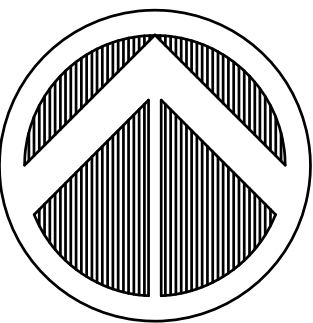




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0	000326	ELI	ISSUED FOR OOSP APPROVAL
REV	DDMMYY	BY	DESCRIPTION



CLIENT:

PROJECT:

ROYAL VISTA COMMERCIAL

DATE RECEIVED			
CIRCULATION TO		INITIAL	DATE
WATER RESOURCES			

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND TO PERFORM INSPECTIONS AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

DRAWN BY: ELI	CAD FILE: E26-01-SP01
DESIGNED BY: ELI	DATE: 08/03/2026
CHKD BY: ELI	SCALE: AS SHOWN

ELI Consulting Inc.
CIVIL ENGINEERING . EROSION & SEDIMENT CONTROL
230 Edgebrook Circle NW, Calgary, AB T3A 5A2
Tel: 403-607-0049 Email: edmund@eliconsult.ca

The Association of Professional
Engineers, Geologists and
Geophysicists of Alberta PERMIT
NUMBER: P 07257

DRAWING NO.	REV. NO.
SP-01	0



	PROPERTY LINE
	ROW
	SET BACK
$\times 1083.709$	EXISTING GRADE
<u>93.90</u>	FINISHED GRADE
<u>2.1%</u>	DRAINAGE SLOPE
	EXISTING MANHOLE
	EXISTING CB
	EXISTING FIRE HYDRANT
<i>TOC</i>	TOP OF CONCRETE
<i>BOW</i>	BACK OF WALK

SITE PREPARATION:

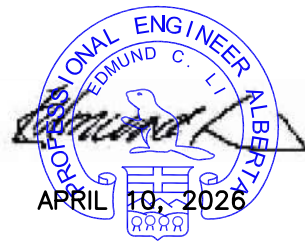
THE SUBGRADE SHOULD BE PROOF ROLLED WITH A HEAVY LOADED TRUCK AND TO BE EXAMINED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PLACE BEDDING MATERIAL. ANY SOFT AND WET SOIL SHOULD BE REMOVED FROM THE SUBGRADE AND BACKFILL WITH SUITABLE MATERIAL AS DIRECTED BY GEOTECHNICAL ENGINEER.

THE UPPER 300mm OF SUBGRADE SHOULD BE SCARIFIED AND RE-COMPACTED TO AT LEAST 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.



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1	10/04/26	ELI	REVISED AS PER CITY'S COMMENT	
0	08/03/26	ELI	ISSUED FOR O&P APPROVAL	
REV		BY	DESCRIPTION	
COMMITTEE				

GENERAL NOTES:



CLIENT

PROJECT:

ROYAL VISTA COMMERCIAL

GRADING PLAN

DRAWN BY: ELI	CAD FILE: E26-01-SP01
DESIGNED BY: ELI	DATE: 08/03/2026
CHKD BY: ELI	SCALE: AS SHOWN

ELI Consulting Inc.
CIVIL ENGINEERING • EROSION & SEDIMENT CONTROL
230 Edgebrook Circle NW, Calgary, AB T3A 5A2
Tel: 403-607-0049 Email: edmund@eliconsult.ca

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NUMBER: P 07257

DRAWING NO.

REV NO.

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ABBREVIATIONS		
A	ABOVE FINISHED FLOOR	A.F.F.
	ACOUSTIC TILE	ACT.
	ALUMINUM	ALUM.
B	ANKIDIZED	ANOD.
	ARCHITECTURAL	ARCH.
	BATT INSULATION	BATT INSUL.
C	BEAM	BM.
	BOTH WAYS	B.W.
	BOTTOM	BOT.
D	BARRIER FREE	B.F.
	BUILDING	BLDG.
	BUILT-UP ROOF	B.U.R.
E	CARPET	CPT.
	CATCH BASIN	C.B.
	CEILING	CLG.
F	CENTER LINE	C.L.
	CERAMIC TILE	C.T.
	COLUMN	COL.
G	COMBUSTIBLE	COMB.
	COMPLETE WITH	C/W
	CONCRETE	CONC.
H	CONCRETE BLOCK	CONC. BL.
	CONSTRUCTION	CONST.
	CONTROL JOINT	C.J.
I	CONTINUOUS	CONT.
	CORRIDOR	CORR.
	DIAMETER	DIA.
J	DIMENSION	DIM.
	DISHWASHER	D.W.
	DOUBLE GLAZED	D.G.
K	DOWN	DN.
	DRAWING	DWG.
	DRAIN	D.F.
L	EACH	EA.
	ELEVATION	ELEV.
	ELECTRICAL	ELEC.
M	EQUAL	EQ.
	EXISTING	EXIST.
	EXPANSION JOINT	EXP. JT.
N	EXPOSED	EXT.
	EXTERIOR	EXT.
	FACE OF FOUNDATION	F.O.F.
O	FINISH	FIN.
	FIRE-RESISTANCE RATING	F.R.R.
	FLOOR	FL.
P	FLOOR DRAIN	F.D.
	FLOOR AREA RATIO	F.A.R.
	FIRE HOSE CABINET	F.H.C.
Q	FIRE EXTINGUISHER	F.E.
	FOOTING	FTG.
	FOUNDATION	FOUND.
R	Gauge	GA.
	GEODETIC	GEO.
	GLASS	GL.
S	GRADE	GR.
	GREATER THAN	>
	GROSS FLOOR AREA	G.F.A.
T	GROUND FLOOR	GR.FLR.
	GYPSUM WALL BOARD	G.W.B.
	HOLLOW METAL	H.M.
U	HORIZONTAL	HORZ.
	HOSE BIBS	H.B.
	HOLLOW CORE	H.C.
V	HOLLOW STEEL SECTION	H.S.S.
	INTERIOR	INT.
	INSIDE FACE	I.F.
W	INSULATION	INSUL.
	JANITOR	JAN.
	LAMINATED	LAM.
X	LAVATORY	LAV.
	LESS THAN	<
	MANHOLE	M.H.
Y	MANUFACTURER	MANF.
	MAXIMUM	MAX.
	MECHANICAL	MECH.
Z	METAL	MTL.
	MICROWAVE	M.W.
	MINIMUM	MIN.
AA	MISCELLANEOUS	MISC.
	NATURAL	NAT.
	NOT APPLICABLE	N.A.
AB	NOT IN CONTRACT	N.I.C.
	NOT TO SCALE	N.T.S.
	NUMBER	NUM.
AC	ON CENTER	O.C.
	OPENING	OPG.
	OUTSIDE FACE	O.F.
AD	OVERHEAD DOOR	O.H.D.
	PAINT	PT.
	PARTITION	PTN.
AE	PLATE	PL.
	PLASTIC LAMINATE	PLAM.
	PLYWOOD	PLY.
AF	POLYETHYLENE	POLY.
	PRECAST CONCRETE	P.C. CONC.
	PREFINISHED	PREFIN.
AG	PRESSED STEEL	P.S.
	PRESSURE TREATED	P.T.
	PROPERTY LINE	PL.
AH	QUARRY TILE	Q.T.
	RADIUS	R.
	RAINWATER LEADER	R.W.L.
AI	REINFORCING	REIN.
	REQUIRED	REQ.
	REFRIGERATOR	F.R.
AJ	REVISED	REV.
	ROOM	RM.
	ROOF DRAIN	R.D.
AK	ROOF TOP UNIT	R.T.U.
	ROUGH OPENING	R.O.
	RUBBER COVE BASE	R.C.B.
AL	SIMILAR	SIM.
	SLAB ON GRADE	S.O.G.
	SOAP DISPENSER	S.D.
AM	SOLID CORE	S.C.
	SPANDREL PANEL	S.P.
	SPECIFICATIONS	SPEC.
AN	SQUARE	SQ.
	STAINLESS STEEL	S.S.
	STEEL	STL.
AO	STORAGE	STOR.
	STOVE	ST.
	STRUCTURAL	STRUCT.
AP	TELEVISION	T.V.
	TEXTURED	TEX.
	TOP OF	T/O
AQ	TOUNGE AND GROOVE	T&G.
	TOWEL DISPENSER	T.D.
	TYPICAL	TYP.
AR	UNDERSIDE	UIS
	UNDERWRITERS LABORATORIES OF CANADA	U.L.C.
	UNPROTECTED OPENING(S)	UP.O.
AS	VAPOUR BARRIER	V.B.
	VENEER	VEN.
	VERTICAL	VERT.
AT	VESTIBULE	VEST.
	VINYL COMPOSITE TILE	V.C.T.
	WAREHOUSE	W.H.
AU	WATER CLOSET	WIC.
	WATERPROOF	W.P.
	WOOD	WD.



PROPOSED COMMERCIAL DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT - T.B.D.



SITE PIC. #1: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #2: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #3: DESCRIPTION
DATE: (OPTIONAL)



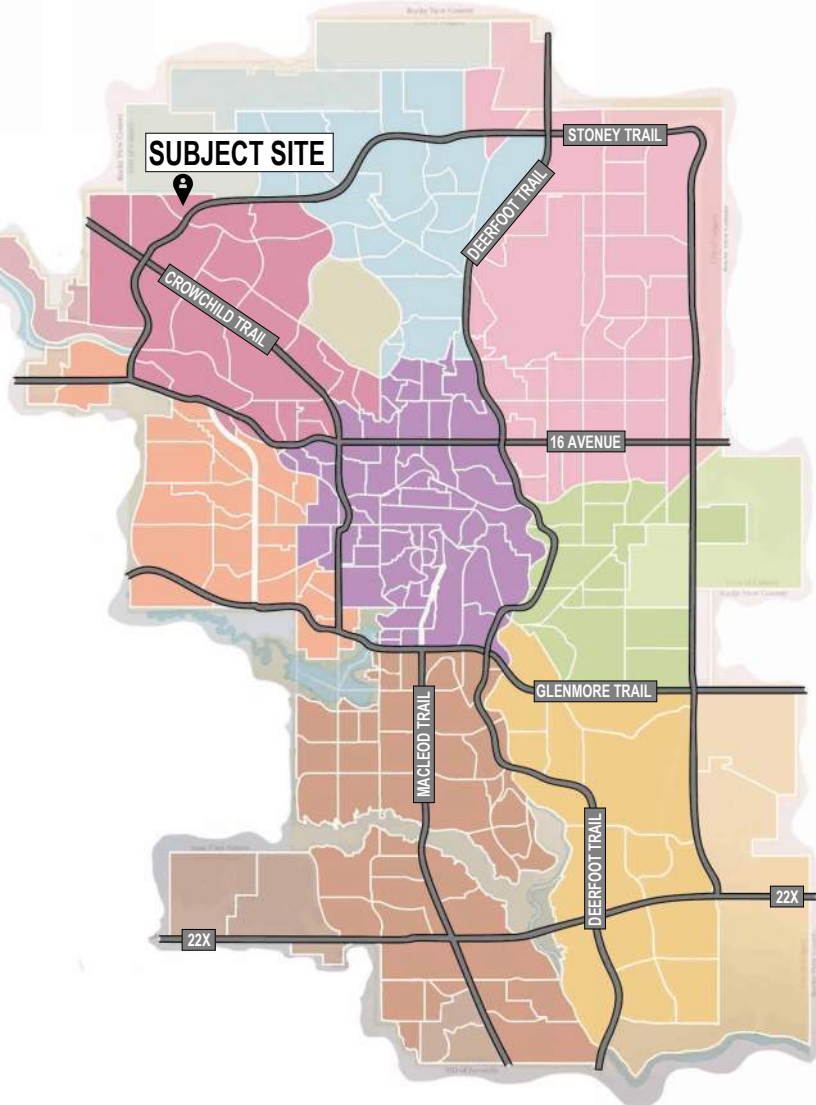
SITE PIC. #4: DESCRIPTION
DATE: (OPTIONAL)



LOCATION MAP



AREA MAP



BASIS OF CODE CHECK : NBC - 2023 ALBERTA EDITION

BUILDING 1

PROJECT TYPE : COMMERCIAL 2 STOREY MIX USE

MAJOR OCCUPANCY CLASSIFICATIONS: A-3.1.2.1.(1):

GROUP D

GROUP E

NUMBER OF STOREYS: 2 STOREYS
BUILDING FOOTPRINT: 836.13 m²
SPRINKLERED: NO

STREETS FACING 3.2.2.10 :
(IF SPRINKLERED IGNORE) 3 STREETS

CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE
FLOOR AREAS: MAIN FLOOR 836.13 m² 2ND FLOOR 821.13 m² TOTAL G.F.A. 1,657.26 m²

BUILDING 3

PROJECT TYPE : COMMERCIAL 2 STOREY MIX USE

MAJOR OCCUPANCY CLASSIFICATIONS: A-3.1.2.1.(1):

GROUP D

GROUP E

NUMBER OF STOREYS: 2 STOREYS
BUILDING FOOTPRINT: 571.35 m²
SPRINKLERED: NO

STREETS FACING 3.2.2.10 :
(IF SPRINKLERED IGNORE) 3 STREETS

CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE
FLOOR AREAS: MAIN FLOOR 571.35 m² 2ND FLOOR 560.28 m² TOTAL G.F.A. 1,131.63 m²

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.64.) - BUILDING 1

SEPARATIONS BETWEEN OCCUPANCIES: N/A
- UP TO 2 STOREYS (2 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 1,200 SQ.M. IF 2 STOREYS (836.13 ACTUAL SQ.M.)

2. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

a) FLOOR ASSEMBLIES: SHALL BE FIRE SEPARATIONS WITH F.R.R. NOT < 45 MIN. IF COMBUSTIBLE CONSTRUCTION

d) LOADBEARING WALLS,COLS & ARCHES: F.R.R. NOT < 45 MIN. IF COMBUSTIBLE CONSTRUCTION

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.64.) - BUILDING 2

SEPARATIONS BETWEEN OCCUPANCIES: N/A
- UP TO 1 STOREY (1 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 500 SQ.M. (278.71 ACTUAL SQ.M.)

1. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

1. IN A BUILDING REFERRED TO IN SENTENCE (1) WITHOUT A BASEMENT, THE BUILDING AREA LIMITS OF SENTENCE (1) ARE PERMITTED TO BE DOUBLED PROVIDED A FIRE SEPARATION WITH A FIRE-RESISTANCE RATING NOT LESS THAN 1 H IS USED TO SEPARATE THE BUILDING INTO FIRE COMPARTMENTS, EACH ONE OF WHICH DOES NOT EXCEED THE LIMITS OF CLAUSE (1)(B).

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.64.) - BUILDING 3

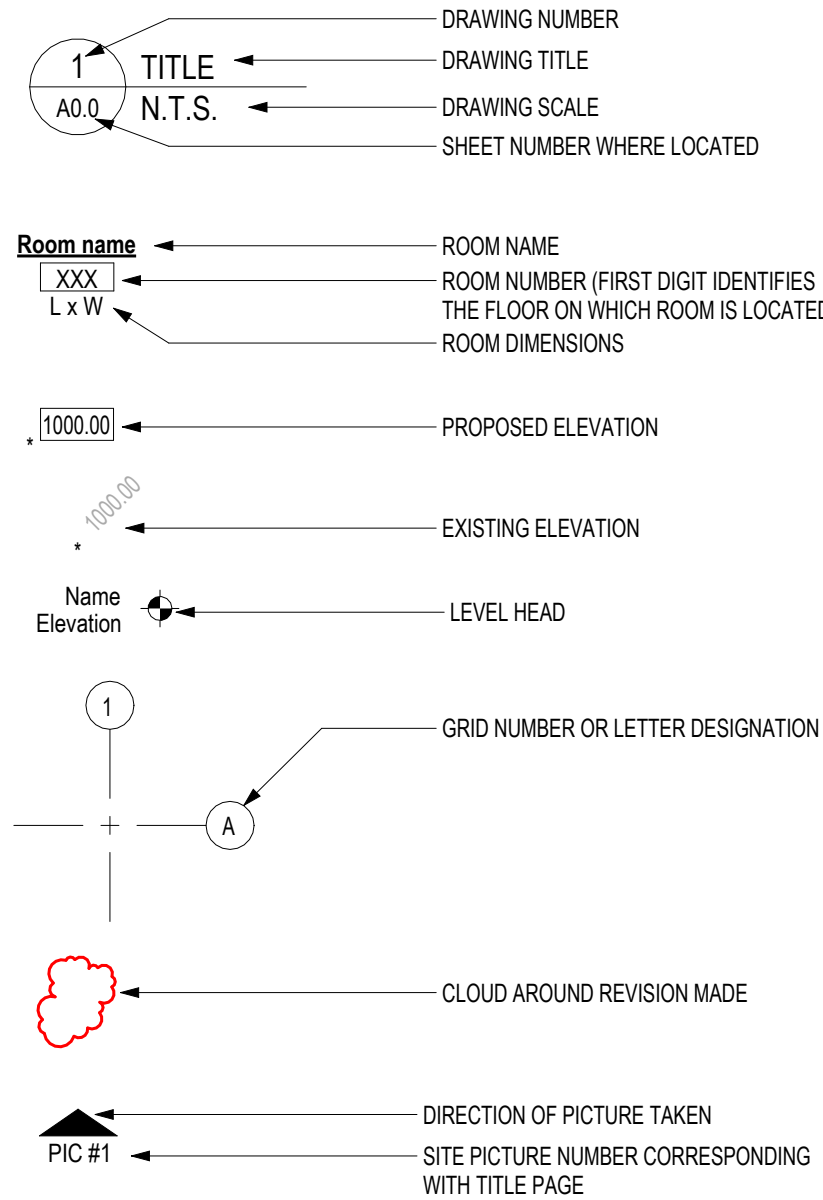
SEPARATIONS BETWEEN OCCUPANCIES: N/A
- UP TO 2 STOREYS (2 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 1,200 SQ.M. IF 2 STOREYS (571.35 ACTUAL SQ.M.)

2. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

a) FLOOR ASSEMBLIES: SHALL BE FIRE SEPARATIONS WITH F.R.R. NOT < 45 MIN. IF COMBUSTIBLE CONSTRUCTION

d) LOADBEARING WALLS,COLS & ARCHES: F.R.R. NOT < 45 MIN. IF COMBUSTIBLE CONSTRUCTION

DRAWING REFERENCE SYMBOLS



GENERAL NOTES:

- DEVIATION FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/DESIGNER ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS.
- THESE DRAWINGS AND DETAILS ARE, BY THEIR VERY NATURE, SCHEMATIC AND DO NOT DEPICT EVERY CONDITION, DETAIL, CONNECTION, ETC. WHICH WILL OCCUR.
- KNOWLEDGEABLE, PROPERLY LICENSED CONTRACTORS AND JOB CONTRACTORS MUST BE RELIED UPON TO ACHIEVE PROPER INSTALLATION OF MATERIALS, FLASHINGS, WEATHER SEALINGS, MATERIAL TRANSITIONS, SEPARATIONS, CONNECTIONS, ANCHORAGES, ETC.
- FOR THE AVOIDANCE OF DOUBT, ALL DIMENSIONS ARE MEASURED TO WALL STRUCTURE AND NOT THE FINISHES UNLESS OTHERWISE NOTED.



GENERAL NOTES

METRIC :

ALL DIMENSIONS ARE IN METRES AND MILLIMETRES UNLESS OTHERWISE NOTED.

IMPERIAL IN BRACKETS.

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THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS FORBIDDEN.

REV	DATE	DESCRIPTION
REVISIONS		

NO.	DATE	DESCRIPTION
ISSUANCES		

BP#:
DP#:



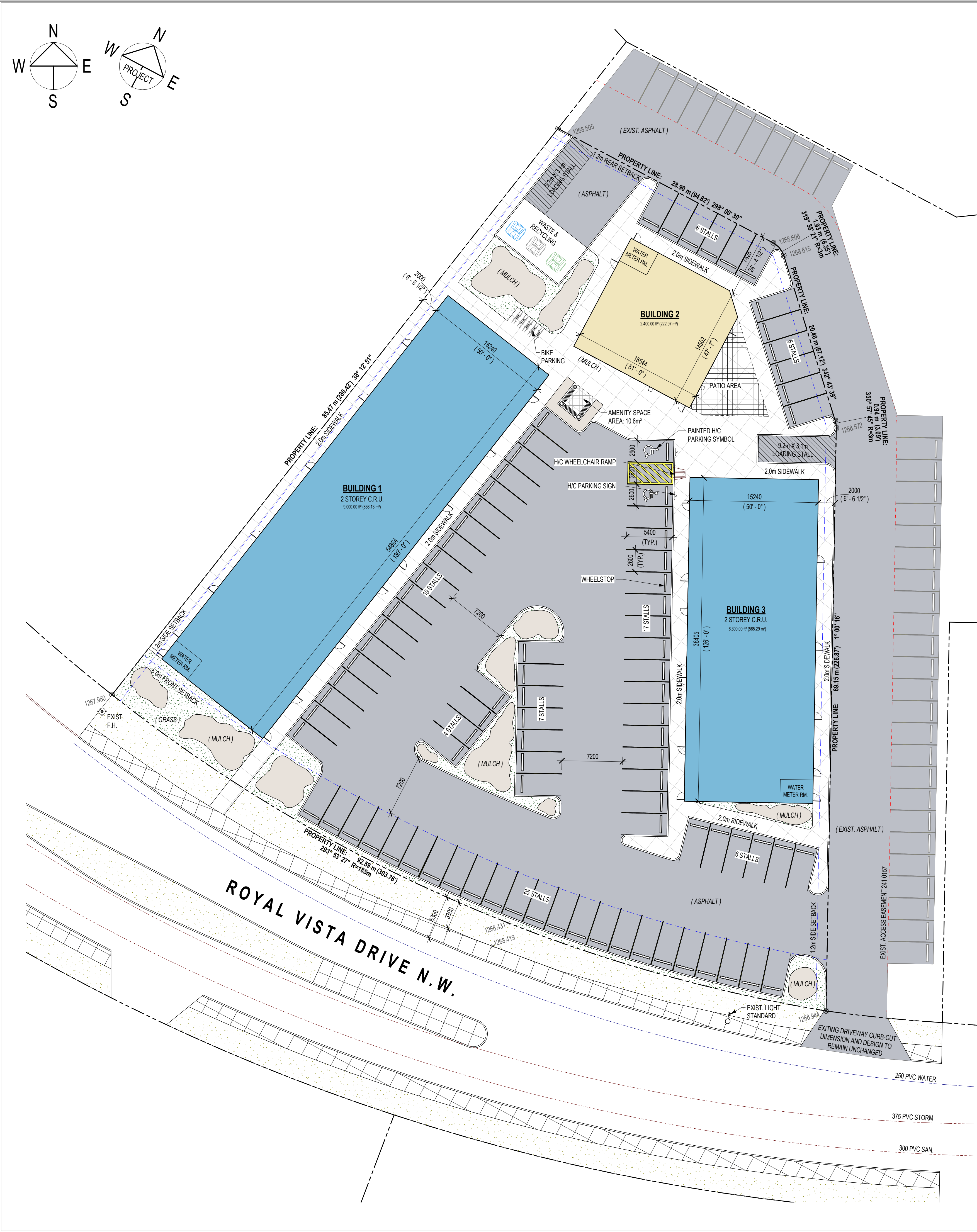
CLIENT:
CONTACT PERSON:

PROJECT:
ROYAL VISTA COMMERCIAL

MUNICIPAL ADDRESS:	LEGAL ADDRESS:
14 ROYAL VISTA DR NW CALGARY, AB.	LOT: 8 BLOCK: 6 PLAN: 241 0156

DRAWING:
TITLE SHEET

DRAWN BY:	DATE:	DP0.0
JLC	13 FEB 26	
SCALE:	CHECKED BY:	
As indicated	LGM	



SITE INFORMATION	
LOT AREA:	
TOTAL LOT AREA: 1.3311 acres (0.5598 ha) 5,598 m²	
ZONING:	
LAND USE BYLAW - IP2007	
DIRECT CONTROL - 5002022	
USE:	
OFFICE	
RETAIL CONSUMER SERVICE (MAX. AREA 930m²)	
RESTAURANT	
BUILDING AREA:	
BUILDING 1 - RETAIL (MAIN FLOOR):	836.13 m² (9,000.00 ft²)
BUILDING 1 - OFFICE (2ND FLOOR):	821.13 m² (8,838.60 ft²)
BUILDING 2 - RESTAURANT:	222.97 m² (2,400.00 ft²)
BUILDING 3 - RETAIL (MAIN FLOOR):	571.35 m² (6,150.00 ft²)
BUILDING 3 - OFFICE (2ND FLOOR):	560.28 m² (6,030.78 ft²)
TOTAL AREA:	3,011.86 m² (32,419.38 ft²)
FOOTPRINT:	1,630.45 m² (17,550.00 ft²)
PARCEL COVERAGE:	
BUILDING FOOTPRINT = 1,630.45 m² (17,550.00 ft²)	
LOT AREA = 5,598 m²	
1,630.45 m² / 5,598 m² = 29.1% PARCEL COVERAGE	
FAR: 3,011.86 m² (G.F.A.) / 5,598 m² (LOT AREA) = 0.538	
PARKING:	
SEE PARKING STUDY BY BUNT & ASSOCIATES	
TOTAL PARKING: 89 STALLS	
BICYCLE PARKING:	
TOTAL CLASS 1 BIKE PARKING REQUIRED:	2 STALLS
TOTAL CLASS 2 BIKE PARKING REQUIRED:	8 STALLS
TOTAL CLASS 1 BIKE PARKING PROVIDED:	0 STALLS
TOTAL CLASS 2 BIKE PARKING PROVIDED:	10 STALLS

GENERAL NOTES

METRIC :
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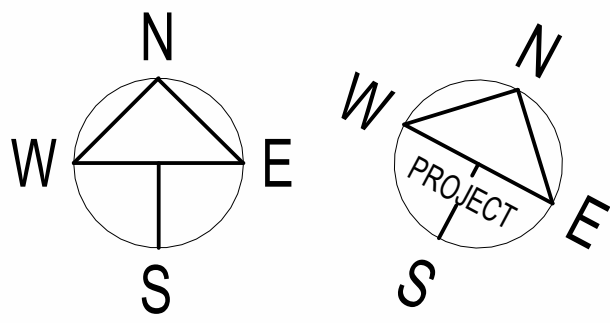
REV	DATE	DESCRIPTION
REVISIONS		
1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUANCES		
BP#:		
DP#:		

COM-TECH
www.comtechdesign.com

Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3040

CLIENT:	
CONTACT PERSON:	
Layne Martin: layne@comtechdesign.com	
PROJECT:	
ROYAL VISTA COMMERCIAL	
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
14 ROYAL VISTA DR NW	LOT: 8
CALGARY, AB.	BLOCK: 6
	PLAN: 241 0156
DRAWING:	
SITE PLAN & SITE INFORMATION	
DRAWN BY:	DATE:
JULC	13 FEB 26
SCALE:	CHECKED BY:
As indicated	LGM

DP1.0



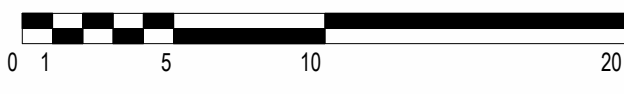
SUPPLIER LANDSCAPE FORMS
MODEL: FGP LITTER, 17 GALLON



SUPPLIER LANDSCAPE FORMS
MODEL: HARPO BENCH, BACKLESS, WIDE WOOD, 1750 LENGTH

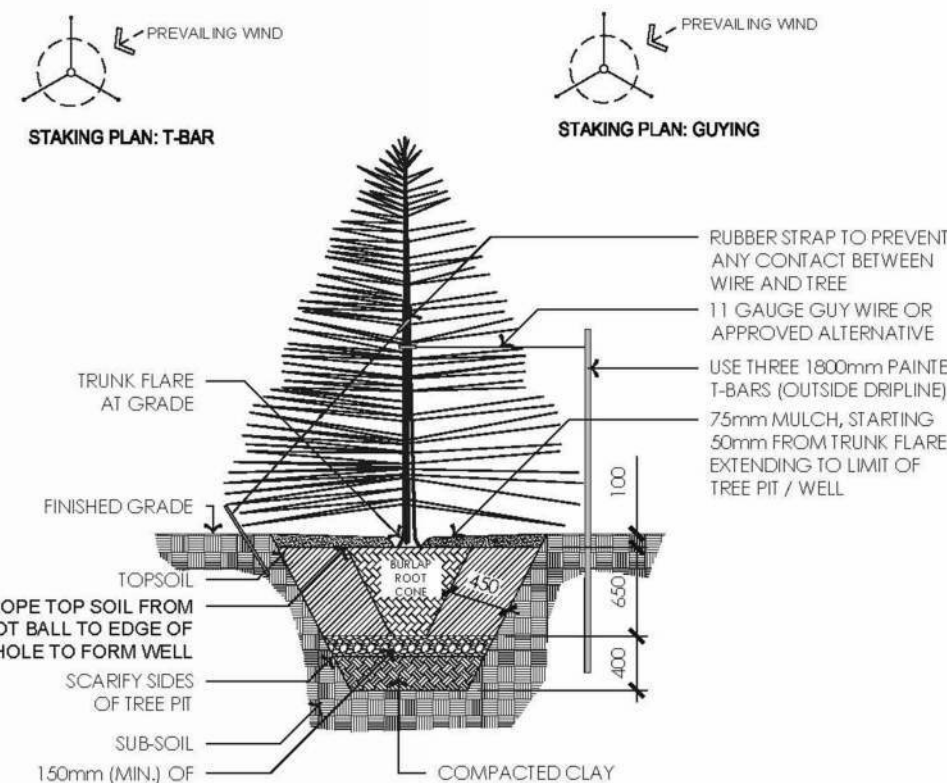
5 SITE FURNITURE
DP1.2 N.T.S.

1 SITE PLAN
DP1.2 1 : 250



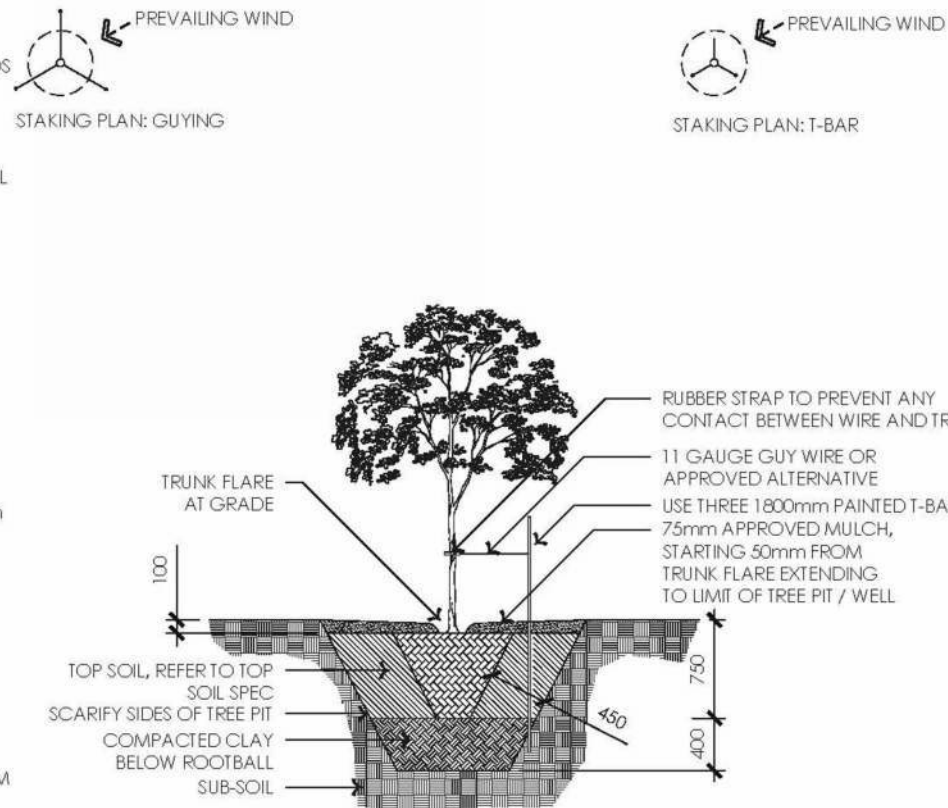
INDICATES EXISTING GRADE
INDICATES PROPOSED GRADE
INDICATES EXISTING CONTOUR

- NOTES:
- PRUNE AWAY ANY GIRDLING ROOTS.
 - PRUNE BROKEN AND FRAYED ROOF ENDS WITH SECATEURS.
 - HOLD TRUNK VERTICAL BACKFILL AROUND ROOTS WITH TOPSOIL, CONTINUOUSLY PACKING THE SOIL UNTIL FIRM.
 - TREE SHOULD BE PLANTED THE SAME ORIGINAL GROWING DEPTH AS IN NURSERY. TRUNK FLARE SHOULD BE VISIBLE AT GRADE.
 - IF TREE IS IN A WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE UPPER 3 AS A MINIMUM. PULL BACK BURLAP TO THE SAME MINIMUM.
 - T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (MINIMUM 400mm INTO SUBSOIL).
 - STAKING TO BE IN PLACE FOR A MAXIMUM OF ONE YEAR, WHEN REQUIRED.
 - USE RUBBER STRAPS (TO PROTECT THE TREE) AT POINT OF CONTACT WITH TRUNK.
 - PRUNE DEAD / DYING / DISEASED BRANCHES TO MAINTAIN NATURAL FORM OF TREE
 - ALL DIMENSIONS IN mm.



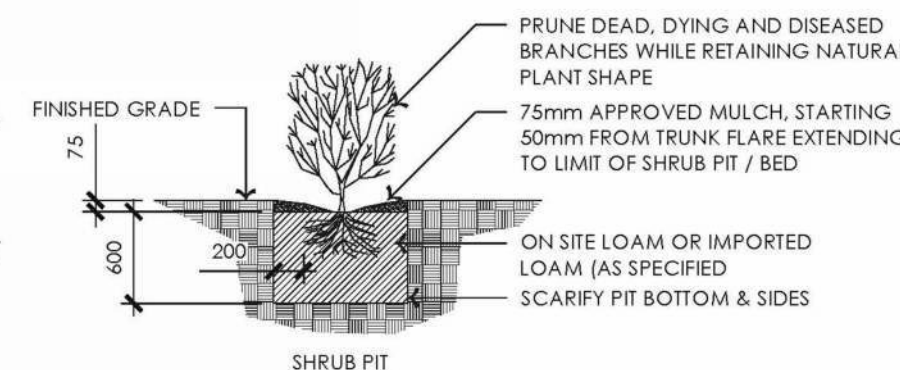
2 TYPICAL CONIFEROUS TREE PLANTING
DP1.2 1/4" = 1'-0"

- NOTES:
- PRUNE AWAY ANY GIRDLING ROOTS.
 - PRUNE BROKEN AND FRAYED ROOF ENDS WITH SECATEURS.
 - HOLD TRUNK VERTICAL BACKFILL AROUND ROOTS WITH TOPSOIL, CONTINUOUSLY PACKING THE SOIL UNTIL FIRM.
 - TREE SHOULD BE PLANTED THE SAME ORIGINAL GROWING DEPTH AS IN NURSERY. TRUNK FLARE SHOULD BE VISIBLE AT GRADE.
 - IF TREE IS IN A WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE UPPER 3 AS A MINIMUM. PULL BACK BURLAP TO THE SAME MINIMUM.
 - T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (MINIMUM 400mm INTO SUBSOIL).
 - STAKING TO BE IN PLACE FOR A MAXIMUM OF ONE YEAR, WHEN REQUIRED.
 - USE RUBBER STRAPS (TO PROTECT THE TREE) AT POINT OF CONTACT WITH TRUNK.
 - PRUNE DEAD / DYING / DISEASED BRANCHES TO MAINTAIN NATURAL FORM OF TREE
 - ALL DIMENSIONS IN mm.



3 TYPICAL DECIDUOUS TREE PLANTING
DP1.2 1/4" = 1'-0"

- NOTES:
- LOOSEN ROOTBALL FROM POT/CONTAINER
 - CHECK FOR GIRDLING ROOTS. ANY GIRDLING ROOTS SHOULD BE PRUNED TO PREVENT FUTURE GIRDLING
 - THIS DETAIL WILL BE USED FOR ALL CONTAINERIZED DECIDUOUS OR CONIFEROUS SHRUBS PLANT SHRUB AT ORIGINAL DEPTH AS GROWN IN NURSERY. ROOT FLARE SHOULD BE VISIBLE AT GRADE
 - ALL DIMENSIONS IN mm.



4 TYPICAL SHRUB PLANTING
DP1.2 1/4" = 1'-0"

REQD		QTY.	LANDSCAPE LEGEND		SPECIES	
			TYPE	SIZE/HGT.		
17	55		CONIFEROUS SHRUB	600 mm HEIGHT OR SPREAD	DWARF MUGO PINE (Pinus Mugo Pumilio)	
2	3		CONIFEROUS TREE LARGE	MIN. HGT. 3 m	COLORADO BLUE SPRUCE (Picea Pungens)	
2	2		CONIFEROUS TREE SMALL	MIN. HGT. 2 m	COLUMNAR SPRUCE (Picea Pungens 'Fastigata')	
15	71		DECIDUOUS SHRUB	600 mm HEIGHT OR SPREAD	POTENTILLA (Potentilla Reptans)	
6	6		DECIDUOUS TREE LARGE MIN. SIZE 80 mm CALIPER		BLACK ASH (Fraxinus Nigra)	
6	7		DECIDUOUS TREE SMALL MIN. SIZE 50 mm CALIPER		TOWER POPLAR (Populus x canadensis)	

LANDSCAPING REQUIREMENTS

AREA REQUIRED (SETBACK AREA) : 781 m² (8,411 ft²)

LANDSCAPING PROVIDED		993 m ²	993 m ²
HARD LANDSCAPING		465 m ²	465 m ²
LANDSCAPING PROVIDED		1,458 m ²	1,458 m ²

1,994 m² / 5,598 m² (SITE AREA) = 35.6%

TREES & SHRUBS REQUIRED

= 1 TREE / 50 m² OF PROVIDED LANDSCAPING

= 781 m² / 50 m² = 15.6 = 16 TREES

= 2 SHRUBS / 1 OF PROVIDED TREES

= 781 m² / 50 m² X 2 = 31.2 = 32 SHRUBS

(16 TREES REQUIRED - 12 DECIDUOUS, 4 CONIFEROUS)

- REQUIRED DECIDUOUS:CONIFEROUS RATIO = 3:1

- MIN. 50% TREES TO BE LARGE TREES

NOTE:
- ALL LANDSCAPING SHOWN IS PROPOSED UNLESS OTHERWISE NOTED.
- TREE AND SHRUBS TO BE WATERED BY LOW WATER IRRIGATION SYSTEM.
- ALL TREES/SHRUBS ARE LOW WATER REQUIRED.

SURFACE TREATMENT

ASPHALT	3,909 m ²	42,074 ft ²
CONCRETE CURB	77 m ²	834 ft ²
CONCRETE SIDEWALK	967 m ²	10,410 ft ²
GRASS	234 m ²	2,521 ft ²
MULCH	231 m ²	2,487 ft ²

RWA
ARCHITECTURE
Roger White Architecture Inc.

GENERAL NOTES

METRIC :

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REV	DATE	DESCRIPTION
REVISIONS		

1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUANCES		

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CLIENT:

CONTACT PERSON: Layne Martin: layne@comtechdesign.com

PROJECT: ROYAL VISTA COMMERCIAL

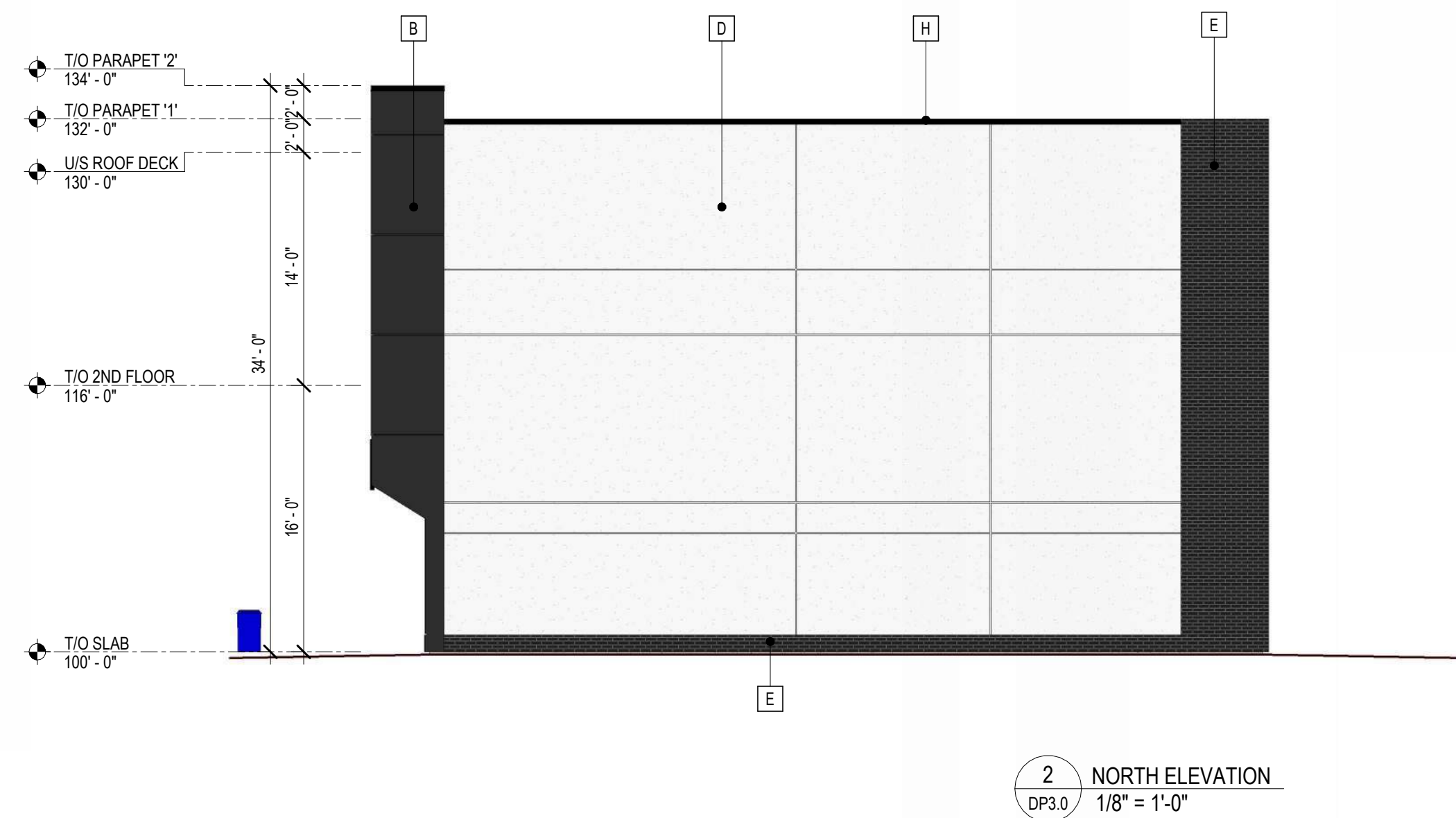
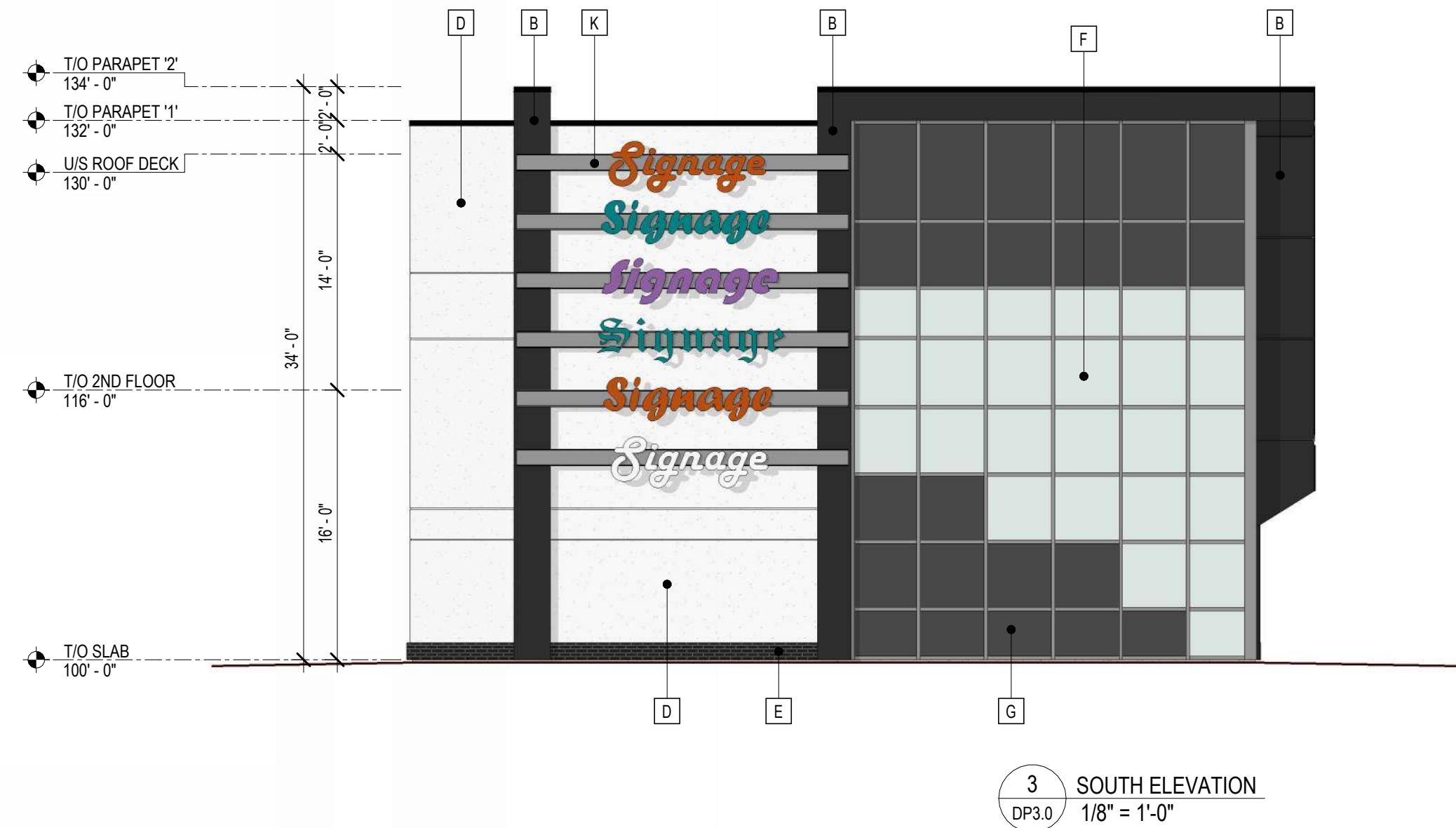
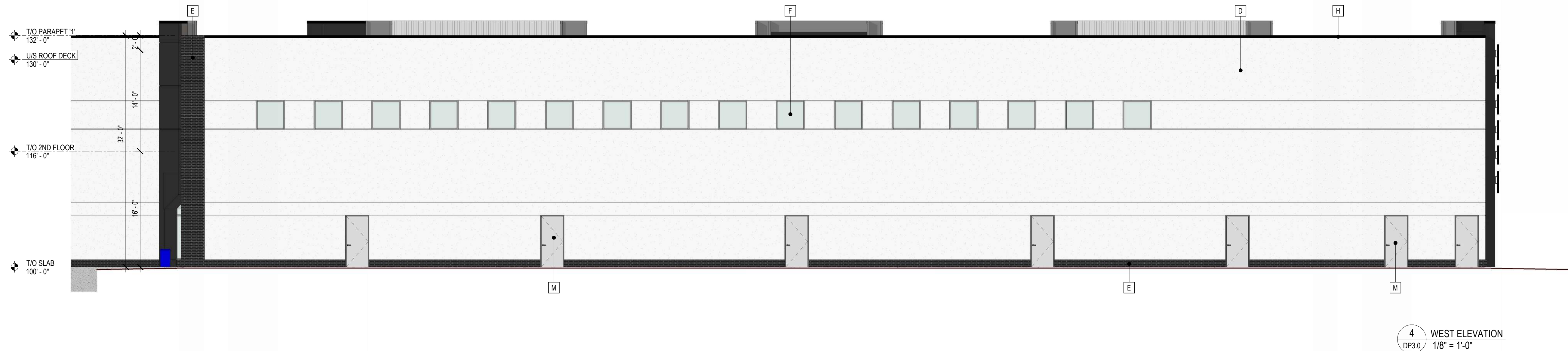
MUNICIPAL ADDRESS: 14 ROYAL VISTA DR NW CALGARY, AB. LEGAL ADDRESS: LOT: 8 BLOCK: 6 PLAN: 241 0156

DRAWING: LANDSCAPE PLAN

DRAWN BY: JLC. DATE: 13 FEB 26. SCALE: As indicated. CHECKED BY: LGM.

DP1.2

- A. VERTICAL CORRUGATED METAL SIDING
Colour = Galvalum
- B. A.C.M. PANEL
Colour = Charcoal
- C. A.C.M. PANEL
Colour = Wood Grain
- D. STUCCO (EIFS)
Colour = Light Grey
- E. BRICK VENEER
Colour = Charcoal
- F. CURTAIN WALL
Tint = Clear
Mullions = Anod. Alum.
- G. SPANDREL PANEL
Colour = Charcoal
- H. CAP FLASHING
Colour = Match Finish
- J. ALUM. SIGNAGE AREA
Colour = Anod. Alum.
- K. C-CHANNEL SIGNAGE BAND
Colour = Match Anod. Alum.
- L. ALUM. MAN DOOR
Colour = Match Charcoal
- M. INSUL. MTL. MAN DOOR
Colour = Match Stucco Siding
- N. MTL. WOOD GRAIN V-GROOVE SIDING
Colour = Wood Grain
- O. A.C.M. PANEL
Colour = Light Grey



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REV	DATE	DESCRIPTION
REVISIONS		

1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUANCES		

BP#:

DP#:

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ROYAL VISTA COMMERCIAL

MUNICIPAL ADDRESS:	LEGAL ADDRESS:
14 ROYAL VISTA DR NW	LOT: 8
CALGARY, AB.	BLOCK: 6
	PLAN: 241 0156

DRAWING:

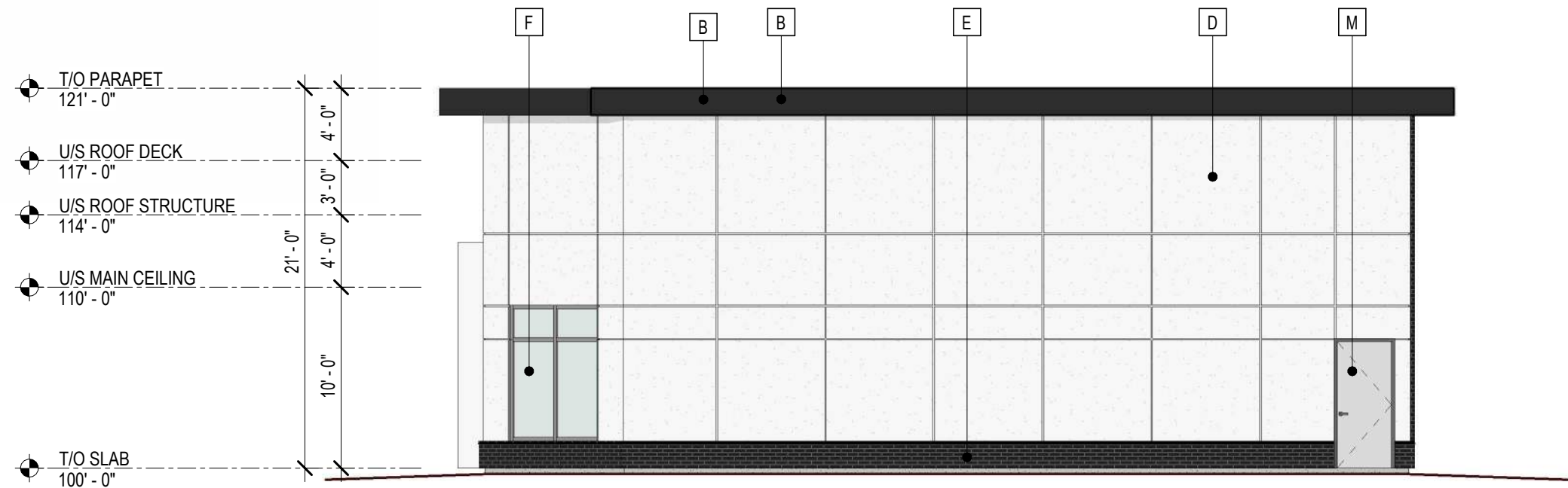
BUILDING 1 EXTERIOR ELEVATIONS

DRAWN BY: JLC	DATE: 13 FEB 26
SCALE: 1/8" = 1'-0"	CHECKED BY: LGM

DP3.0

EXTERIOR FINISHES LEGEND

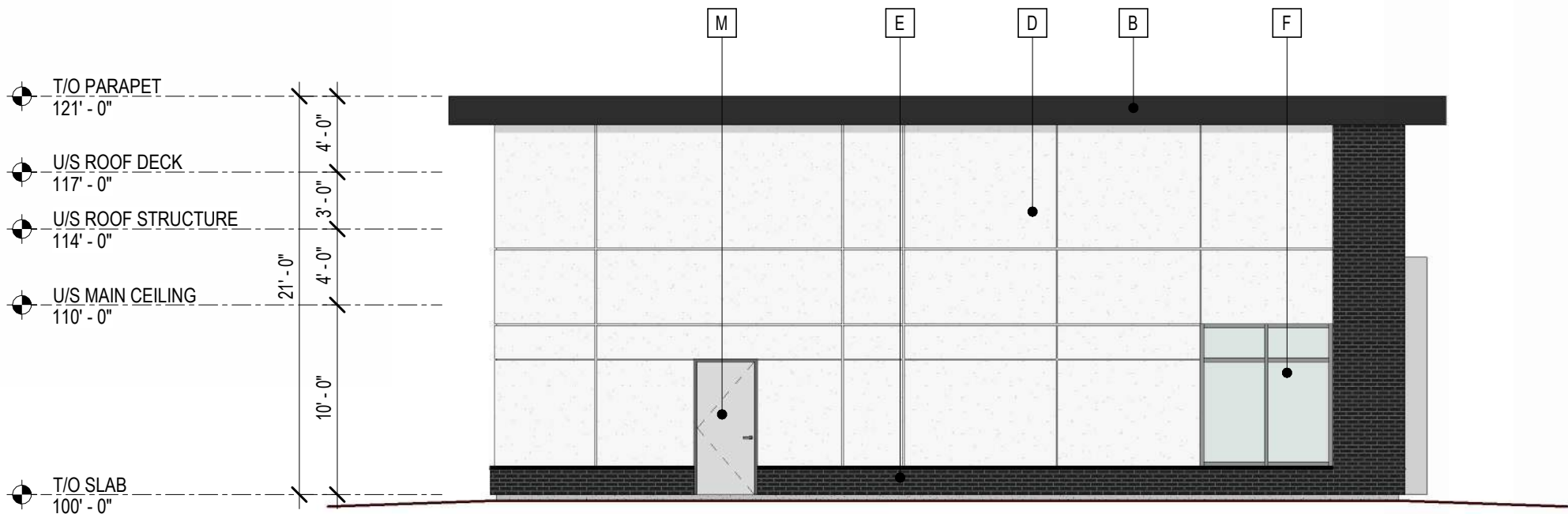
- A - VERTICAL CORRUGATED METAL SIDING
Colour = Galvanized
- B - A.C.M. PANEL
Colour = Charcoal
- C - A.C.M. PANEL
Colour = Wood Grain
- D - STUCCO (EIFS)
Colour = Light Grey
- E - BRICK VENEER
Colour = Charcoal
- F - CURTAIN WALL
Tint = Clear
Mullions = Anod. Alum.
- G - SPANDRAL PANEL
Colour = Charcoal
- H - CAP FLASHING
Colour = Match Finish
- J - ALUM. SIGNAGE AREA
Colour = Anod. Alum.
- K - C-CHANNEL SIGNAGE BAND
Colour = Match Anod. Alum.
- L - ALUM. MAN DOOR
Colour = Match Charcoal
- M - INSUL. MTL. MAN DOOR
Colour = Match Stucco Siding
- N - MTL. WOOD GRAIN V-GROOVE SIDING
Colour = Wood Grain
- O - A.C.M. PANEL
Colour = Light Grey



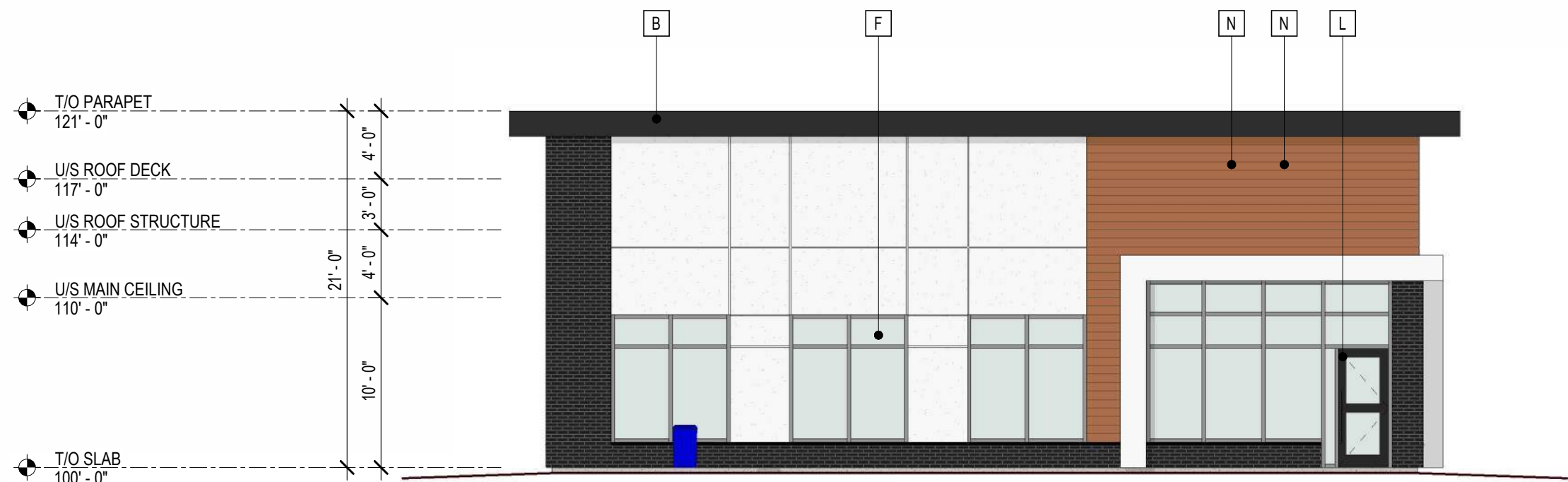
4 NORTH ELEVATION
DP3.1 1/8" = 1'-0"



3 EAST ELEVATION
DP3.1 1/8" = 1'-0"



2 WEST ELEVATION
DP3.1 1/8" = 1'-0"



1 SOUTH ELEVATION
DP3.1 1/8" = 1'-0"

GENERAL NOTES

METRIC :

ALL DIMENSIONS ARE IN METRES AND MILLIMETRES UNLESS OTHERWISE NOTED. IMPERIAL IN BRACKETS

VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING.

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THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENTIRE ARCHITECTURAL PACKAGE.

REV	DATE	DESCRIPTION
REVISIONS		

1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUANCES		

BP#:

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CLIENT:

CONTACT PERSON: Layne Martin: layne@comtechdesign.com

PROJECT:

ROYAL VISTA COMMERCIAL

MUNICIPAL ADDRESS: 14 ROYAL VISTA DR NW CALGARY, AB. LEGAL ADDRESS: LOT: 8 BLOCK: 6 PLAN: 241 0156

DRAWING:

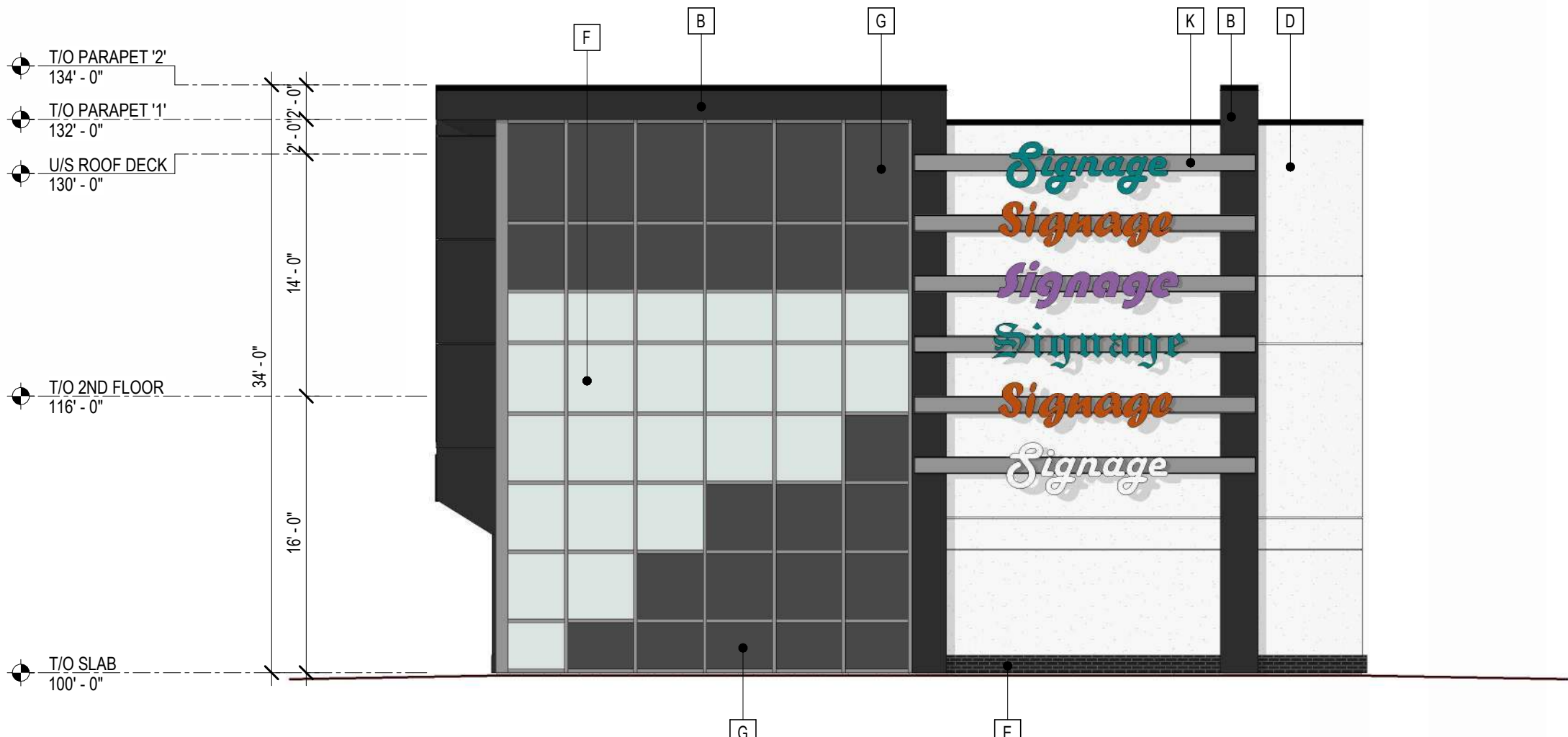
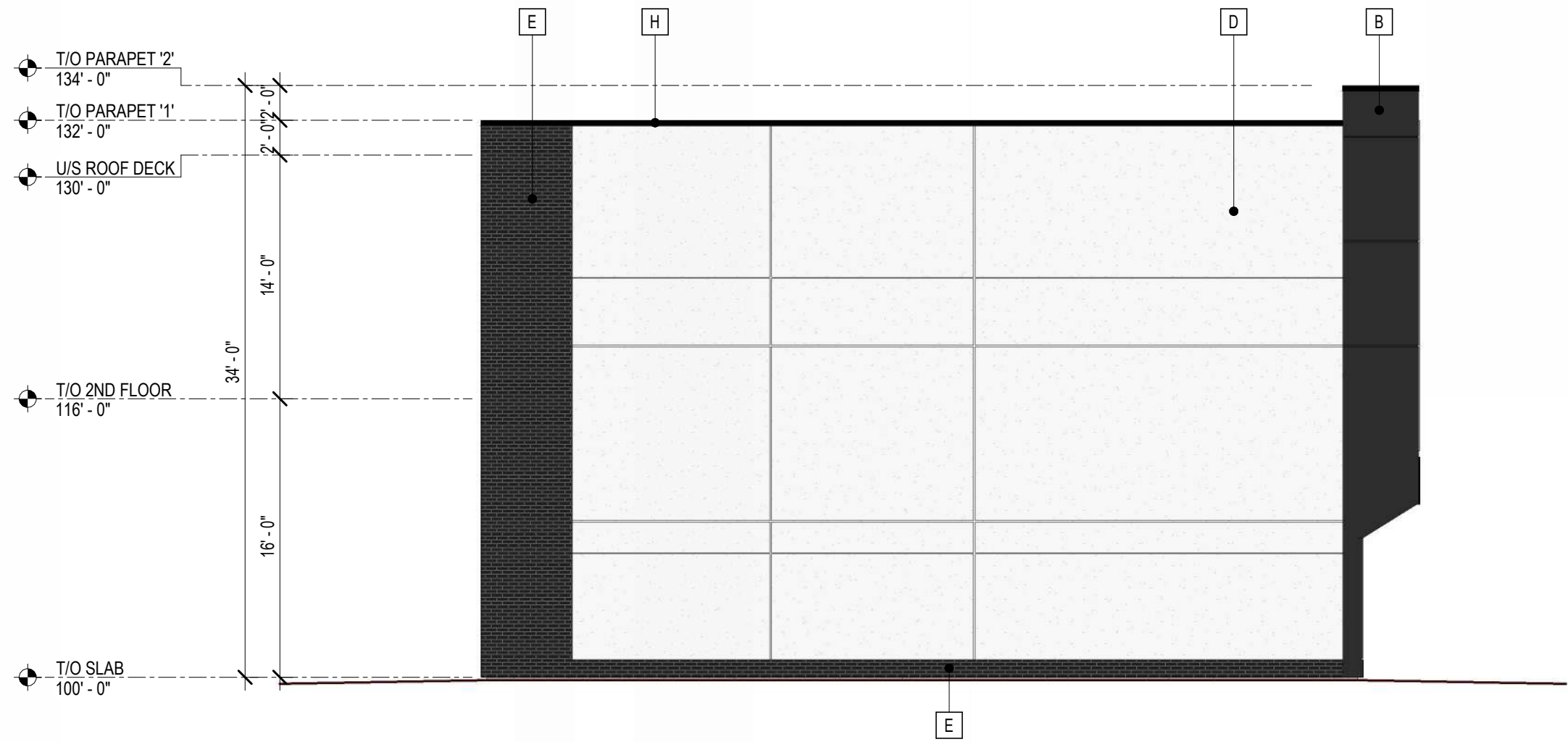
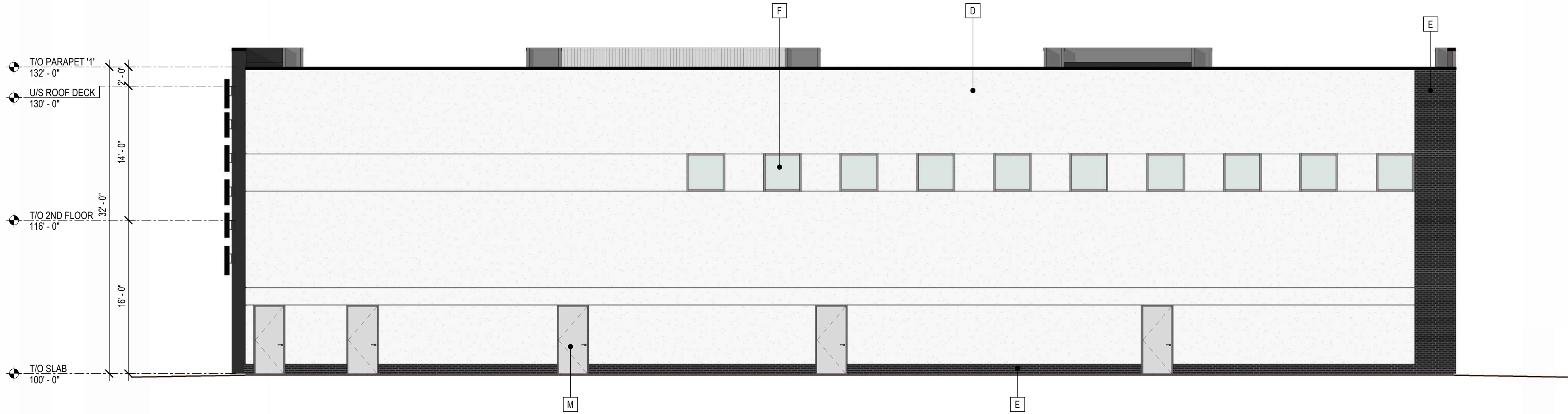
BUILDING 2 EXTERIOR ELEVATIONS

DRAWN BY: JILC DATE: 13 FEB 26 SCALE: 1/8" = 1'-0" CHECKED BY: LGM

DP3.1

EXTERIOR FINISHES LEGEND

- A - VERTICAL CORRUGATED METAL SIDING
Colour = Galvanized
- B - A.C.M. PANEL
Colour = Charcoal
- C - A.C.M. PANEL
Colour = Wood Grain
- D - STUCCO (EIFS)
Colour = Light Grey
- E - BRICK VENEER
Colour = Charcoal
- F - CURTAIN WALL
Tint = Clear
Mullions = Anod. Alum.
- G - SPANDRAL PANEL
Colour = Charcoal
- H - CAP FLASHING
Colour = Match Finish
- J - ALUM. SIGNAGE AREA
Colour = Anod. Alum.
- K - C-CHANNEL SIGNAGE BAND
Colour = Match Anod. Alum.
- L - ALUM. MAN DOOR
Colour = Match Charcoal
- M - INSUL. MTL. MAN DOOR
Colour = Match Stucco Siding
- N - MTL. WOOD GRAIN V-GROOVE SIDING
Colour = Wood Grain
- O - A.C.M. PANEL
Colour = Light Grey



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1	18 MAR 26	ISSUED FOR DEVELOPMENT PERMIT
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DP#:

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CLIENT:		
CONTACT PERSON:		
Layne Martin: layne@comtechdesign.com		
PROJECT:		
ROYAL VISTA COMMERCIAL		
MUNICIPAL ADDRESS:		LEGAL ADDRESS:
14 ROYAL VISTA DR NW CALGARY, AB.		LOT: 8 BLOCK: 6 PLAN: 241 0156
DRAWING:		
BUILDING 3 EXTERIOR ELEVATIONS		
DRAWN BY:	DATE:	DP3.2
JILC	13 FEB 26	
SCALE:	CHECKED BY:	
1/8" = 1'-0"	LGM	