

GENERAL NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
- CONTRACTOR TO COMPLY TO ALL CURRENT ALBERTA BUILDING CODE RULES PLUS ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
- IT IS THE CONTRACTORS RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
- ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION & REPAINTING WORK REQUIRED AS A RESULT OF PERFORMANCE OF WORK OF THIS CONTRACT SHALL INCORPORATE AND BE PERFORMED WITH MATERIALS TO MATCH SAME AND SHALL REQUIRE FIRE RATINGS.
- WHERE "TYPE X" GYPSUM WALL BOARD IS NOTED ON DRAWINGS, PROVIDE FIRE-RATED GYPSUM WALL BOARD WITH U.L.C. LABEL.
- PRE-DRILLED INSERTS ARE TO BE USED WHEN ATTACHING OR FASTENING MATERIALS OR FITMENTS TO MASONRY OR CONCRETE WALLS, FLOORS, SLABS OR CEILING ASSEMBLIES.
- REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR REINFORCING AND CORE FILLING OF MASONRY WALLS AT WALL OPENINGS, CORNERS & TERMINATIONS UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BLOCKING (2"x6") IN STUD PARTITIONS BEHIND ALL RECESSED OR FLUSH MOUNTED EQUIPMENT & ACCESSORIES AT ALL ANCHOR POINTS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS OWN FORCES & HIS SUB TRADES TO ENSURE THAT HOLES CUT FOR PENETRATIONS THROUGH THE EXTERIOR WALL SYSTEMS ARE NOT OVERSIZED. AFTER INSTALLATION OF ANY PENETRATIONS, THE VOIDS BETWEEN THE PENETRATION OPENING AND THE PENETRATION MATERIALS SHALL BE COMPLETELY SEALED TO ENSURE THE INTEGRITY OF THE AIR/VAPOUR BARRIER.
- WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL INSTALLATIONS PENETRATE WALL AND/OR FLOOR ASSEMBLIES SEAL ANY SUCH PENETRATIONS WITH FIRE RATED ACOUSTIC SEALANT & MAINTAIN REQUIRED FIRE RATING & ACOUSTIC MINIMUMS.
- THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S LETTER, NOTES AND SHOP DRAWINGS AS WELL AS MECHANICAL & ELECTRICAL DRAWINGS & ROOF TRUSS/ JOIST SUPPLIER/ MANUFACTURER'S DRAWINGS.
- ENSURE THAT ALL PRE-FINISHED METAL CAPPING TO THE WOOD FASCIAS, DECK TRIMS AND BAND BOARDS ARE COMPLETE WITH POSITIVE DRAINAGE.
- ANY LARGE MECHANICAL GRILLE OPENINGS ON THE ELEVATIONS SHALL BE PREPARED & FINISHED IN THE SAME MANNER AS THE WINDOW ASSEMBLIES.
- ALL GEODETIC ELEVATIONS PROVIDED TO AMAYA DESIGN INC. ARE ASSUMED TO BE ACCURATE AND REFLECT ACTUAL SITE CONDITIONS. AMAYA DESIGN INC IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE PROVIDED TOPOGRAPHIC SURVEY.

DISCLAIMER:

ALL IDEAS AND DESIGNS REPRESENTED ON THESE DRAWINGS ARE OWNED BY AMAYA DESIGN INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED, DUPLICATED OR DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION BY AMAYA DESIGN INC.

ARCHITECTURAL SYMBOLS

UW	UPPER WINDOW
MW	MAIN WINDOW
BW	BASEMENT WINDOW
	EXISTING GRADE
	PROPOSED GRADE
BOW	BOTTOM OF RETAINING WALL
TOW	TOP OF RETAINING WALL
	DENOTES MAIN CANTILEVER
	DENOTES UPPER CANTILEVER
	DENOTES WINDOW WELL
	SECTION PAGE SECTION NUMBER
	DRAWING OR DETAIL REFERENCE SCALE
	PROPERTY LINE
	OUT LINE OF FOUNDATION WALL BELOW GRADE
	BUILDING FOOTPRINT ABOVE GRADE
	LANDSCAPE RETAINING WALL
	OVERHEAD LINES
	UNDERGROUND GAS LINE
	SEWER LINE
	WATER LINE
	STORM LINE
	FENCE
	POWER POLE
	EXISTING TREES TO BE REMOVED

*****ISSUED FOR DEVELOPMENT PERMIT*****

March 20, 2026

3608 58 AVE SW
CALGARY, ALBERTA
LOT 86 | BLOCK 1 | PLAN 3048 JK
ZONING: R-CG

PLEASE NOTE THAT THIS IS AN ARTISTIC RENDERING FOR ILLUSTRATIVE PURPOSES ONLY.
ACTUAL COLORS MAY VARY UPON COMPLETION OF CONSTRUCTION.

LIST OF DRAWINGS

PAGE	DRAWING NAME
S.0	COVER PAGE
S.1	SITE PLAN
S.2	EXISTING & NEW LANDSCAPE PLAN
S.3	STREETSCAPE

LOT COVERAGE (SQ.M.) WEST		PAGE
LOT	279.000	S.0
HOUSE	88.350	
COVERED PORCH	0.000	
DETACHED GARAGE	37.162	
TOTAL	125.512	
COVERAGE (45% MAX.)		44.99%

PAGE
S.0
PROJECT NO. S573

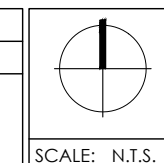


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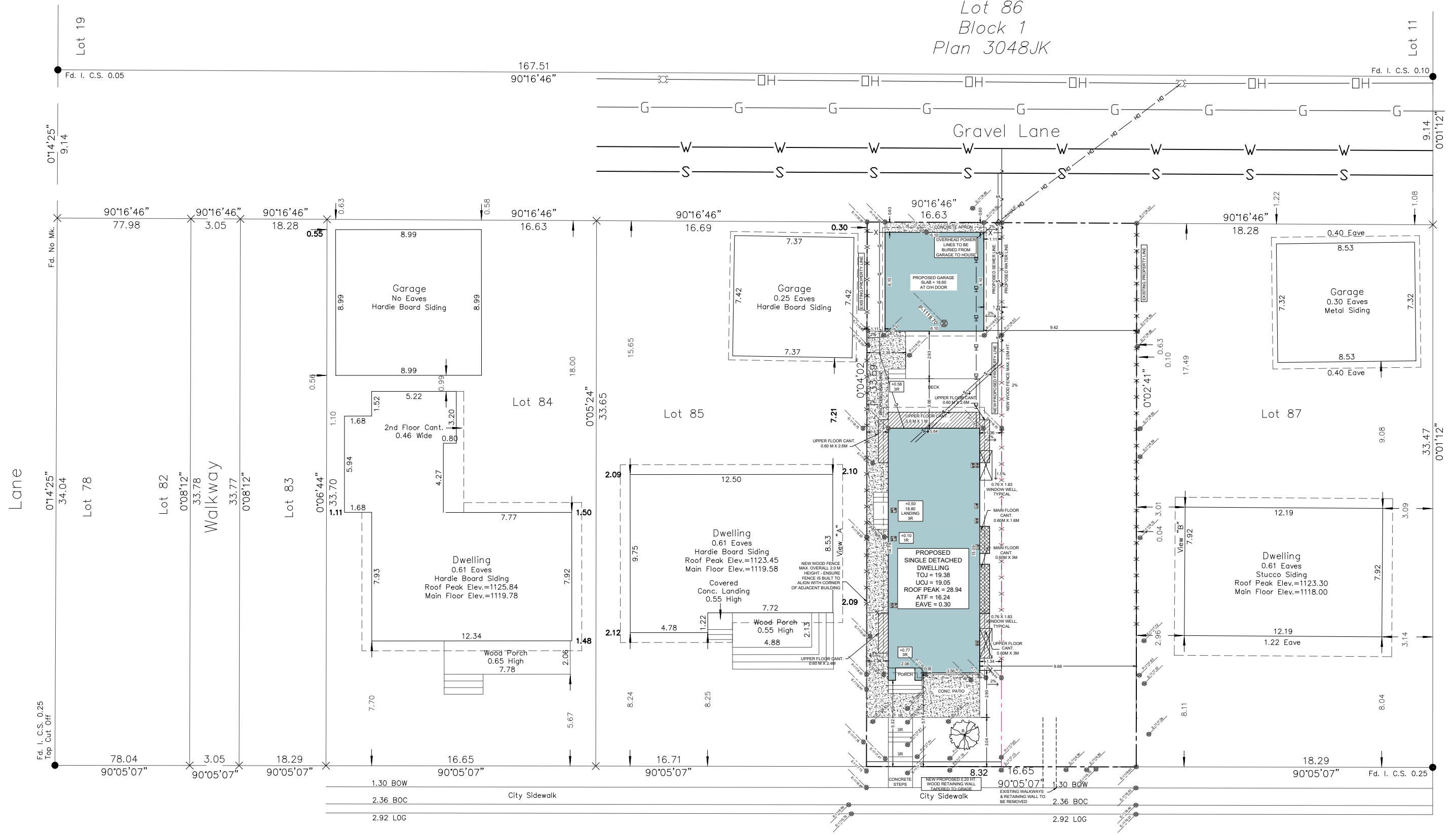
REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

ISSUE DATE:
March 20, 2026
ADDRESS: 3608 58TH AVE SW CALGARY, AB

DESIGN BY:	CA	DRAWN BY:	BW
LOT:	86	BLOCK:	01
PLAN:	3048 JK		
COVER PAGE			



Lot 86
Block 1
Plan 3048JK



3616

3612

3608

3604

58 Avenue S.W.

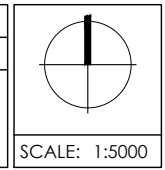


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REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

ISSUE DATE:
March 20, 2026
ADDRESS: 3608 58TH AVE SW
CALGARY, AB

DESIGN BY: CA DRAWN BY: BW
LOT: 86 BLOCK: 01 PLAN: 3048 JK
SITE PLAN

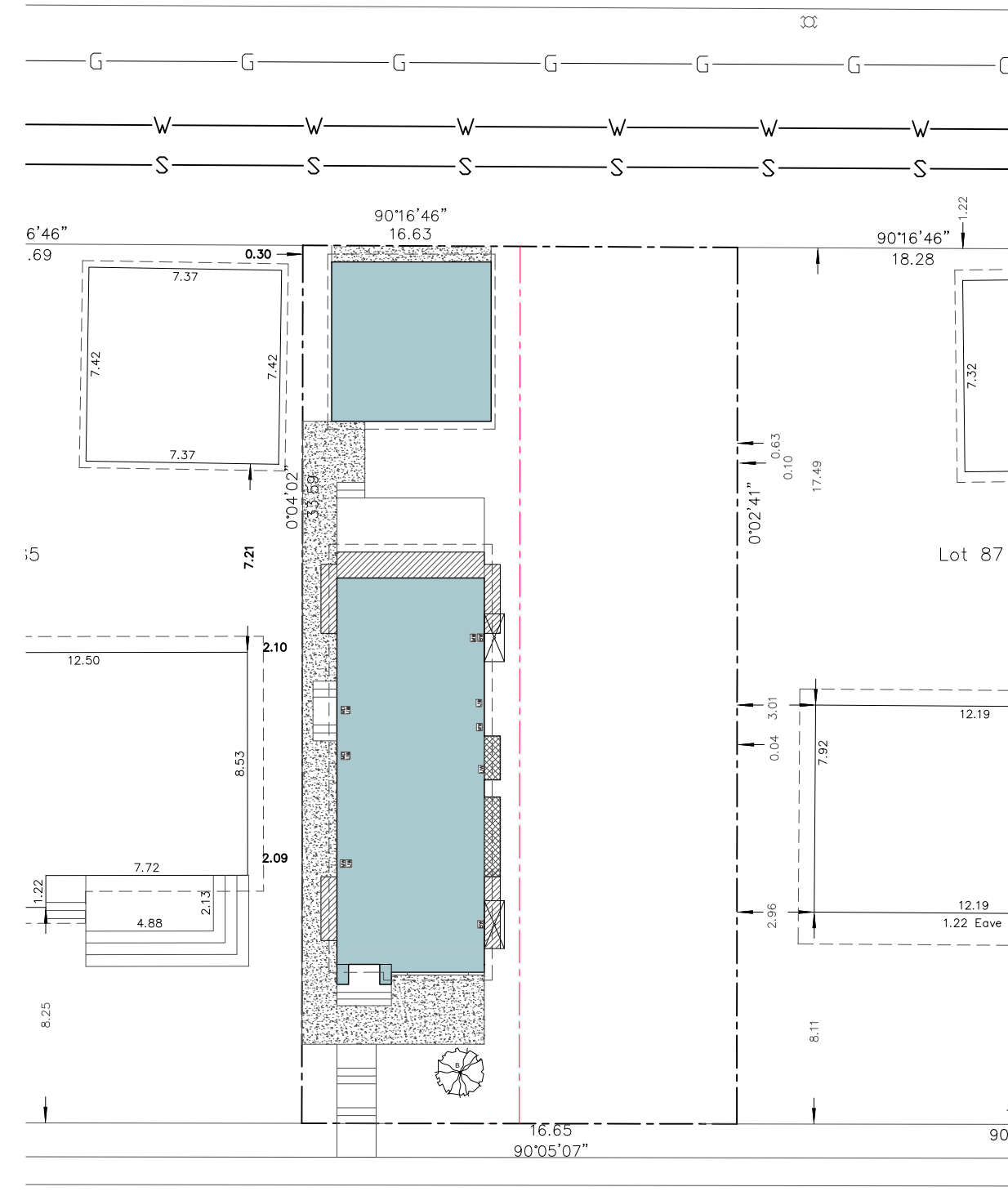
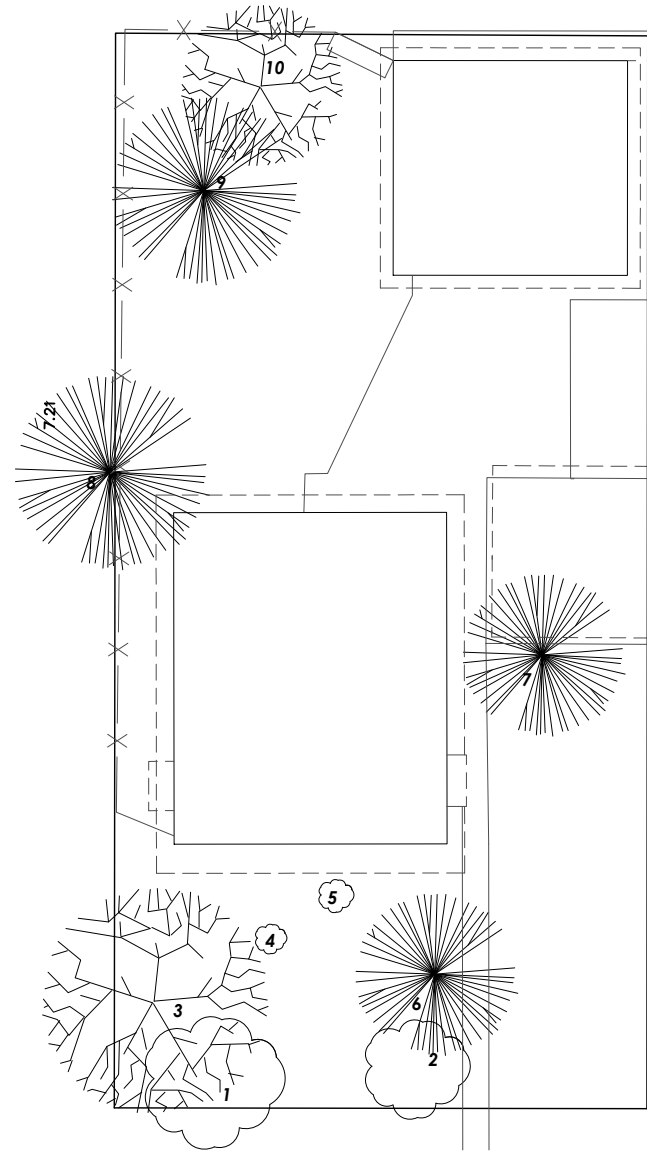


LOT COVERAGE (SQ.M.) WEST	
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TOTAL	125.512
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PAGE
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PROJECT NO.
S573

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height	Status
1	Bush	---	4.00	0.50	To be removed
2	Bush	---	3.00	0.40	To be removed
3	Deciduous	0.35	7.00	10.00	To be removed
4	Bush	---	0.90	2.00	To be removed
5	Bush	---	1.00	1.00	To be removed
6	Coniferous	0.40	5.00	10.00	To be removed
7	Coniferous	0.50	5.00	13.00	To be removed
8	Coniferous	0.40	6.00	13.00	To be removed
9	Coniferous	0.50	5.80	12.00	To be removed
10	Deciduous	0.20	5.00	7.50	To be removed



1 EXISTING LANDSCAPE PLAN
Scale: 1:5000

2 NEW LANDSCAPE PLAN
Scale: 1:5000

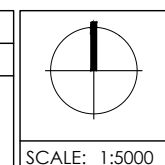


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March 20, 2026
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CALGARY, AB

DESIGN BY: CA DRAWN BY: BW
LOT: 86 BLOCK: 01 PLAN: 3048 JK
LANDSCAPE PLAN

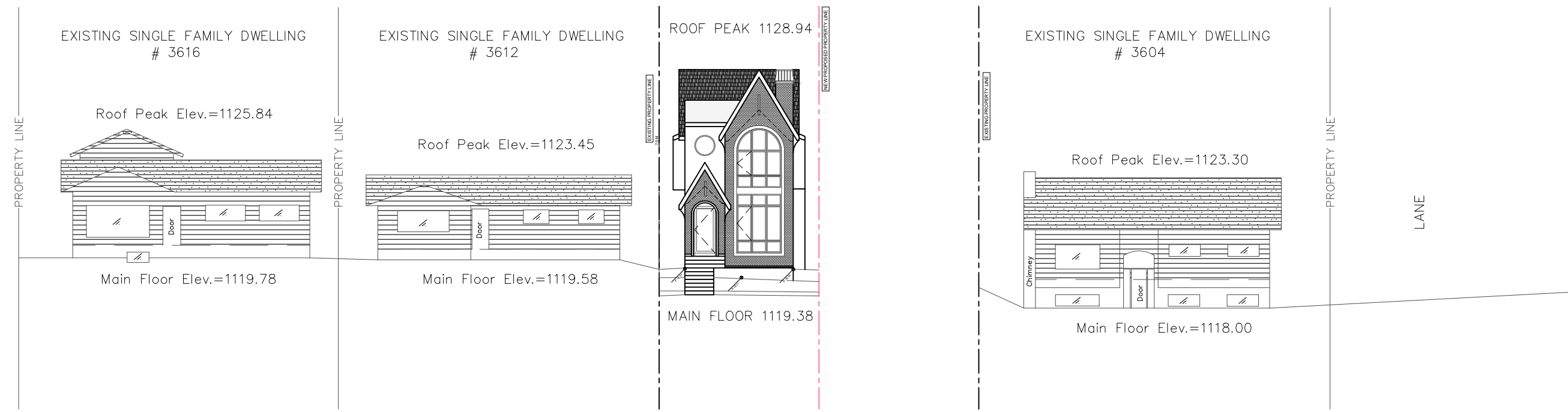


LOT COVERAGE (SQ.M.) WEST	
LOT	279.000
HOUSE	88.350
COVERED PORCH	0.000
DETACHED GARAGE	37.162
TOTAL	125.512
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PROJECT NO.
S573

A.G.T. A.G.T. A.G.T. A.G.T. A.G.T. A.G.T.

EXISTING SINGLE FAMILY DWELLING
3608



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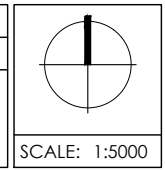
REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

ISSUE DATE:
March 20, 2026

ADDRESS: 3608 58TH AVE SW
CALGARY, AB

DESIGN BY: CA DRAWN BY: BW
LOT: 86 BLOCK: 01 PLAN: 3048 JK

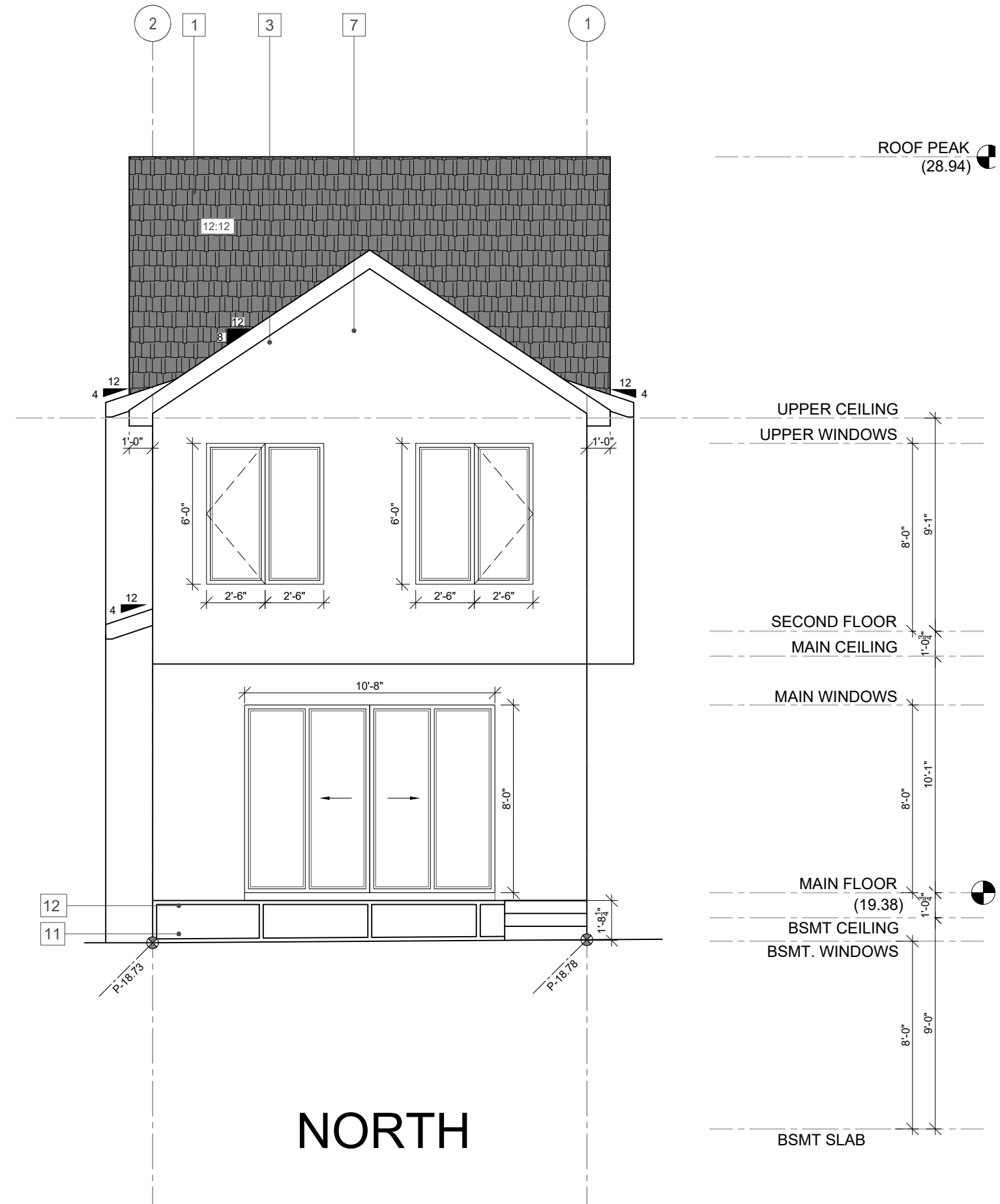
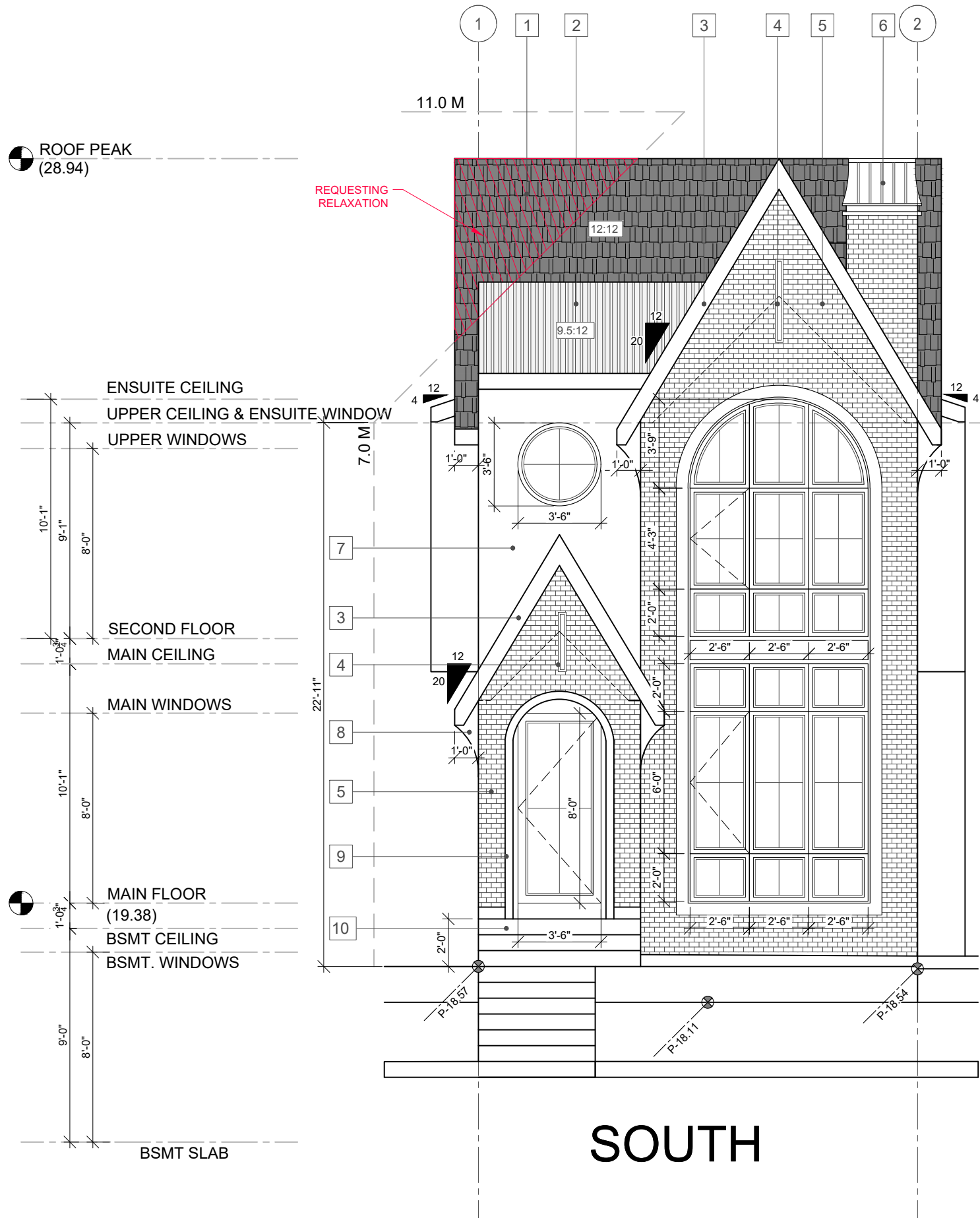
STREETSCAPE



LOT COVERAGE (SQ.M.) WEST	
LOT	279.000
HOUSE	88.350
COVERED PORCH	0.000
DETACHED GARAGE	37.162
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COVERAGE (45% MAX.)	44.99%

PAGE
S.3

PROJECT NO.
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REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DESIGN BY: CA DRAWN BY: BW
 LOT: 86
 BLOCK: 01
 PLAN: 3048 JK
 SCALE: 3/16"=1'-0"

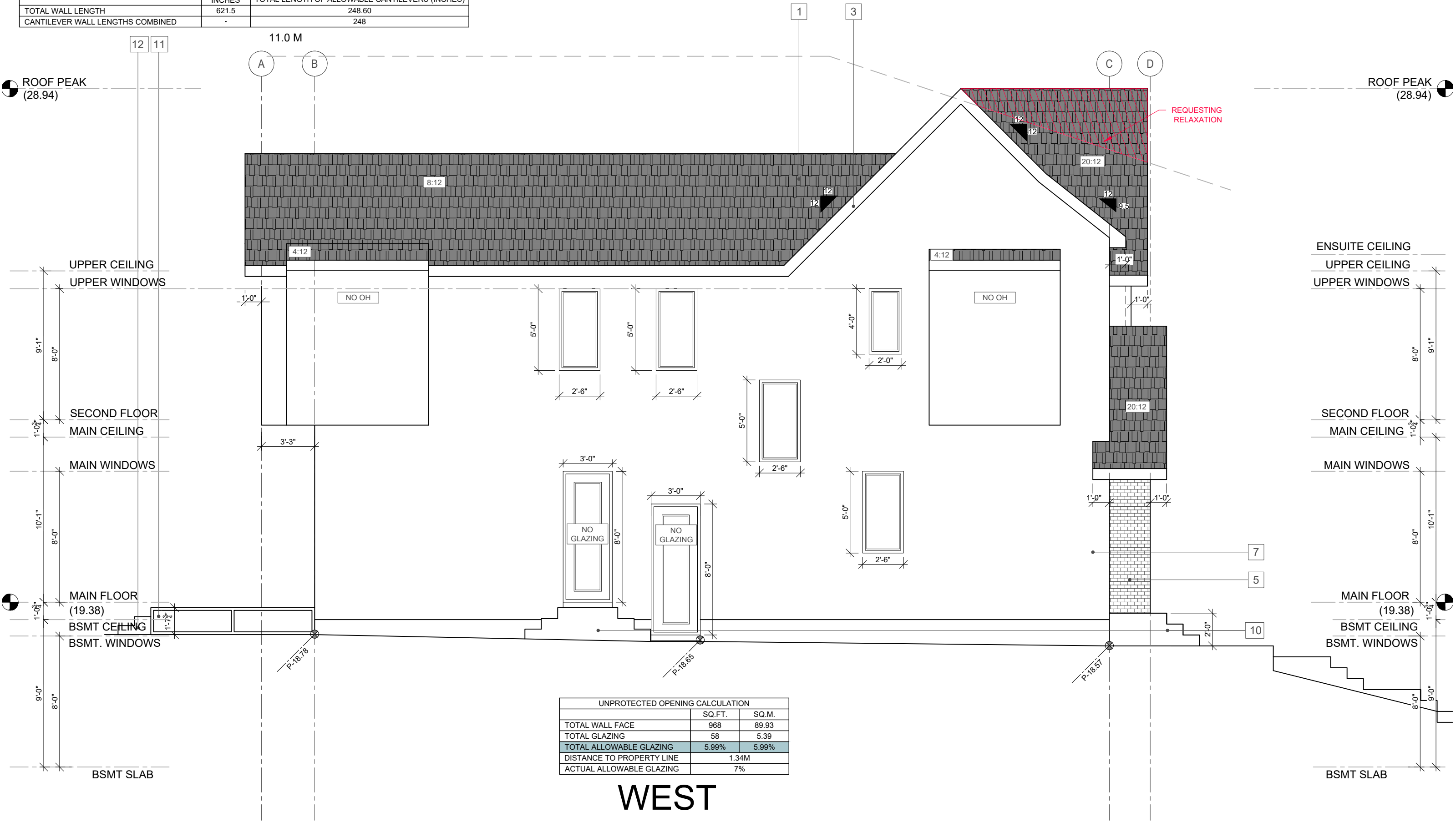
ISSUE DATE:
March 20, 2026
 ADDRESS: 3806 58 AVE SW
 CALGARY, ALBERTA
 LAKEVIEW

FLOOR AREAS (SQ.FT.)	
MAIN FLOOR	950
UPPER FLOOR	1044
TOTAL	1994
LOWER	730
DETACHED GARAGE	400

SOUTH ELEVATION

PAGE
A.1
 PROJECT NO.
S573

TOTAL ALLOWABLE CANTILEVER FOR LEFT WALL - MAX. 40%		
TOTAL WALL LENGTH	INCHES	TOTAL LENGTH OF ALLOWABLE CANTILEVERS (INCHES)
	621.5	248.60
CANTILEVER WALL LENGTHS COMBINED	.	248



UNPROTECTED OPENING CALCULATION		
	SQ.FT.	SQ.M.
TOTAL WALL FACE	968	89.93
TOTAL GLAZING	58	5.39
TOTAL ALLOWABLE GLAZING	5.99%	5.99%
DISTANCE TO PROPERTY LINE	1.34M	
ACTUAL ALLOWABLE GLAZING	7%	

WEST



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REV.	DESCRIPTION	REV.	DESCRIPTION

DESIGN BY: CA DRAWN BY: BW
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 PLAN: 3048 JK
 SCALE: 3/16"=1'-0"

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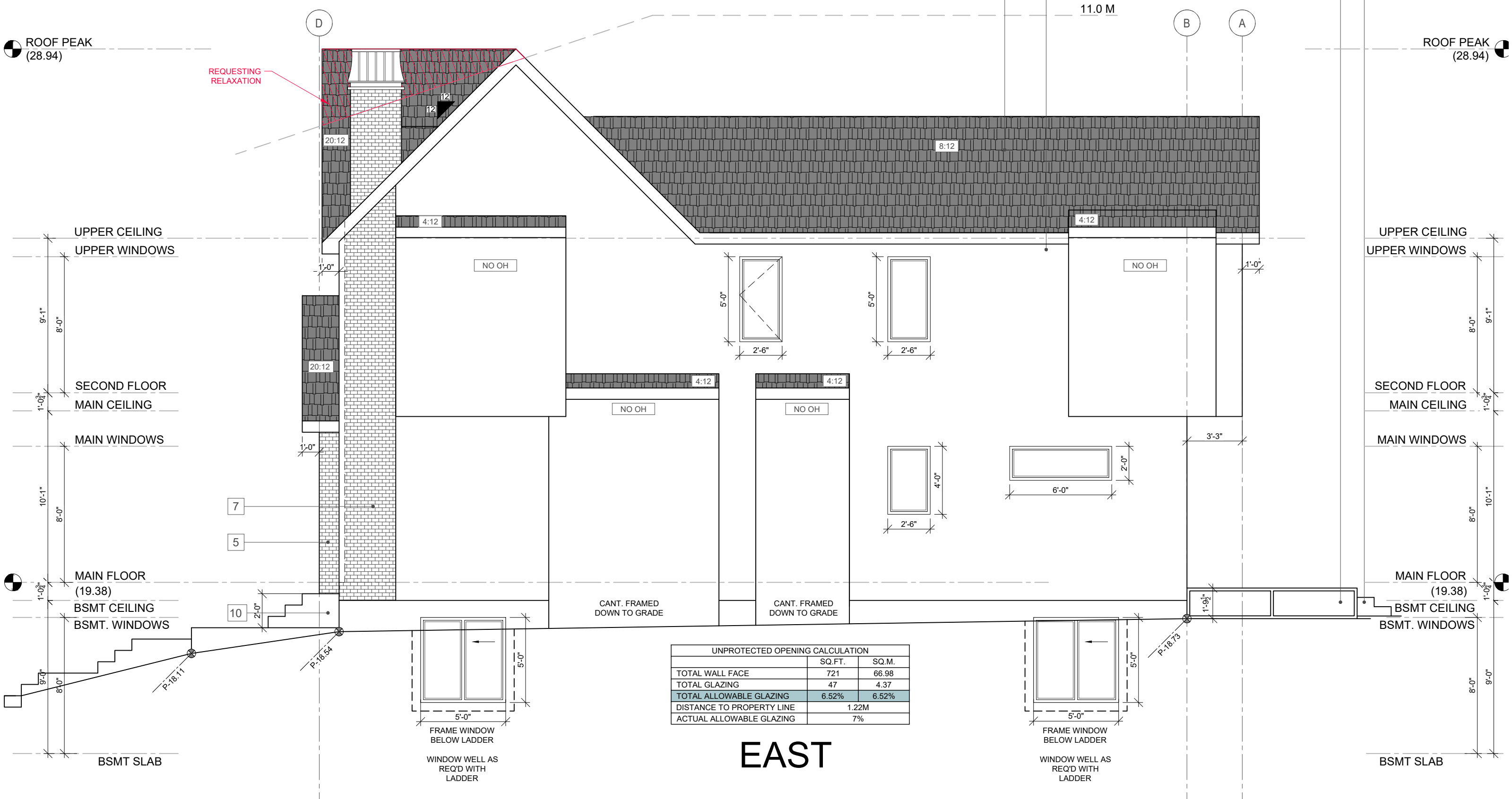
FLOOR AREAS (SQ.FT.)	
MAIN FLOOR	950
UPPER FLOOR	1044
TOTAL	1994
LOWER	730
DETACHED GARAGE	400

**WEST
 ELEVATION**

PAGE
A.2
 PROJECT NO.
S573

TOTAL ALLOWABLE MAIN FLOOR CANTILEVER FOR RIGHT WALL - MAX. 40%		
	INCHES	TOTAL LENGTH OF ALLOWABLE CANTILEVERS (INCHES)
TOTAL WALL LENGTH	598	239.20
CANTILEVER WALL LENGTHS COMBINED	-	180

TOTAL ALLOWABLE CANTILEVER FOR RIGHT WALL - MAX. 40%		
	INCHES	TOTAL LENGTH OF ALLOWABLE CANTILEVERS (INCHES)
TOTAL WALL LENGTH	633	253.20
CANTILEVER WALL LENGTHS COMBINED	-	224



UNPROTECTED OPENING CALCULATION		
	SQ.FT.	SQ.M.
TOTAL WALL FACE	721	66.98
TOTAL GLAZING	47	4.37
TOTAL ALLOWABLE GLAZING	6.52%	6.52%
DISTANCE TO PROPERTY LINE	1.22M	
ACTUAL ALLOWABLE GLAZING	7%	

EAST



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REV.	DESCRIPTION	REV.	DESCRIPTION

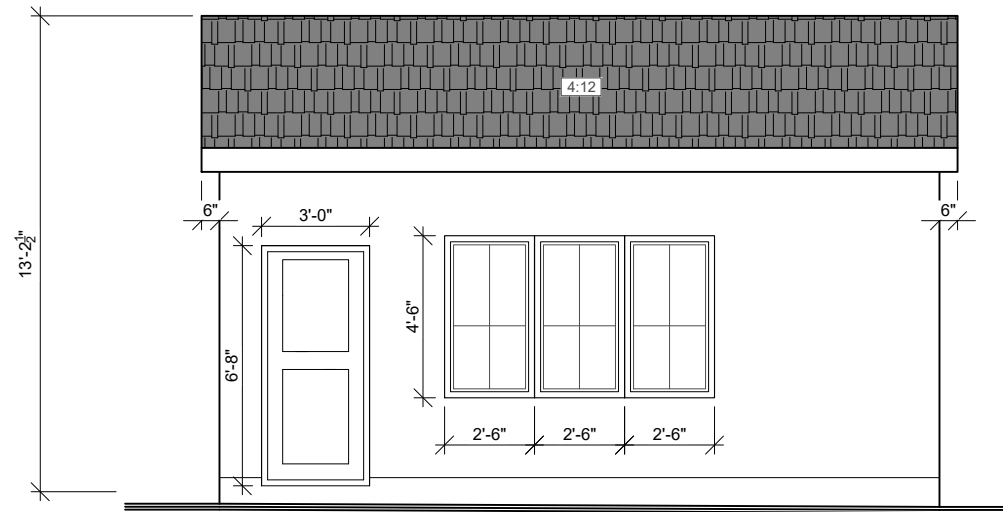
DESIGN BY: CA DRAWN BY: BW
 LOT: 86
 BLOCK: 01
 PLAN: 3048 JK
 SCALE: 3/16"=1'-0"

ISSUE DATE:
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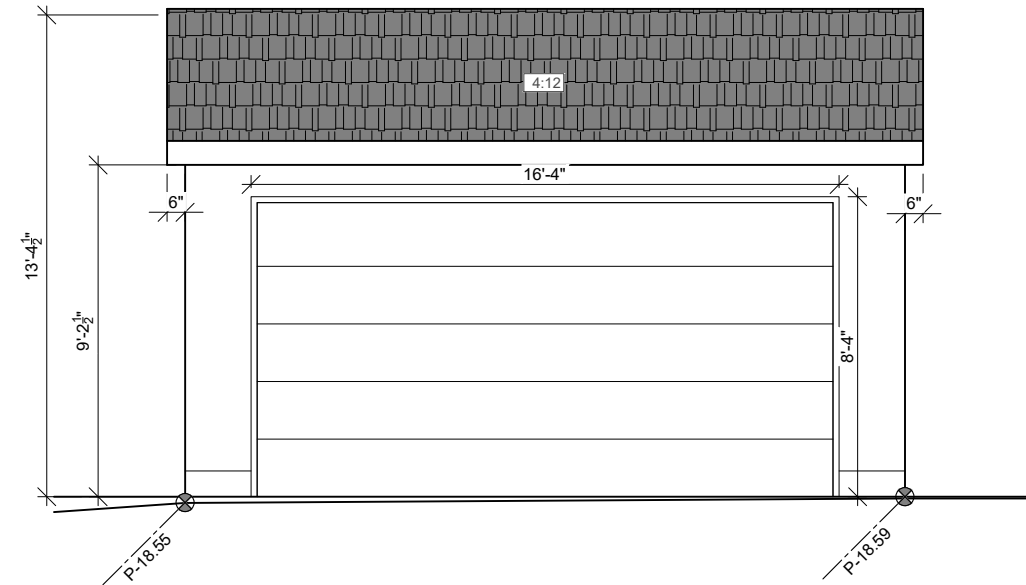
FLOOR AREAS (SQ.FT.)	
MAIN FLOOR	950
UPPER FLOOR	1044
TOTAL	1994
LOWER	730
DETACHED GARAGE	400

EAST ELEVATION

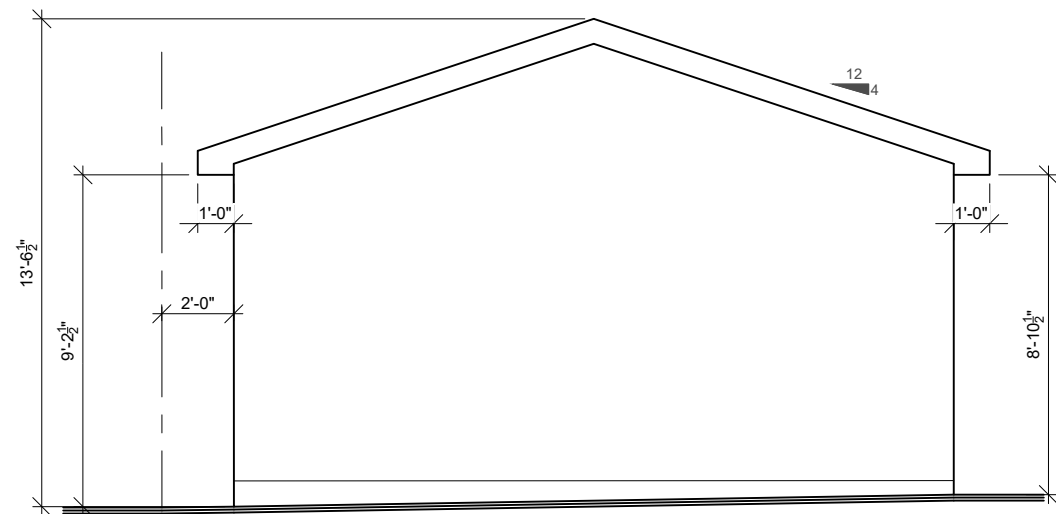
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A.3
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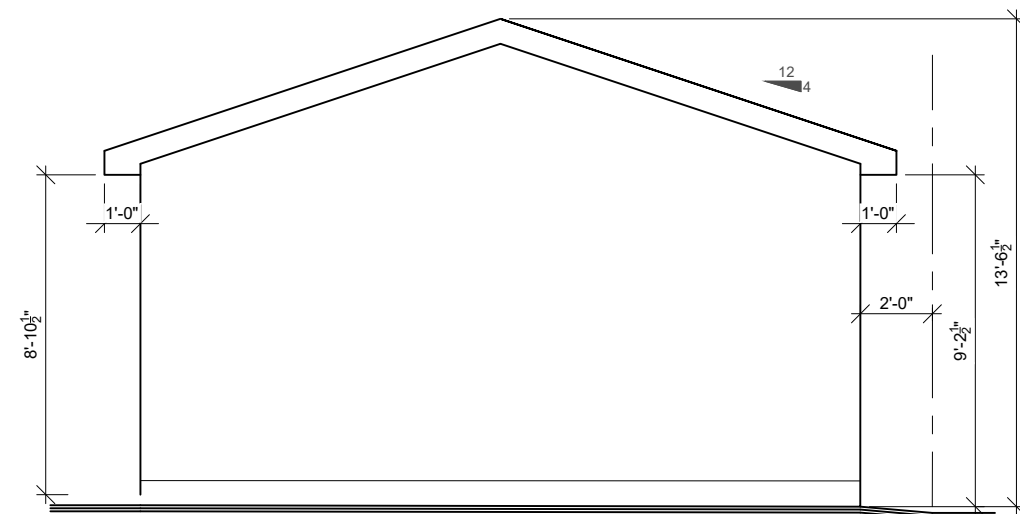
FRONT



REAR



RIGHT



LEFT



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REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DESIGN BY: CA	DRAWN BY: BW
LOT: 86	
BLOCK: 01	
PLAN: 3048 JK	
SCALE: 3/16"=1'-0"	

ISSUE DATE:	March 20, 2026
ADDRESS:	3806 58 AVE SW CALGARY, ALBERTA LAKEVIEW

FLOOR AREAS (SQ.FT.)	
MAIN FLOOR	950
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DETACHED GARAGE	400

**DETACHED
GARAGE
ELEVATIONS**