

AREAS + LOT COVERAGE (SUBDIVIDED LOT)

LOT AREA	30144 m ² (3244.89 SQFT)
ALLOWABLE COVERAGE @ 45%	13574 m ² (1461.9 SQFT)
PROPOSED COVERAGE	14322 m ² (1563.12 SQFT)
HOUSE + GARAGE FOOTPRINT	1563.12 SQFT
COVERED FRONT PORCH	514 SQFT
COVERED REAR PATIO	N/A
SECOND FLOOR AREA	1988.82 SQFT
BASEMENT AREA	980.82 SQFT
TOTAL DEVELOPED ABOVE GRADE	2174.23 SQFT

ELEVATIONS

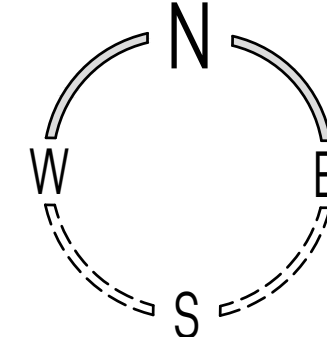
TOP OF FOOTING	1049.84
TOP OF MAIN FLOOR SUB FLOOR	1073.08
TOP OF 2ND FLOOR SUB FLOOR	1074.52
TOP OF ROOF PEAK	1083.27
FRONT GRADE	1072.45
REAR GRADE	1072.60
GARAGE SLAB @ FRONT	1071.97
GARAGE SLAB @ BACK	1072.07

SETBACKS

SETBACK	PERMITTED	PROVIDED
FRONT SETBACK	3.0m	4.51m
REAR SETBACK	1.0m	12.34m
SIDE SETBACK	1.0m	1.64m
SIDE SETBACK	1.0m	1.63m

GARAGE SETBACKS

SETBACK	PERMITTED	PROVIDED
REAR SETBACK	0.60	0.62m
SIDE SETBACK (NORTH)	0.60m	2.82m
SIDE SETBACK (SOUTH)	0.60m	2.79m



LEGEND

ELEVATIONS ARE SHOWN THUS: @ -100.00 METERS (GEODETIC)
DISTANCES ARE IN METERS AND DECIMALS THERE OF UNLESS NOTED OTHERWISE
ELEVATIONS ARE REFERRED TO AS A GEODETIC DATUM
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT

ABBREVIATIONS

CANT = CANTILEVER
ENC = ENCROACHES
BW = BACK OF WALKWAY
BOW = BOTTOM OF WALL
TOW = TOP OF WALL
CONC = CONCRETE
RET = RETAINING
ROC = BACK OF CURB

ABBREVIATIONS

PROPOSED GRADES
EXISTING GRADES

LINE TYPES

BUILDING OUTLINE
PROPERTY LINE
SETBACKS FROM PROPERTY LINE
FENCING
SANITARY LINE
STORM LINE
WATER LINE
GAS LINE
ELECTRICAL LINE
PHONE/CABLE LINE

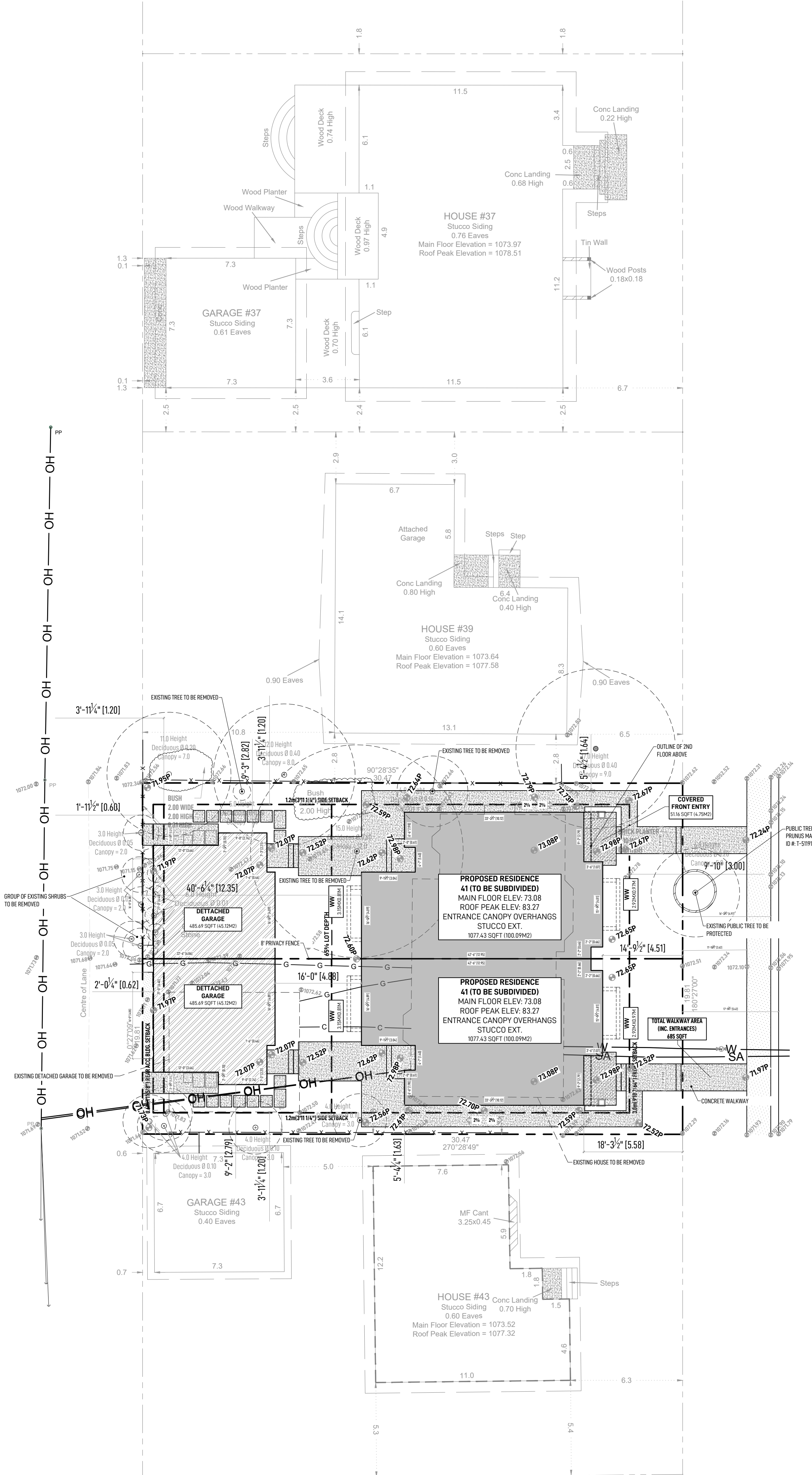
HATCHES

DENOTES MAIN BUILDING
DENOTES ACCESSORY BUILDING
DENOTES NEIGHBORING BUILDINGS
DENOTES COVERED DECKS PATIOS TERRACES
DENOTES WATER
DENOTES CONCRETE

DENOTES ASPHALT
DENOTES SOD
DENOTES ROCK AGGREGATE
DENOTES WOOD
DENOTES PVC/VINYL

SYMBOLS

POWER POLE
SIGN
LIGHT STANDARD
MAN HOLE
WATER VALVE
GAS VALVE
SLOPE DIRECTION + SLOPE PERCENTAGE
PROPERTY LINE CORNER POINT
POINT OF EGRESS



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41 MACKAY DRIVE SW
ROCKWOOD.

PROJECT ADDRESS

LEGAL
LOT 10, BLOCK 8, PLAN
4409GW
MUNICIPAL
41 MACKAY DR

DRAWING INFO

DRAWN BY LD
SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 20/MARCH/2026

PROPOSED AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	1077.43
2ND FLOOR	1098.82
BASEMENT (TOTAL)	980.82
TOTAL	3157
GARAGE	485.69
COVERED REAR PATIO	N/A
UNCOVERED REAR PATIO	N/A
COVERED FRONT ENTRY	51.16

DRAWING TITLE

BLOCK PLAN

SHEET NUMBER

A1.0

DATE ISSUED 20/MARCH/2026

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ROCKWOOD.**

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41 MACKAY DR

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SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 20/MARCH/2026

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MAIN FLOOR	1077.43
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UNCOVERED REAR PATIO	N/A
COVERED FRONT ENTRY	51.16

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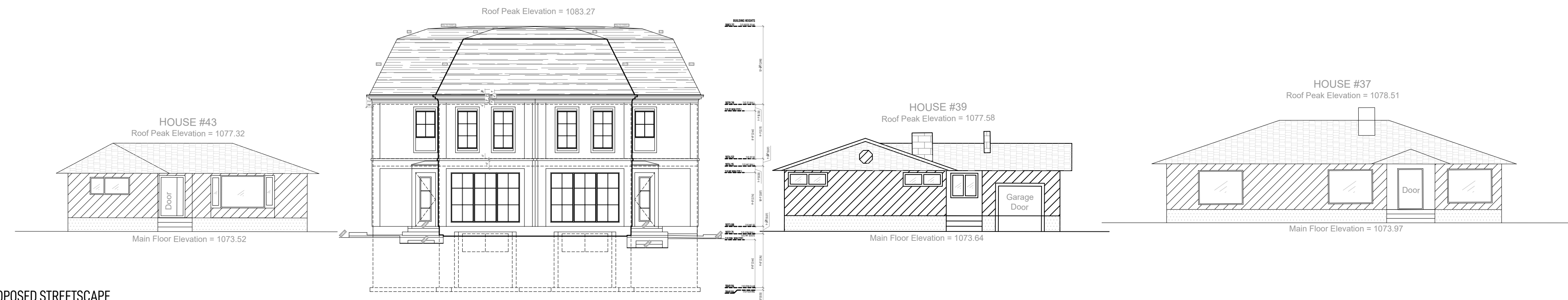
**STREETSCAPE +
SITE PHOTOS**

SHEET NUMBER

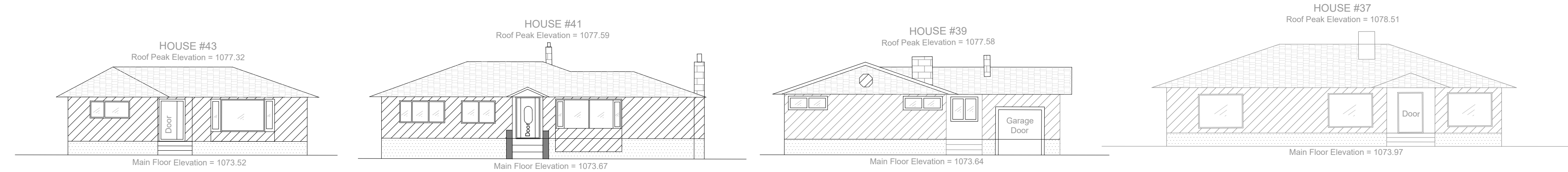
A1.2

DATE ISSUED 20/MARCH/2026

01 PROPOSED STREETSCAPE
SCALE: 1=150



02 EXISTING STREETSCAPE
SCALE: 1=150





41 MACKAY DRIVE SW

DP APPLICATION

MUNICIPAL ADDRESS

41 MACKAY DRIVE SW

LEGAL ADDRESS

LOT 10, BLOCK 8, PLAN 4409GW

COMMUNITY ZONING

MEADOWLARK PARK R-CG

DEVELOPMENT PERMIT NUMBER

N/A

BUILDING CLASSIFICATION

GROUP-C (RESIDENTIAL)

APPLICABLE BUILDING CODE

ALBERTA BUILDING CODE 2018

TYPE OF CONSTRUCTION

COMBUSTIBLE (WOOD FRAMING)

FACING NUMBER OF STREETS

1

REQUIRED FIRE SUPPRESSION

NO

REQUIRED FIRE SEPARATIONS

NO

DRAWING LEGEND

	GRID INDICATOR
	WALL ASSEMBLY TAG
	FLOOR ASSEMBLY TAG
	ROOF ASSEMBLY TAG
	DOOR TAG
	WINDOW TAG
	SECTION INDICATOR
	DETAIL REFERENCE INDICATOR
	BENCHMARK ELEVATION HGT REFERENCE
	PROPOSED GRADES
	EXISTING GRADES
	REVISION INDICATOR
	ROOF SLOPE INDICATOR
	CEILING HEIGHT INDICATOR
	ROOM TAG
	STAIR INFORMATION TAG
	NORTH ARROW

GENERAL NOTES

-THE INTELLECTUAL PROPERTY CONSISTING OF THE DESIGN AND ARCHITECTURAL DOCUMENTS PREPARED BY ROCKWOOD CUSTOM HOMES ARE THE SOLE PROPERTY OF ROCKWOOD CUSTOM HOMES WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. NO CHANGES, ALTERATIONS, ADDITIONS OR DELETIONS MAY BE MADE HERE TO EXCEPT BY ROCKWOOD CUSTOM HOMES UNLESS OTHERWISE DISCUSSED WITH ROCKWOOD CUSTOM HOMES. THIS SHALL NOT BE USED OR REPRODUCED BY ANYONE ON OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN CONSENT OF ROCKWOOD CUSTOM HOMES.

-ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR ON SITE.

-IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS TO COORDINATE THE WORK AND VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR BY ALL TRADES BEFORE PROCEEDING WITH ANY WORK. UNACCEPTABLE OR INCORRECT PRIOR WORK SHALL BE REPAIRED OR REPLACED BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.

-ALL EXISTING CONSTRUCTION AND LANDSCAPE FEATURES THAT ARE TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE DESIGNER/CLIENT, WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).

-THE EXISTING CONDITION INFORMATION INDICATED WHERE APPLICABLE IS BASED ON A SURVEY PROVIDED BY THE OWNER OR SUB-CONTRACTOR AND OTHER DOCUMENTS PROVIDED BY THE OWNER. THE INFORMATION IS NOT GUARANTEED AS TO COMPLETENESS OR ACCURACY. THE CONTRACTOR SHALL BE OBLIGATED AS A MATTER OF COURSE TO VERIFY, BY FIELD MEASUREMENTS, ALL SURVEY INFORMATION GIVEN. THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES INDICATED ON THE DRAWINGS ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING ANY WORK.

-GRADING AND PAVING ADJACENT TO THE PERIMETER OF THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM OF 1/2 INCH PER FOOT FOR GRADING AND 1/4 INCH PER FOOT FOR PAVING.

-ALL ELECTRICAL OUTLETS, COMPUTER AND TELEPHONE OUTLETS/JACKS, SWITCHES, PULL STATIONS, THERMOSTATS, AND ALL OTHER WALL MOUNTED ACCESSORIES SHALL BE ALIGNED VERTICALLY OR HORIZONTALLY WHEN IN CLOSE PROXIMITY. COORDINATION OF THIS ALIGNMENT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

ROOM LEGEND

NO.	FLR	ROOM
01	FF	HALLWAY
02	FF	MEDIA ROOM
03	FF	LAUNDRY ROOM
04	FF	BATHROOM
05	FF	BEDROOM#3
06	FF	MECHANICAL/STORAGE
101	MF	COVERED ENTRY
102	MF	FOYER
103	MF	PWDR ROOM
104	MF	DINNING ROOM
105	MF	KITCHEN
106	MF	GREAT ROOM
107	MF	MUD ROOM
108	MF	GARAGE
201	2F	STAIRWELL
202	2F	HALLWAY
203	2F	BEDROOM#1
204	2F	BEDROOM#1 ENSUITE
205	2F	PRIMARY WIC
206	2F	PRIMARY BEDROOM
207	2F	PRIMARY ENSUITE

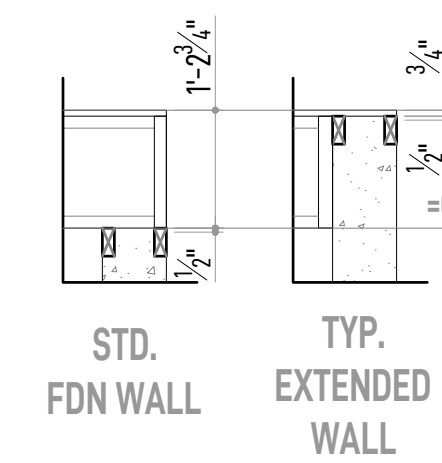
PRICING SET DRAWING LIST

SHEET	DRAWING TITLE
A0.1	PROJECT INFORMATION
A0.1	BLOCK PLAN
A1.1	SITE PLAN
A1.2	STREETSCAPE
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A2.3	ELEVATIONS
A2.4	ELEVATIONS
A2.5	3D IMAGES
A3.1	DEV BASEMENT PLAN
A3.2	MAIN FLOOR PLAN
A3.3	2ND FLOOR PLAN
A3.4	ROOF PLAN

PROPOSED MATERIAL SCHEDULE

TAG	ITEM	MATERIAL	COLOR/FINISH	ADDITIONAL NOTES
01a	MAIN FACADE (LIGHT)	ACRYLIC STUCCO	LIGHT/WHITE	
01b	MAIN FACADE (DARK)	ACRYLIC STUCCO	M40 TO DARK WARM GREY	
02a	SECONDARY FACADE	FIBRE CEMENT BOARD AND BATTEN	M40 TO DARK WARM GREY TO MATCH DARK STUCCO	
02b	SECONDARY FACADE	FIBRE CEMENT BOARD AND BATTEN	M40 TO WHITE TO MATCH DARK STUCCO	
03a	MASONRY	TBD		
03b	MASONRY CAP	CONCRETE PRECAST CAP		
04a	ROOFING 01	ASPHALT SHINGLES	BLACK	
04b	ROOFING 02	STANDING SEAM METAL	7" FT" STANDING SEAM SHIP LOCK PANEL IN CHARCOAL. INTENTION IS FOR THE METAL PORTION TO NOT BE A DEEP BLACK.	
05	WINDOWS	METAL CLAD EXT	BROWN OR CHARCOAL TO MATCH METAL ROOF AND OTHER METAL ELEMENTS	NO APPLIED BRICKMOLD ON ANY WINDOWS
06	FRONT DOOR	PAINTED/WOOD TBD	BROWN OR CHARCOAL TO MATCH METAL ROOF AND OTHER METAL ELEMENTS	NO APPLIED BRICKMOLD ON ANY WIN DOORS
07	OTHER EXT DOORS	METAL/GLASS	BROWN OR CHARCOAL TO MATCH METAL ROOF AND OTHER METAL ELEMENTS	NO APPLIED BRICKMOLD ON ANY WIN DOORS
08	OVERHEAD GARAGE DOORS	METAL	BROWN OR CHARCOAL TO MATCH METAL ROOF AND OTHER METAL ELEMENTS	NO APPLIED BRICKMOLD ON ANY WIN DOORS
09	TRIM	FIBRE CEMENT TRIM BOARD	WARM/TRD	ONLY USE SMOOTH SIDE EVERYWHERE
10	WINDOW/DOOR TRIM	STUCCO	INTENDED TO MATCH SURROUNDING STUCCO COLOR	5/8"X1" STUCCO TRIM SLOPED TO DRAIN AS REQ'D
11	DOOR THRESHOLD/TOE KICK	FIBRE CEMENT TRIM BOARD	INTENDED TO BE M40 TO DARK WARM GREY TO MATCH DARK STUCCO	
12	FLASHING	PREFINISHED ALUMINUM	COLOR TO MATCH ADJACENT TRIM OR FINISH AS REQ'D	
13	EAVESTROUGH + DOWNSPOUT	PREFINISHED ALUMINUM	LIGHT TO M40 WARM GREY	
14a	SOFFIT 01	PREFINISHED ALUMINUM	LIGHT TO M40 WARM GREY	
14b	SOFFIT 02	WOOD T+G BOARD	STAINED WOOD TRD	
15a	FASCIA 01	PREFINISHED ALUMINUM	LIGHT TO M40 WARM GREY	4" FASCIA. MATCH TRIM, EAVESTROUGH AND DOWNSPOUT COLOR TO MATCH METAL ROOF AND/OR OTHER METAL ELEMENTS
15b	FASCIA 02	TRIMBOARD	INTENDED TO BE M40 TO DARK WARM GREY TO MATCH DARK STUCCO	IF TRIM IS INTENDED TO BE LIGHT TO M40 WARM GREY IN BETWEEN THE DARK TRIM AND LIGHT STUCCO
16	PARGING	CEMENTITIOUS PARGING	LIGHT/WARM GREY	ONLY USE SMOOTH SIDE EVERYWHERE
17	PATIO + EXTERIOR RISERS	CONCRETE	LIGHT/WARM GREY	
18	PATIO COLUMN	PAINTED WOOD CLAD BOX	INTENDED TO BE M40 TO DARK WARM GREY TO MATCH DARK STUCCO	5/8"X1" FINISHED COLUMN DIMENSION. INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D
19	PATIO BEAM	PAINTED WOOD CLAD BOX	INTENDED TO BE M40 TO DARK WARM GREY TO MATCH DARK STUCCO	5/8"X1" FINISHED BEAM DIMENSION. INTERNAL STRUCTURE TO BE DETERMINED BY ENGINEERING AS REQ'D
20	PATIO SCREENING	SUNCOAST RETRACTABLE SCREEN	BROWN OR CHARCOAL TO MATCH METAL ROOF AND OTHER METAL ELEMENTS	
21	WALKWAY	CONCRETE	LIGHT/WARM GREY	
22	WINDOW WELL/PLANTER	CONCRETE	LIGHT/WARM GREY	
23	STUCCO MOULDING	STUCCO (EIFS)	INTENDED TO BE LIGHT/WHITE TO MATCH LIGHT FACADE STUCCO	
24	GABLE ACCENT FEATURE	METAL	BROWN OR CHARCOAL TO MATCH METAL ROOF AND OTHER METAL ELEMENTS	
25	METAL DETAILING	-PAINTED METAL FRAME/CAP	CHARCOAL	TO BE DETERMINED BY INTERIOR DESIGN TEAM

*FINAL SELECTIONS MAY VARY. ALL EXTERIOR MATERIALS LISTED ABOVE ARE FOR REFERENCE ONLY AND ARE REQUIRED TO BE CONFIRMED AND FINALIZED WITH THE CONSTRUCTION AND INTERIOR DESIGN PROJECT MANAGER PRIOR TO MANUFACTURING, PURCHASING OR CONSTRUCTION OF ANY SCOPE AS REQ'D. PLEASE REFER TO THE FINAL "EXTERIOR COLOUR SELECTIONS" DOCUMENT PROVIDED BY THE ID PM.



*T/O FOUNDATION WALL (0'0") REFERS TO THE T/O 1/2" (MIN) PLYWOOD CAP AS PER ENG. T/O CONCRETE PORTION OF FOUNDATION WALL WILL BE REDUCED BY HEIGHT OF PLYWOOD CAP AS REQ'D

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41 MACKAY DRIVE SW
ROCKWOOD.

PROJECT ADDRESS

LEGAL
LOT 10, BLOCK 8, PLAN
4409GW
MUNICIPAL
41 MACKAY DR

DRAWING INFO

DRAWN BY LD
SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 20/MARCH/2026

PROPOSED AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	1077.43
2ND FLOOR	1098.82
BASEMENT (TOTAL)	980.82
TOTAL	3157
GARAGE	485.69
COVERED REAR PATIO	N/A
UNCOVERED REAR PATIO	N/A
COVERED FRONT ENTRY	51.16

DRAWING TITLE

PROJECT INFO

SHEET NUMBER

A0.1

DATE ISSUED 20/MARCH/2026

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DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A2.0

DATE ISSUED 20/MARCH/2026



01 FRONT ELEVATION (EAST FACING)
SCALE: 1/4"=10'

ENGINEERING NOTES

- Architectural drawings provided are for reference only. Verify all structural requirements with structural engineering and roof and floor layouts prior to start of construction. Refer to engineering documentation as req'd.
- Coordinate footings with structural engineering and ground works to avoid any foreseen conflicts as req'd.
- Ensure foundation wall heights and footing heights locations and dimensions are reviewed with the Rockwood Construction PM prior to start of construction.
- Inform the Rockwood Construction PM of any discrepancies or concerns prior to start of construction.

FRAMING NOTES

- All exterior and interior walls are 2x6 uno.
- Refer to engineering for any tall wall requirements.
- 9"0"** Framed basement wall hgt typ uno.
- 10"0"** Framed main floor wall hgt typ uno.
- 9"1"** Framed 2nd floor wall hgt typ uno.
- 7"0"** Doors on basement floor / **7'6"** framed openings on basement floor.
- 8"0"** Doors on main floor + 2nd floor / **8"0"** framed openings on main floor + 2nd floor.
- Refer to window + door schedule and window + door manufacturers documentation for exact c.o. + installation requirements.

- All doors to have a min. of 4" clearance from framed open to any adjacent walls uno.
- Please ensure you are using the most current drawing set and refer to final interior design layouts to confirm any further changes to layout, framing, electrical and plumbing changes or any other specific requirements as outlined within that supplementary documentation. -Request current drawings as req'd and discuss any discrepancies with the Rockwood Construction PM.

HVAC+PLUMBING+ELEC. NOTES

- Mechanical drops shown on plan are for reference only and will need to be reviewed and confirmed between applicable trades and the Rockwood Construction PM prior to start of construction.
- Site coordinate all HVAC/Plumbing/Electrical requirements ensuring compatibility with roof trusses and floor joists to avoid conflicts.
- Inform the Rockwood Construction PM of any discrepancies, conflicts or unforeseen requirements of HVAC/Plumbing/Electrical prior to start of construction or once issue has been discovered.

FINISHING NOTES

- Final selections may vary. All exterior materials as listed above for reference only and are required to be confirmed and finalized with the Rockwood Construction PM and Interior design P- prior to manufacturing, purchasing or construction of any scope as req'd. please refer to the final "exterior colour selections" document provided by the ID PM.

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ROCKWOOD.**

PROJECT ADDRESS

LEGAL
LOT 10, BLOCK 8, PLAN
4409GW
MUNICIPAL
41 MACKAY DR

DRAWING INFO

DRAWN BY	LD
SCALE	AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION	20/MARCH/2026
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DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A2.1

DATE ISSUED 20/MARCH/2026



01 REAR ELEVATION (WEST FACING)
SCALE: 1/4"=10'

ENGINEERING NOTES

- Architectural drawings provided are for reference only. Verify all structural requirements with structural engineering and roof and floor layouts prior to start of construction. Refer to engineering documentation as req'd.
- Coordinate footings with structural engineering and ground works to avoid any foreseen conflicts as req'd.
- Ensure foundation wall heights and footing heights locations and dimensions are reviewed with the Rockwood Construction PM prior to start of construction.
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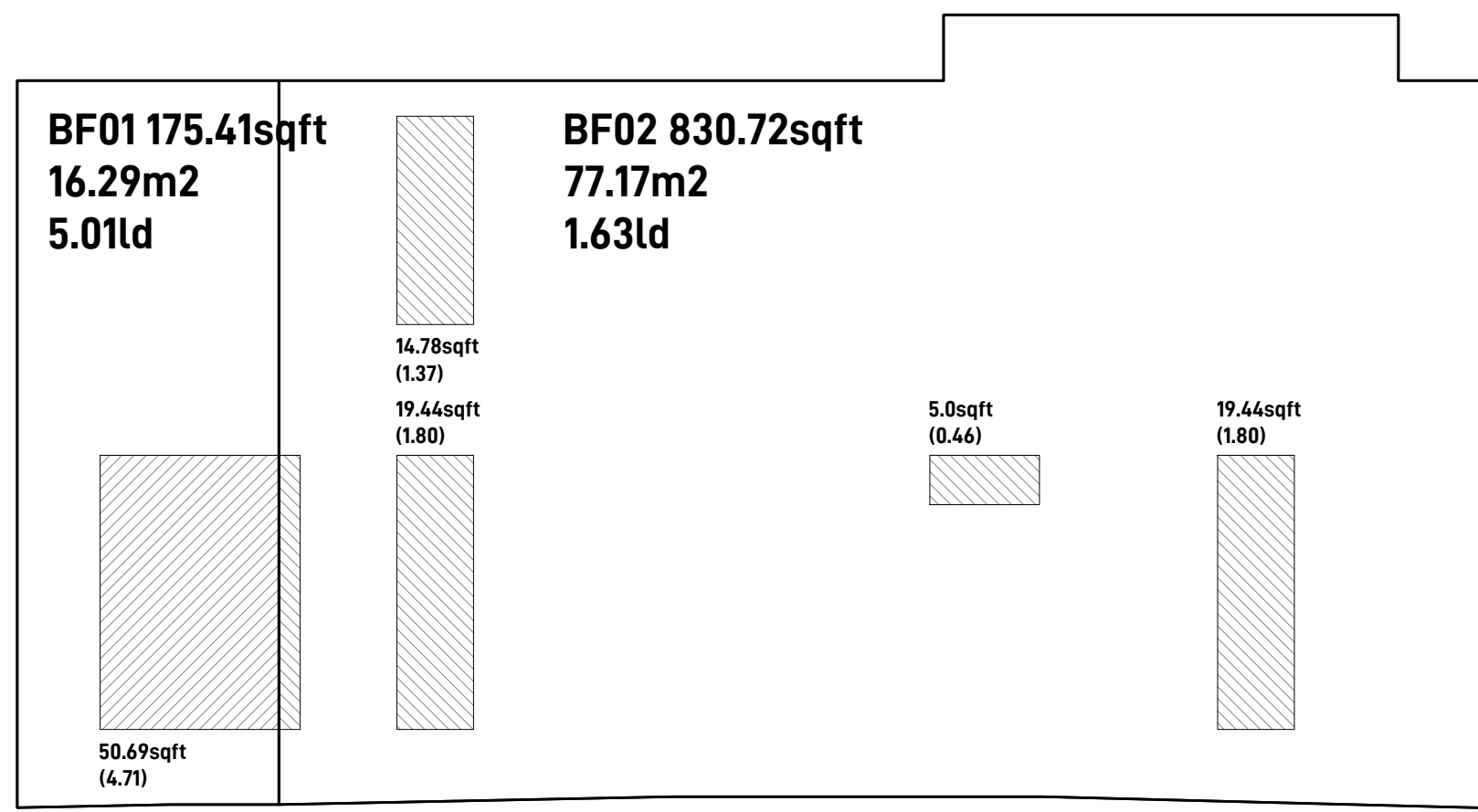
- All doors to have a min. of 6" clearance from framed open to any adjacent walls uno.
- Please ensure you are using the most current drawing set and refer to final interior design layouts to confirm any further changes to layout, framing, electrical and plumbing changes or any other specific requirements as outlined within that supplementary documentation. -Request current drawings as req'd and discuss any discrepancies with the Rockwood Construction PM.

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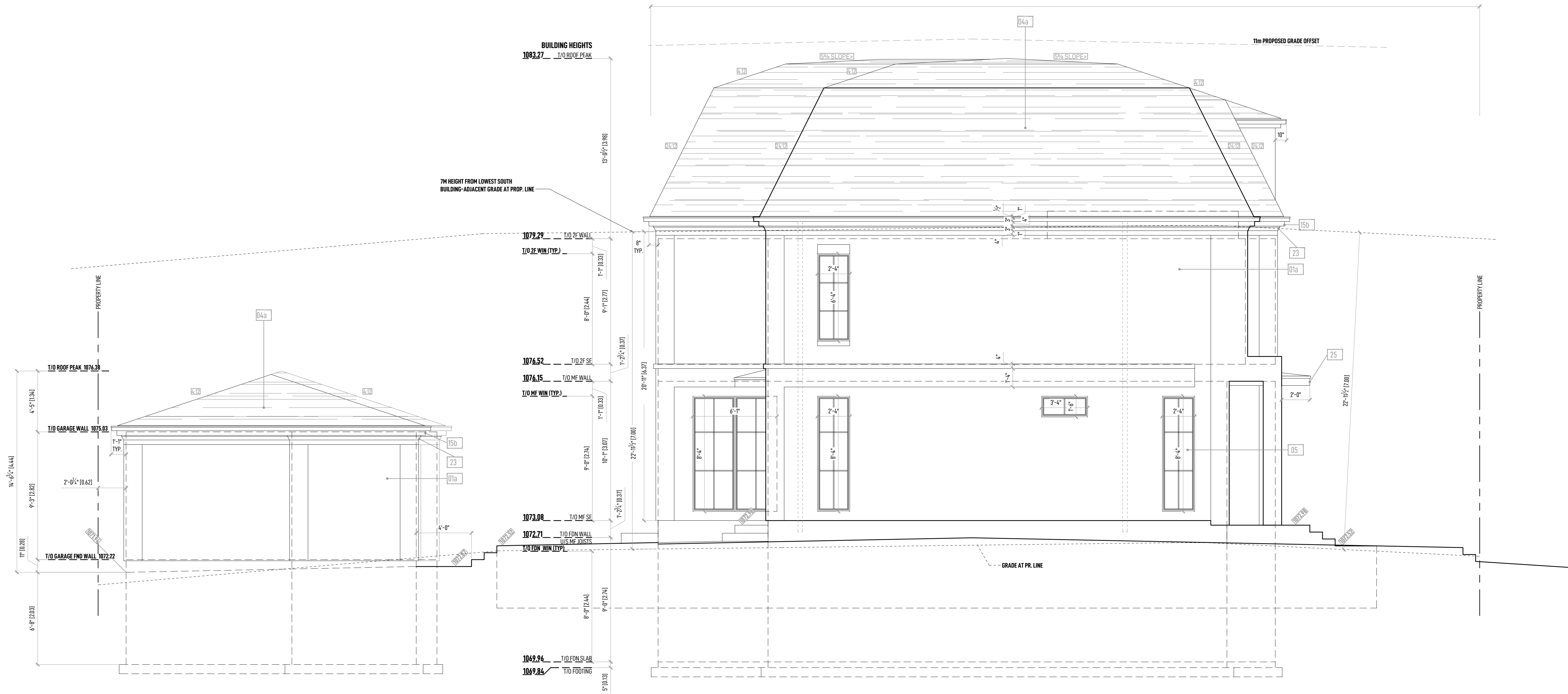
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SIDE YARD UPO CALCULATION

	BF01	BF02
	MIN DISTANCE 5.01m Exposing Building Face Total Area: 16.29m ²	MIN DISTANCE 1.63m Exposing Building Face Total Area: 77.17m ²
Total Overall Area of Exposing Building Face		93.47m²
Maximum Total Area of Exposing Building Face Used in Table 9.10.15.4	100m ²	100m ²
45 Min fire resistance rating	Not required	Not required
Type of cladding	No Limit	No Limit
Permitted % of glazed openings	26.09%	8.29%
Permitted aggregate area of glazed openings	4.24m ²	6.37m ²
Total area of proposed openings	4.21m ² (25.84%)	5.95m ² (7.7%)



01 LEFT SIDE ELEVATION (SOUTH FACING)
SCALE: 1/4"=1'-0"

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41 MACKAY DR

DRAWING INFO

DRAWN BY LD
SCALE AS NOTED

ISSUANCE SCHEDULE

FOR DP APPLICATION 20/MARCH/2026

PROPOSED AREAS

FLOOR/LOCATION	SQFT
MAIN FLOOR	1077.43
2ND FLOOR	1098.82
BASEMENT (TOTAL)	980.82
TOTAL	3157
GARAGE	485.69
COVERED REAR PATIO	N/A
UNCOVERED REAR PATIO	N/A
COVERED FRONT ENTRY	51.16

DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A2.2

DATE ISSUED 20/MARCH/2026

ENGINEERING NOTES

- Architectural drawings provided are for reference only. Verify all structural requirements with structural engineering and roof and floor layouts prior to start of construction. Refer to engineering documentation as req'd.
- Coordinate footings with structural engineering and ground works to avoid any foreseen conflicts as req'd.
- Ensure foundation wall heights and footing heights locations and dimensions are reviewed with the Rockwood Construction PM prior to start of construction.
- Inform the Rockwood Construction PM of any discrepancies or concerns prior to start of construction.

FRAMING NOTES

- All exterior and interior walls are 2x6 uno.
- Refer to engineering for any tall wall requirements.
- 9"0" Framed basement wall hgt typ uno.
- 10"0" Framed main floor wall hgt typ uno.
- 9"0" Framed 2nd floor wall hgt typ uno.
- 7"0" Doors on basement floor / 7'6" framed openings on basement floor.
- 8"0" Doors on main floor + 2nd floor / 8"0" framed openings on main floor + 2nd floor.
- Refer to window + door schedule and window + door manufacturers documentation for exact c.o. + installation requirements.

HVAC+PLUMBING+ELEC. NOTES

- All doors to have a min. of 6" clearance from framed open to any adjacent walls uno.
- Please ensure you are using the most current drawing set and refer to final interior design layouts to confirm any further changes to layout, framing, electrical and plumbing changes or any other specific requirements as outlined within that supplementary documentation. -Request current drawings as req'd and discuss any discrepancies with the Rockwood Construction PM.
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- Site coordinate all HVAC/Plumbing/Electrical requirements ensuring compatibility with roof trusses and floor joists to avoid conflicts.
- Inform the Rockwood Construction PM of any discrepancies, conflicts or unforeseen requirements of HVAC/Plumbing/Electrical prior to start of construction or once issue has been discovered.

FINISHING NOTES

- Final selections may vary. All exterior materials as listed above for reference only and are required to be confirmed and finalized with the Rockwood Construction PM and Interior design P- prior to manufacturing, purchasing or construction of any scope as req'd. please refer to the final "exterior colour selections" document provided by the ID PM.

DRAWING NOTES

- Do not scale these drawings.
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- The design + drawings is the sole property of Rockwood Custom Homes.
- Any reproduction of these drawings or their design without written consent by Rockwood Custom Homes is prohibited.

**41 MACKAY DRIVE SW
ROCKWOOD.**

PROJECT ADDRESS

LEGAL
LOT 10, BLOCK 8, PLAN
4409GW
MUNICIPAL
41 MACKAY DR

DRAWING INFO

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COVERED FRONT ENTRY	51.16

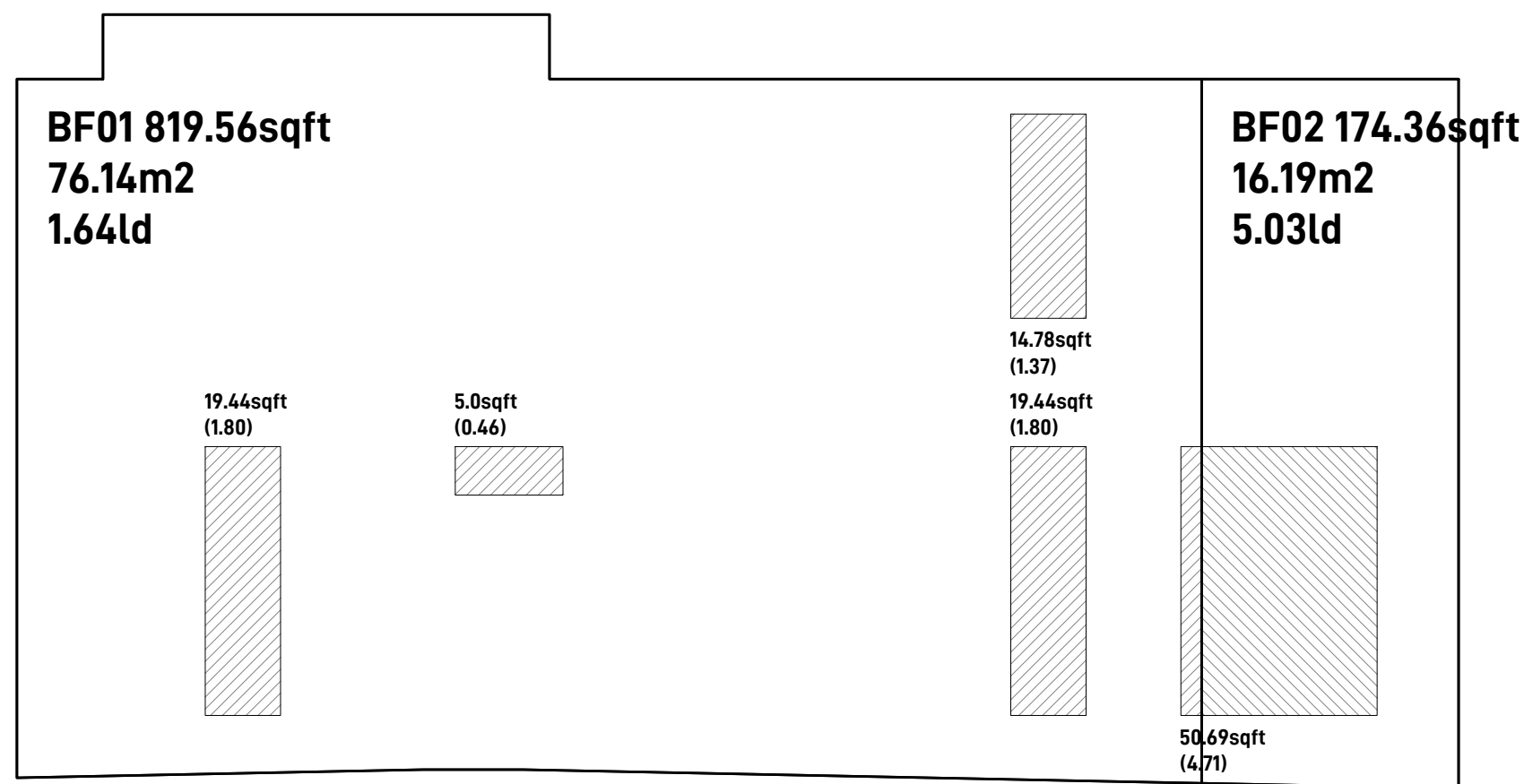
DRAWING TITLE

ELEVATIONS

SHEET NUMBER

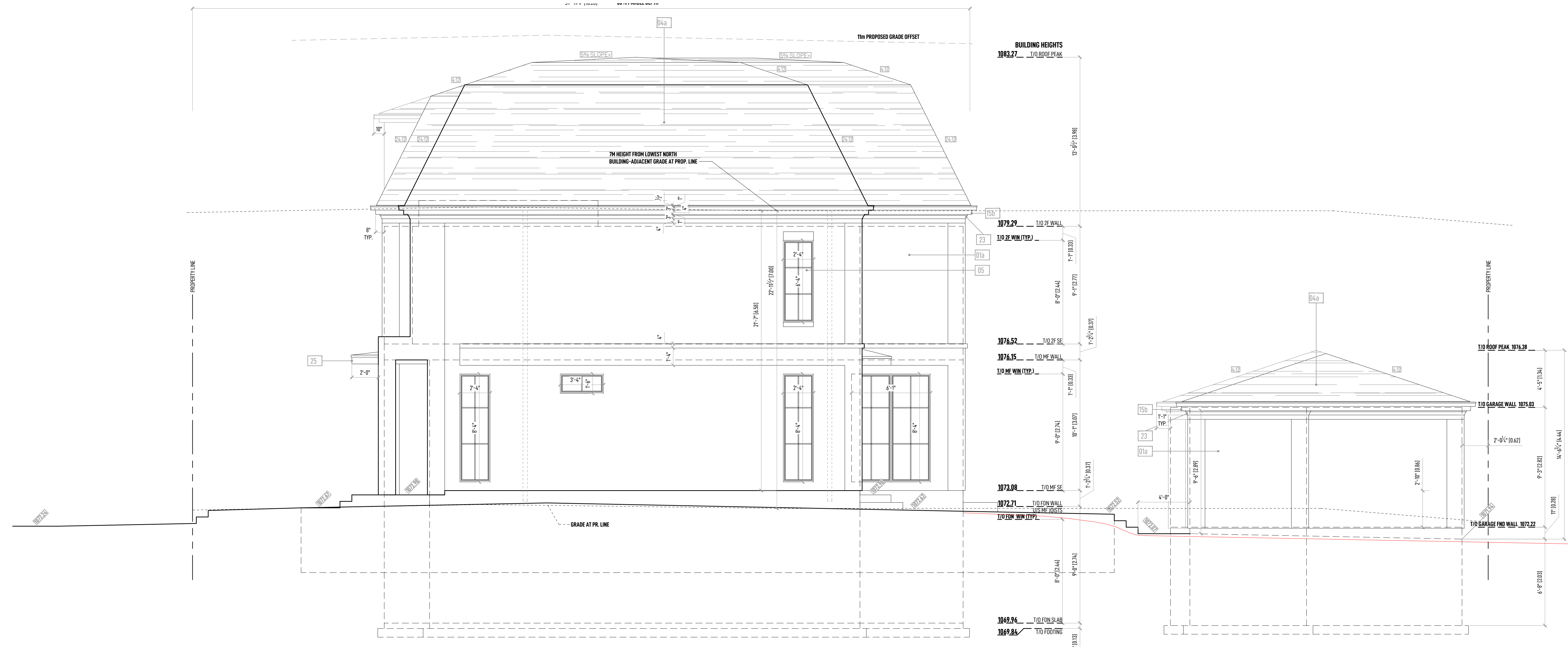
A2.3

DATE ISSUED 20/MARCH/2026



SIDE YARD UPO CALCULATION

	BF01	BF02
MIN DISTANCE 1.64m	MIN DISTANCE 5.03m	
Exposing Building Face	Exposing Building Face	
Total Area: 76.14m2	Total Area: 16.19m2	
Total Overall Area of Exposing Building Face		
Maximum Total Area of Exposing Building Face	100m2	100m2
Used in Table 9.10.15.4		
45 Min fire resistance rating	Not required	Not required
Type of cladding	No Limit	No Limit
Permitted % of glazed openings	8.28%	25.24%
Permitted aggregate area of glazed openings	6.304m2 (67.85 sqft)	4.248m2 (45.71 sqft)
Total area of proposed openings	5.95m2 (7.87%)	4.209m2 (25.99%)



01 RIGHT SIDE ELEVATION (NORTH FACING)
SCALE: 1/4"=10'

ENGINEERING NOTES

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HVAC+PLUMBING+ELEC. NOTES

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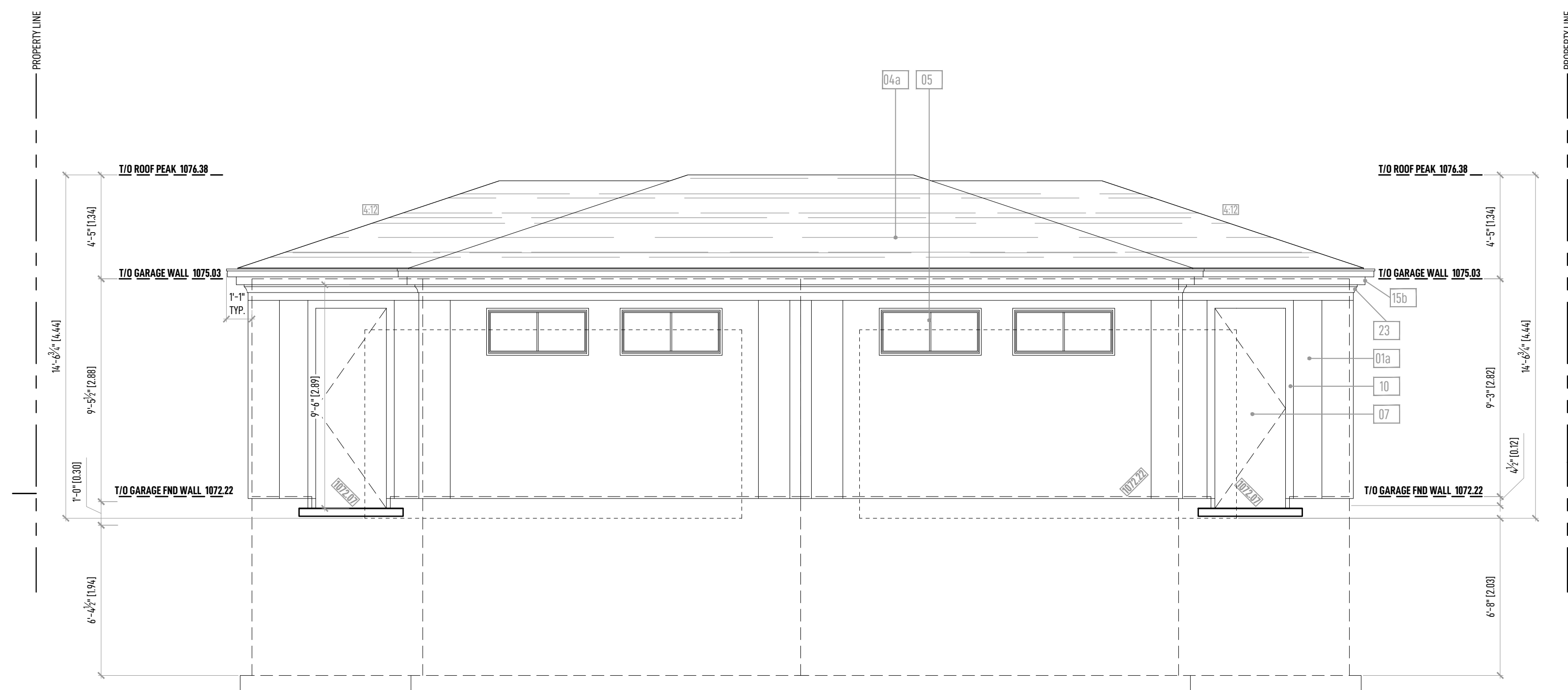
DRAWING TITLE

ELEVATIONS

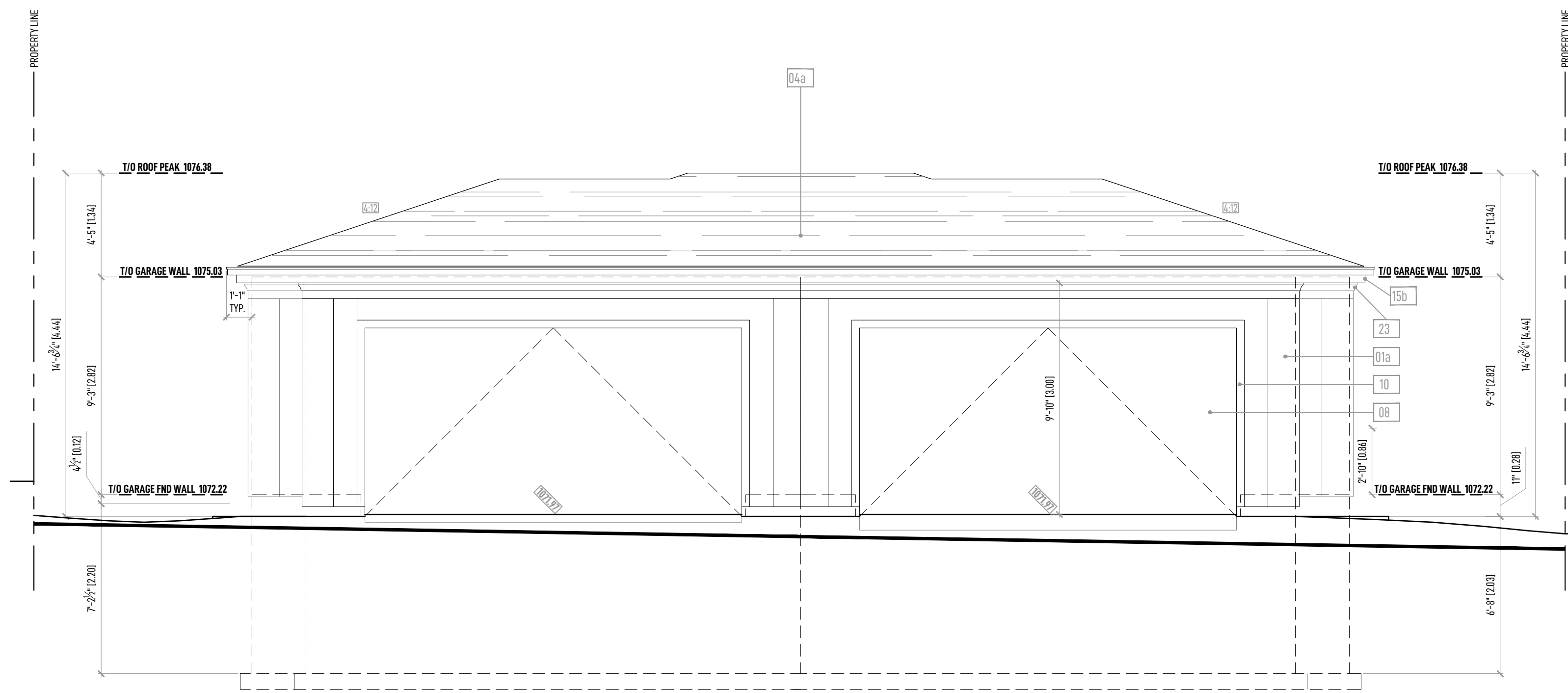
SHEET NUMBER

A2.4

DATE ISSUED 20/MARCH/2026



01 REAR ELEVATION (EST FACING)
SCALE: 1/4"=10"



01 FRONT ELEVATION (WEST FACING)
SCALE: 1/4"=10"

ENGINEERING NOTES

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- Inform the Rockwood Construction PM of any discrepancies or concerns prior to start of construction.

FRAMING NOTES

- All exterior and interior walls are 2x6 uno.
- Refer to engineering for any tall wall requirements.
- 9"0"** Framed basement wall hgt typ uno.
- 10"0"** Framed main floor wall hgt typ uno.
- 9"1"** Framed 2nd floor wall hgt typ uno.
- 7"0"** Doors on basement floor / **7"6"** framed openings on basement floor.
- 8"0"** Doors on main floor + 2nd floor / **8"0"** framed openings on main floor + 2nd floor.
- Refer to window + door schedule and window + door manufacturers documentation for exact c.o. + installation requirements.

- All doors to have a min. of 4" clearance from framed open to any adjacent walls uno.
- Please ensure you are using the most current drawing set and refer to final interior design layouts to confirm any further changes to layout, framing, electrical and plumbing changes or any other specific requirements as outlined within that supplementary documentation. -Request current drawings as req'd and discuss any discrepancies with the Rockwood Construction PM.

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