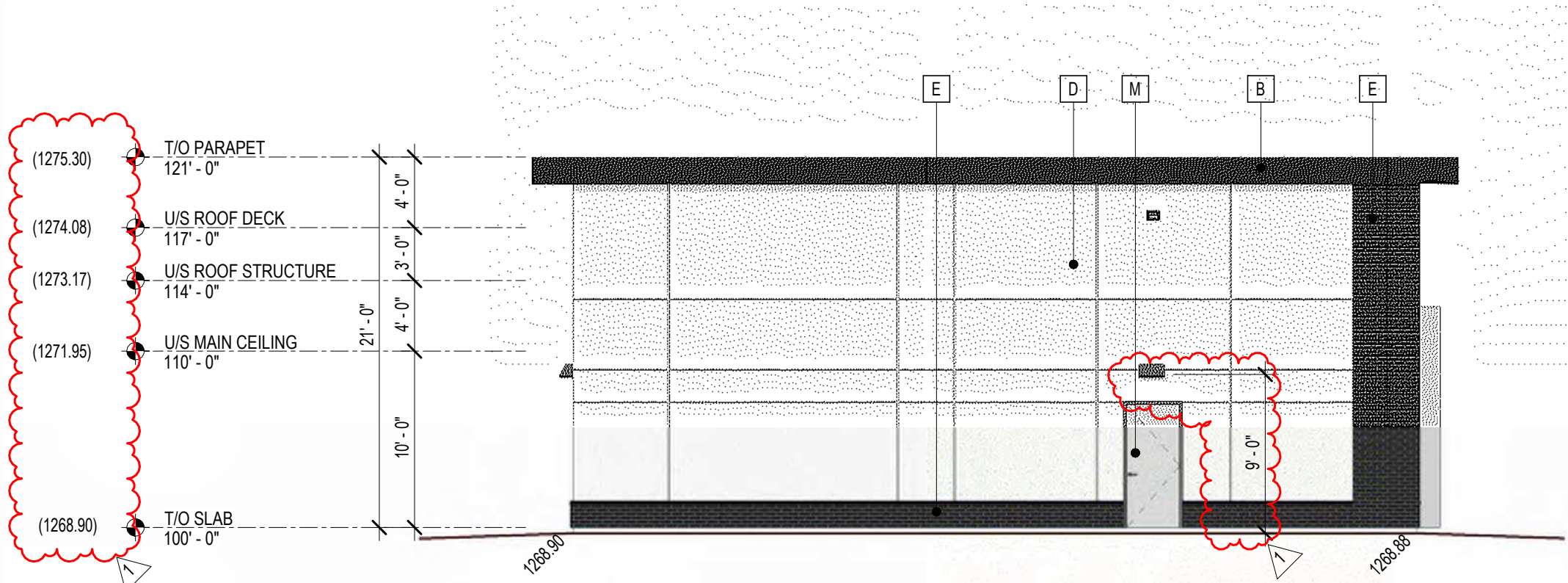
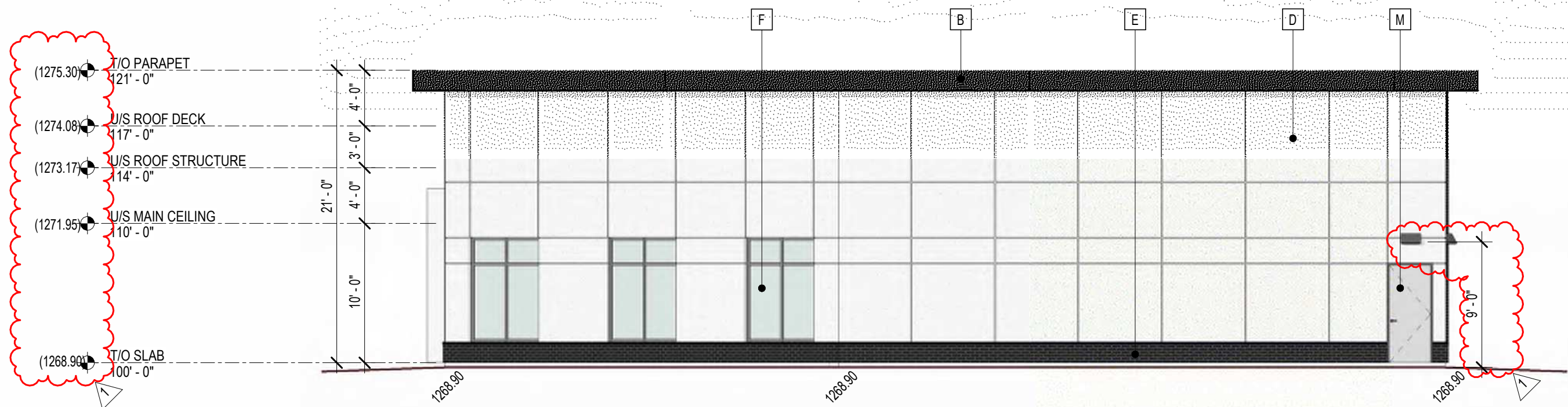
- A - VERTICAL CORRUGATED METAL SIDING
Colour = Galvanized
- B - A.C.M. PANEL
Colour = Charcoal
- C - A.C.M. PANEL
Colour = Wood Grain
- D - STUCCO (EIFS)
Colour = Light Grey
- E - BRICK VENEER
Colour = Charcoal
- F - CURTAIN WALL
Tint = Clear
Mullions = Anod. Alum.
- G - SPANDRAL PANEL
Colour = Charcoal
- H - CAP FLASHING
Colour = Match Finish
- J - ALUM. SIGNAGE AREA
Colour = Anod. Alum.
- K - C-CHANNEL SIGNAGE BAND
Colour = Match Anod. Alum.
- L - ALUM. MAN DOOR
Colour = Match Charcoal
- M - INSUL. MTL. MAN DOOR
Colour = Match Siding
- N - HORIZONTAL METAL SIDING
Colour = Wood Grain
(or equal)
- O - A.C.M. PANEL
Colour = Light Grey
- P - STUCCO (EIFS)
Colour = Dark Grey
- Q - STUCCO (EIFS)
Colour = Brown to Match Wood Grain Siding

WALL MOUNTED LIGHT PACK DETAIL



COUNT: 2

NOTE: ALL LIGHTING WILL BE DOWN LIGHTING AND BE DESIGNED BY A PROFESSIONAL ENGINEER



GENERAL NOTES

METRIC :

ALL DIMENSIONS ARE IN METRES AND MILLIMETRES UNLESS OTHERWISE NOTED. IMPERIAL IN BRACKETS
VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENTIRE ARCHITECTURAL PACKAGE.

1	Date 1	DR 1 RESPONSE
REV	DATE	DESCRIPTION
REVISIONS		

1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUANCES		

BP#:
DP#: DP2026-01627

COM-TECH
www.comtechdesign.com

Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3040

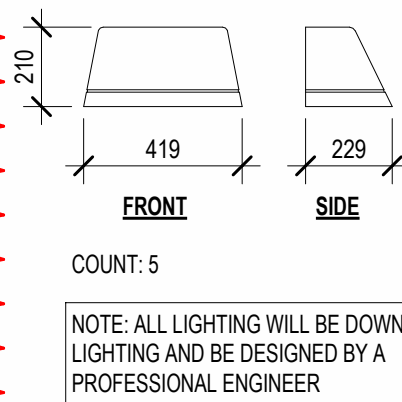
CLIENT:	JASON JIN
CONTACT PERSON:	Layne Martin: layne@comtechdesign.com
PROJECT:	ROYAL VISTA COMMERCIAL
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
14 ROYAL VISTA DR NW CALGARY, AB.	LOT: 8 BLOCK: 6 PLAN: 241 0156
DRAWING:	BUILDING 2 EXTERIOR ELEVATIONS
DRAWN BY:	DATE:
JILC	18 JUN 26
SCALE:	CHECKED BY:
As indicated	LGM

DP3.1

EXTERIOR FINISHES LEGEND

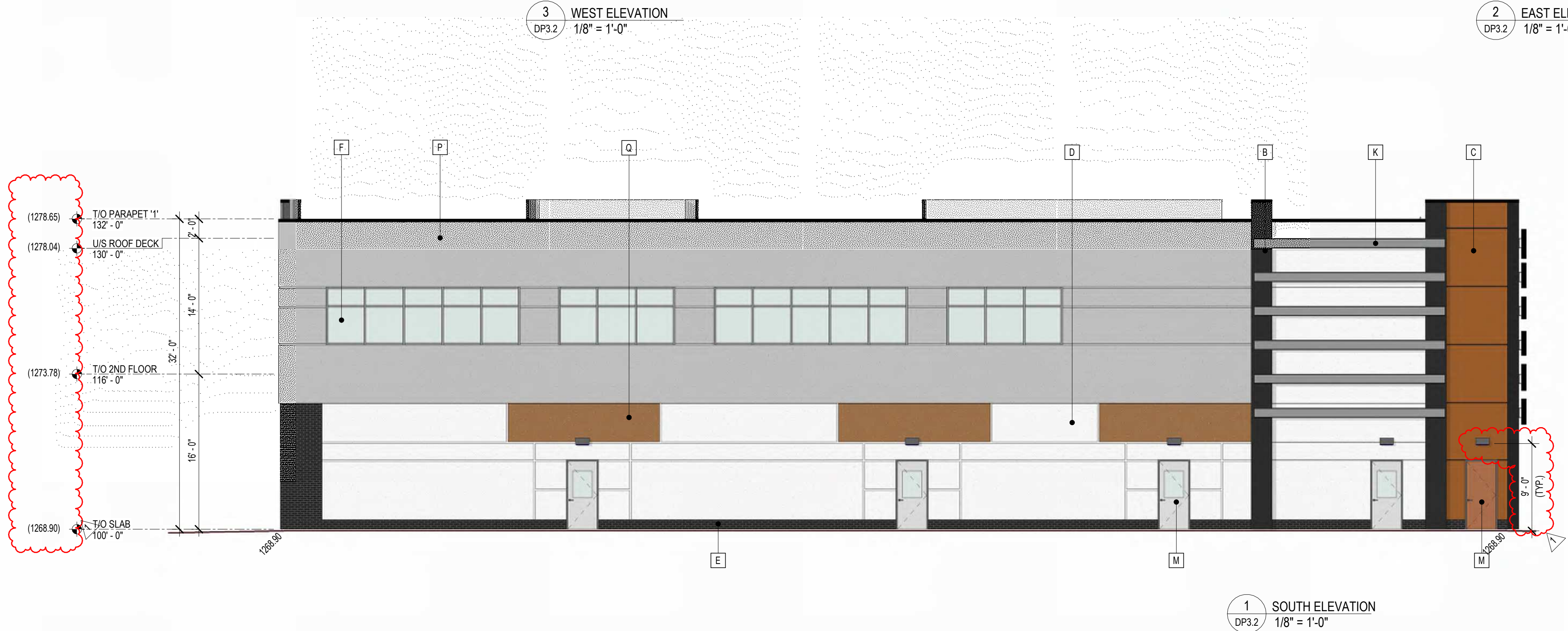
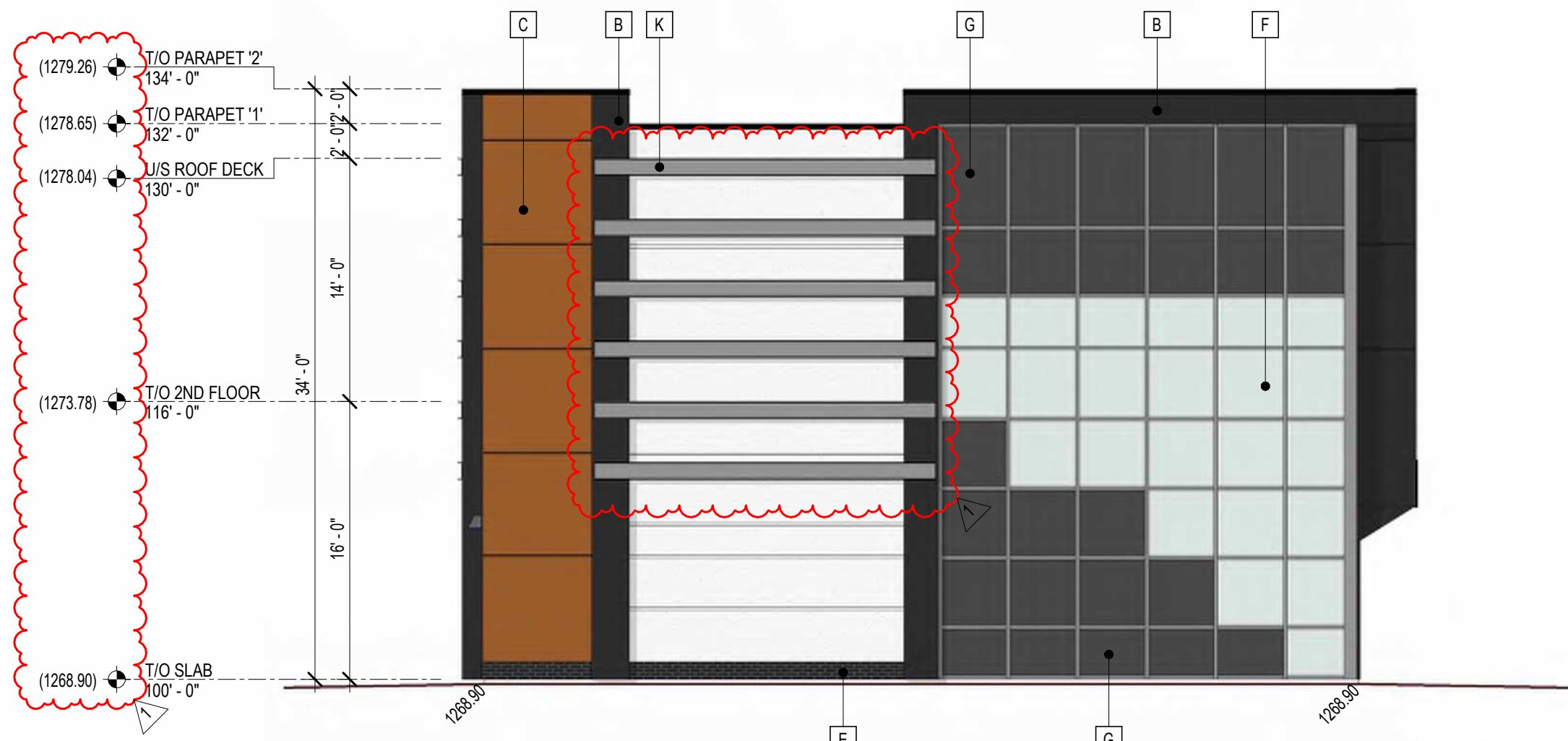
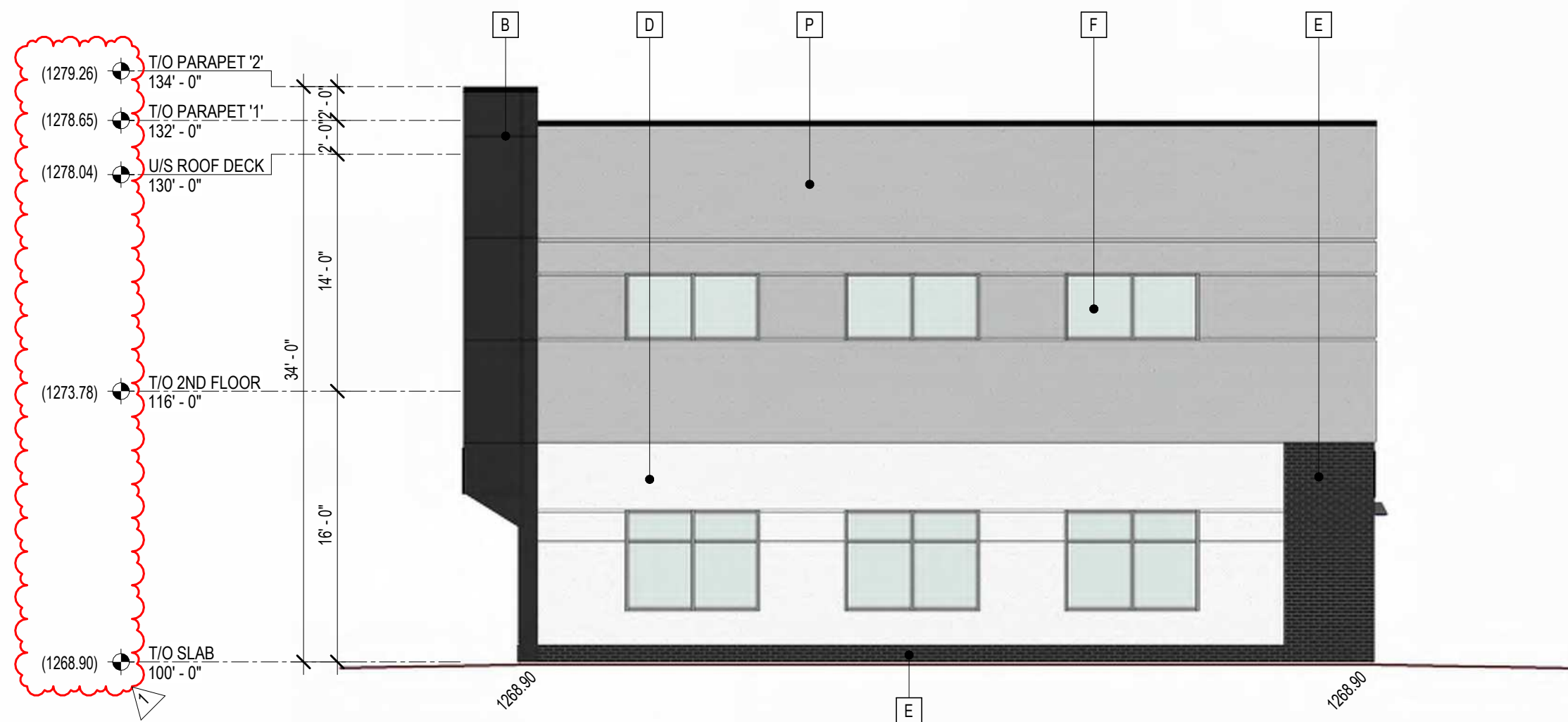
- A - VERTICAL CORRUGATED METAL SIDING
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(or equal)
- O - A.C.M. PANEL
Colour = Light Grey
- P - STUCCO (EIFS)
Colour = Dark Grey
- Q - STUCCO (EIFS)
Colour = Brown to Match Wood Grain Siding

WALL MOUNTED LIGHT PACK DETAIL



COUNT: 5

NOTE: ALL LIGHTING WILL BE DOWN LIGHTING AND BE DESIGNED BY A PROFESSIONAL ENGINEER



RWA
ARCHITECTURE
Roger White Architecture Inc.

GENERAL NOTES

IMPERIAL :

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METRIC IN BRACKETS.

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT WITHOUT DELAY.

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1	Date 1	DR 1 RESPONSE
REV	DATE	DESCRIPTION

REVISIONS

1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION

ISSUANCES

BP#:
DP#:

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CLIENT:	JASON JIN
CONTACT PERSON:	Layne Martin: layne@comtechdesign.com
PROJECT:	ROYAL VISTA COMMERCIAL
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
14 ROYAL VISTA DR NW CALGARY, AB.	LOT: 8 BLOCK: 6 PLAN: 241 0156
DRAWING:	
BUILDING 3 EXTERIOR ELEVATIONS	
DRAWN BY:	DATE:
JILC	18 JUN 26
SCALE:	CHECKED BY:
As indicated	LGM

DP3.2