



AMENDED DP - 2026-06-18

project architect

landscape architect

civil engineer

LEE
ARCHITECTURE
STUDIO INC.
ARCHITECTURE & DESIGN

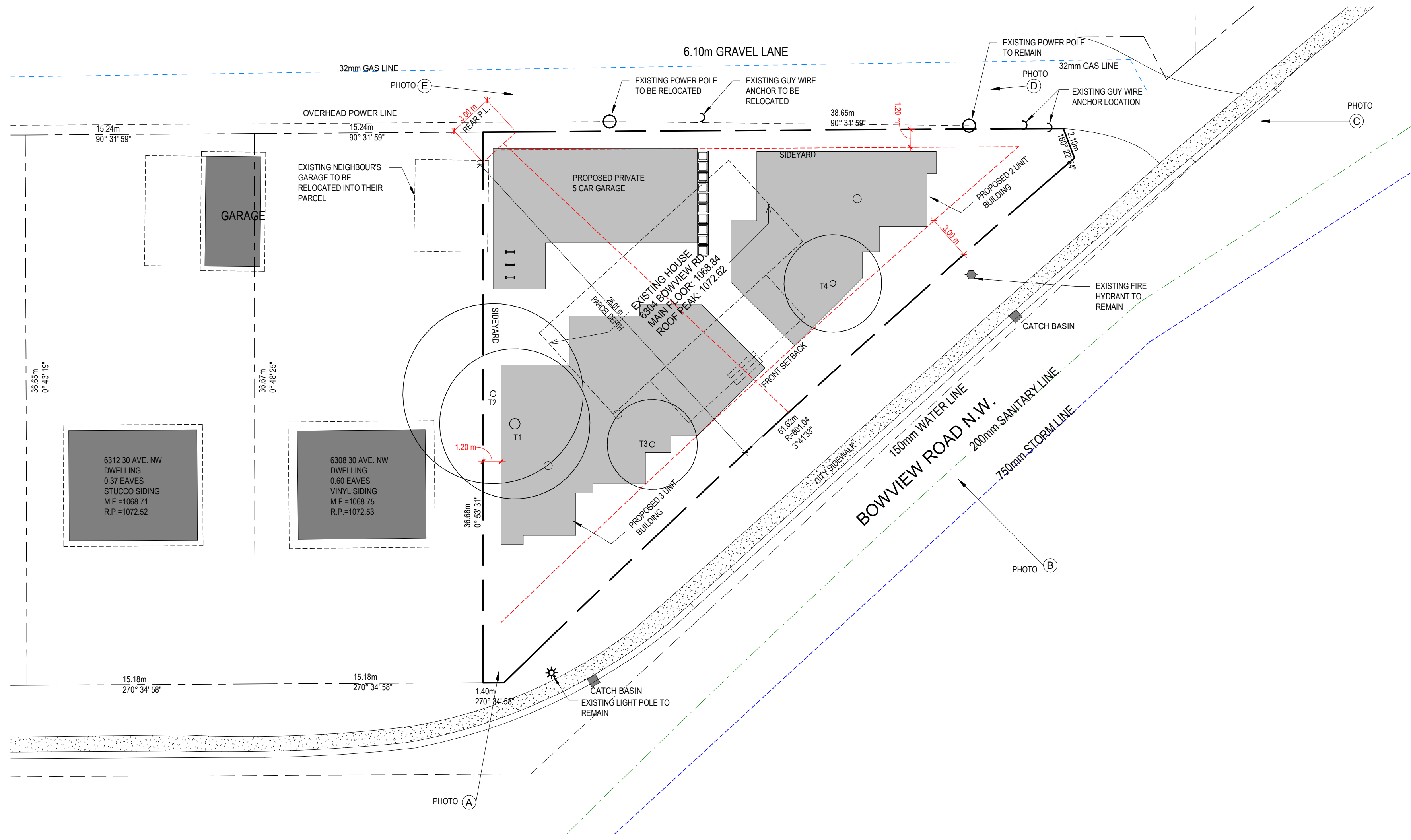
KATHARINA
KAFKA
LANDSCAPE
ARCHITECTURE

• 6304 BOWVIEW RD NW
CALGARY, AB T2C 1A1
SARAH LEE, ARCHITECT
KATHARINA KAFKA, LANDSCAPE ARCHITECT

26001
6304 BOWVIEW ROAD NW
6304 BOWVIEW ROAD NW
CALGARY, AB

AMENDED DRAWINGS
DP No DP2026-01596 Date Received JUN 18 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



1 BLOCK PLAN
DP001 1:200

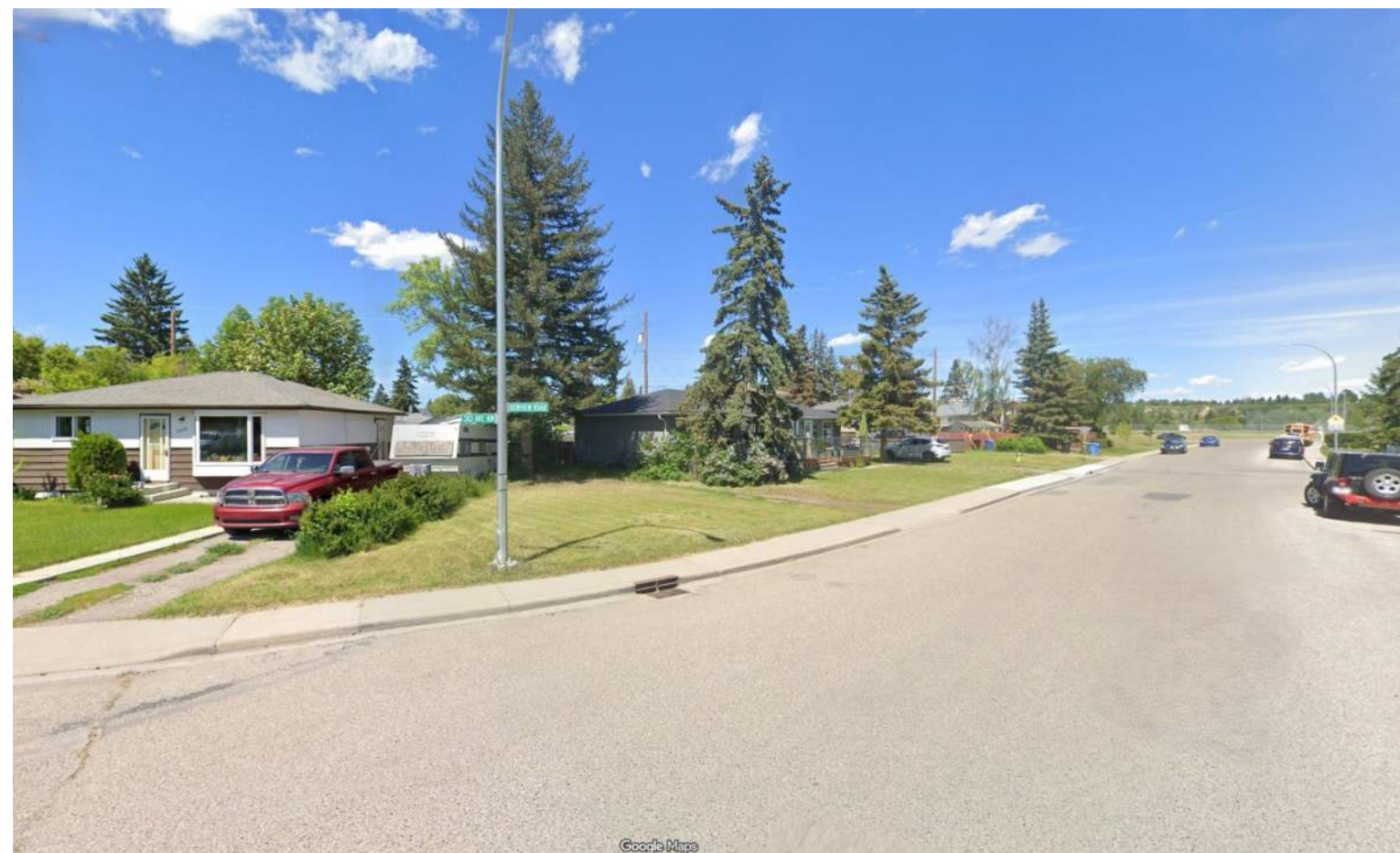


PHOTO LOCATION A



PHOTO LOCATION B



PHOTO LOCATION C



PHOTO LOCATION D



PHOTO LOCATION E

PROJECT INFORMATION

PARCEL ADDRESS: 6304 BOWVIEW ROAD NW, CALGARY, AB
MUNICIPAL ADDRESS: LOT 5, BLOCK 5, PLAN 3239 GR
LEGAL DESCRIPTION: BOWNESS

ZONING:
R-CG

PARCEL AREA

PARCEL AREA = 770.22 m²
PARCEL COVERAGE = 370.16 m²
PARCEL COVERAGE ALLOWED = 60%
TOTAL PROPOSED COVERAGE = 48.0%

DENSITY

MAXIMUM ALLOWED: 75 UNITS / ha
PROPOSED DENSITY: 65 UNITS / ha
TOTAL PROPOSED UNITS: 5 UNITS (NOT INCLUDING SECONDARY SUITES)

PROPOSED GROSS BUILDING FLOOR AREA

MAIN FLOOR: 274.09 m²
SECOND FLOOR: 288.67 m²
TOTAL GFA: 562.76 m²
FAR: 0.73

PROPERTY SETBACKS

SETBACKS REQUIRED:

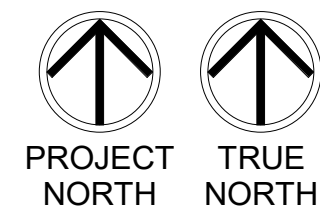
FRONT (SOUTH) = 3.0 m
REAR (NORTH) = 1.2 m
SIDE (EAST) = 1.2 m
SIDE (WEST) = 1.2 m

VEHICLE PARKING STALL

REQUIRED: 0.5 STALLS PER DWELLING UNIT
10 UNITS X 0.5 STALLS = 5 STALLS
PROVIDED: 5 STALLS

BICYCLE PARKING STALL

CLASS 1 BICYCLE PARKING STALLS
REQUIRED: 5 STALLS
PROVIDED: 5 STALLS



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E-mail: seaneearchitect@gmail.com

project architect

seal

consultant

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client

OWNER

project

6304 BOWVIEW ROAD NW

6304 BOWVIEW ROAD NW
CALGARY, AB

drawing title

BLOCK PLAN

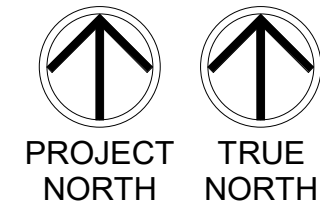
sheet

DP001

drawn	scale
-	As indicated
checked	project no.
-	26001

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MUNICIPAL ADDRESS: 6304 BOWVIEW ROAD NW, CALGARY, AB
LEGAL DESCRIPTION: LOT 5, BLOCK 5, PLAN 3239 GR
COMMUNITY: BOWNESS

ZONING
R-CG

PARCEL AREA
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PARCEL COVERAGE ALLOWED = 60%
TOTAL PROPOSED COVERAGE = 48.0%

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TOTAL GFA: 562.76 m²
FAR: 0.73

PROPERTY SETBACKS

SETBACKS REQUIRED:

FRONT (SOUTH) = 3.0 m
REAR (NORTH) = 1.2 m
SIDE (EAST) = 1.2 m
SIDE (WEST) = 1.2 m

VEHICLE PARKING STALL

REQUIRED: 0.5 STALLS PER DWELLING UNIT
10 UNITS X 0.5 STALLS = 5 STALLS
PROVIDED: 5 STALLS

BICYCLE PARKING STALL

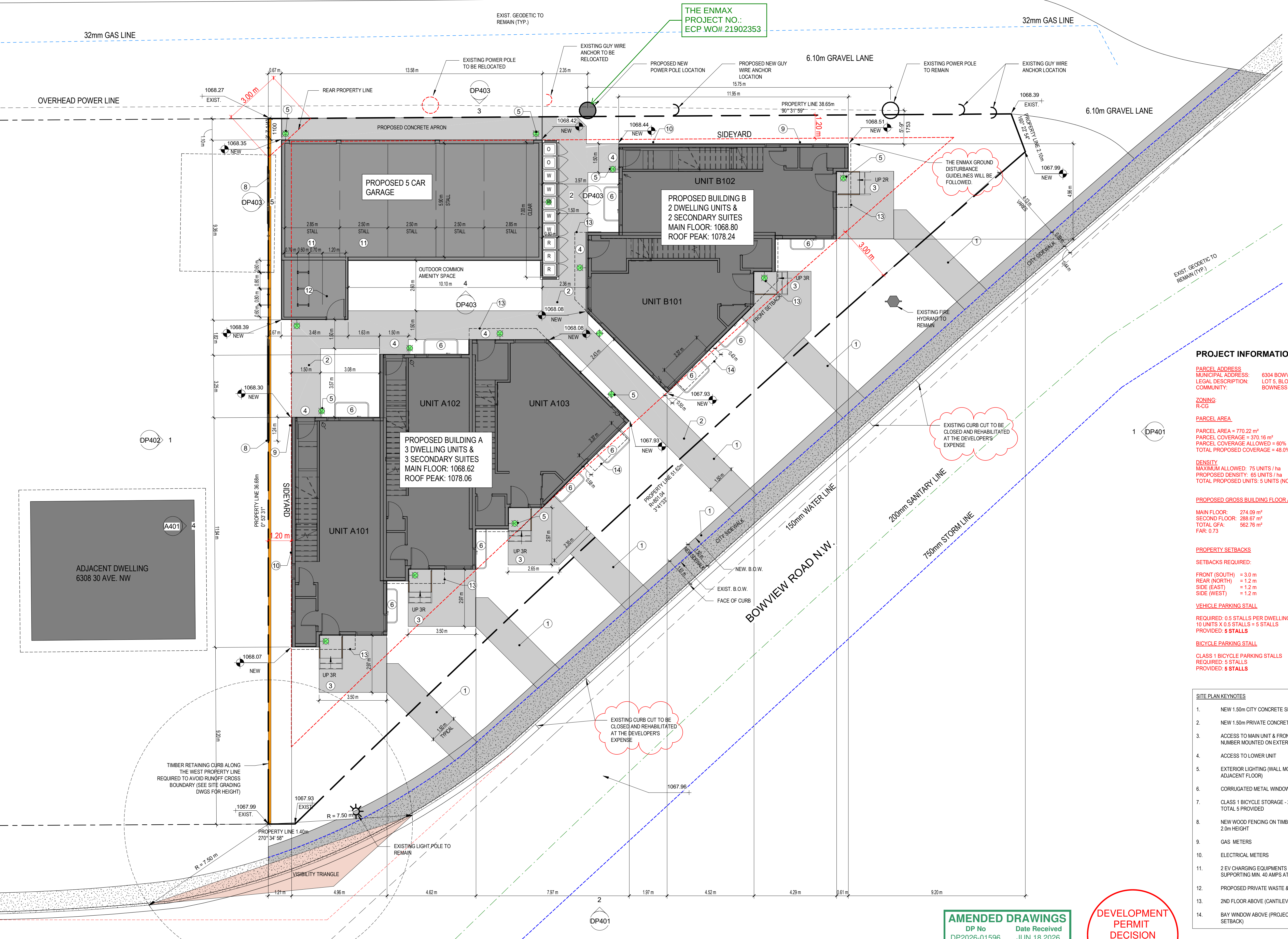
CLASS 1 BICYCLE PARKING STALLS
REQUIRED: 5 STALLS
PROVIDED: 5 STALLS

SITE PLAN KEYNOTES

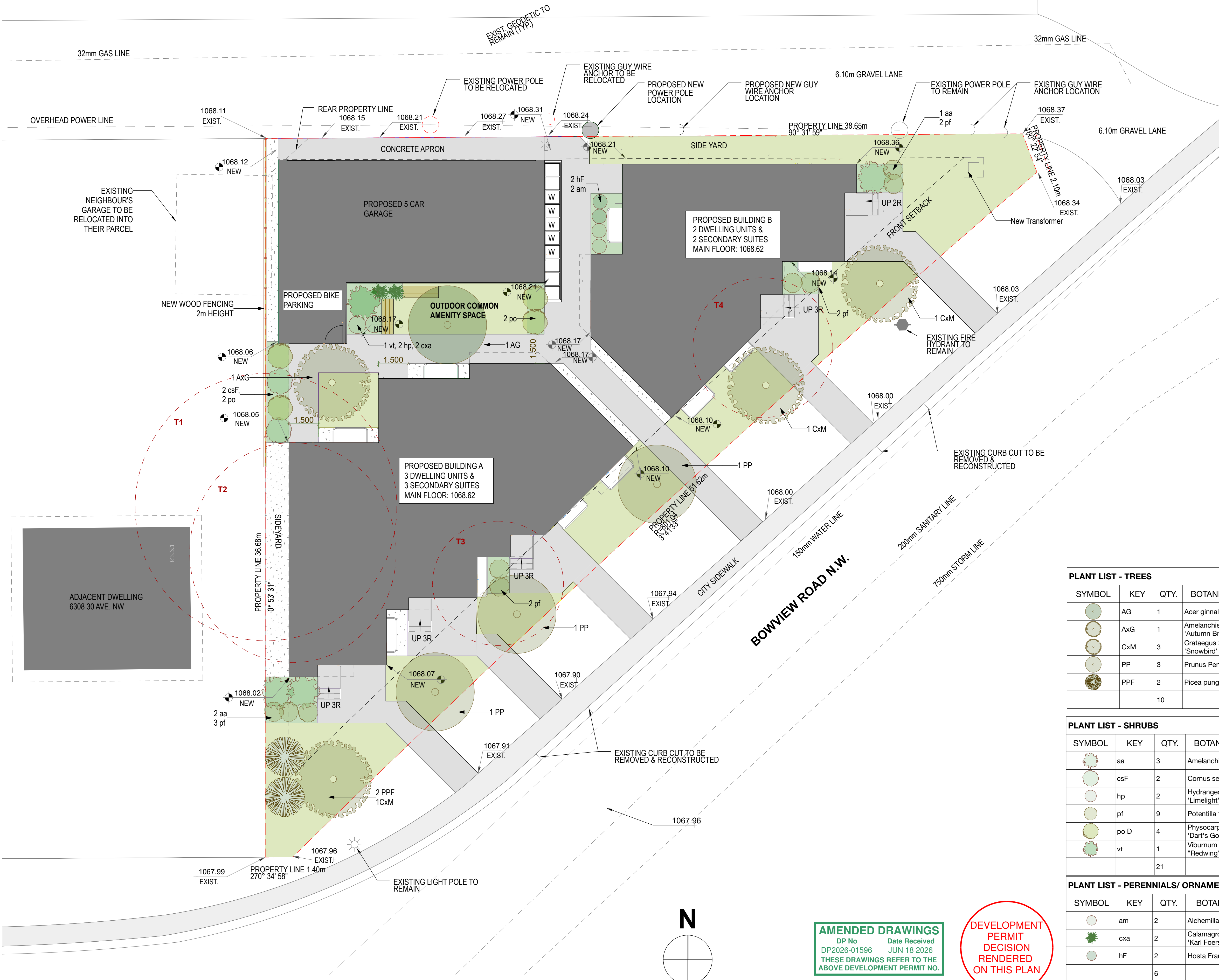
- NEW 1.50m CITY CONCRETE SIDEWALK, TYP.
- NEW 1.50m PRIVATE CONCRETE SIDEWALK, TYP.
- ACCESS TO MAIN UNIT & FRONT PORCH (WITH HOUSING NUMBER MOUNTED ON EXTERIOR WALL)
- ACCESS TO LOWER UNIT
- EXTERIOR LIGHTING (WALL MOUNTED, @7' ABOVE ADJACENT FLOOR)
- CORRUGATED METAL WINDOW WELL
- CLASS 1 BICYCLE STORAGE - 2m x 0.91m CLEAR TOTAL 5 PROVIDED
- NEW WOOD FENCING ON TIMBER RETAINING CURB - 2.0m HEIGHT
- GAS METERS
- ELECTRICAL METERS
- 2 EV CHARGING EQUIPMENTS (CAPABLE OF SUPPORTING MIN. 40 AMPS AT 240 VOLTS)
- PROPOSED PRIVATE WASTE & RECYCLE COLLECTION
- 2ND FLOOR ABOVE (CANTILEVER)
- BAY WINDOW ABOVE (PROJECTION INTO FRONT SETBACK)

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1 SITE PLAN
DP101/ 1 : 100



LANDSCAPE REQUIREMENTS

ZONING: R-CG
PARCEL AREA: 770.22m²
LANDSCAPED AREA: 361.35m²
SOFT LANDSCAPE AREA: 237.5m²
ZONING BYLAW 1P2007 PART 5 Div11.542.2:
A minimum of 30% of the landscaped area must be covered with soft surface landscaping
65.8% of landscape area is soft surface
ZONING BYLAW 1P2007 PART 5 Div1.346:
A minimum of 2 trees must be provided for each unit
5 units x 2 = 10 TREES REQUIRED
ZONING BYLAW 1P2007 PART 5 Div11.542.2:
A minimum of 1 trees and 3 shrubs must be provided for each 110sqm of parcel area
= 7 TREES + 21 SHRUBS REQUIRED
10 TREES + 21 SHRUBS PROVIDED
ALL SOFT SURFACED LANDSCAPE AREAS WILL BE IRRIGATED BY A LOW WATER IRRIGATION SYSTEM
PROPERTY SETBACKS
SETBACKS REQUIRED:
FRONT (SOUTH) = 3.0 m
REAR (NORTH) = 1.2 m
SIDE (EAST) = 1.2 m
SIDE (WEST) = 1.2 m
VEHICLE PARKING STALL
REQUIRED: 0.5 STALLS PER DWELLING UNIT
10 UNITS X 0.5 STALLS = 5 STALLS
PROVIDED: 6 STALLS
BICYCLE PARKING STALL
CLASS 1 BICYCLE PARKING STALLS
REQUIRED: 5 STALLS
PROVIDED: 5 STALLS

LEGEND

- DRAUGHT TOLERANT SOD over min. 300mm topsoil
- PLANTING BED (100mm bark mulch over 600mm topsoil)
- DECORATIVE RIVERROCK
- PEDESTRIAN CONCRETE/ SIDEWALKS
- 2m HIGH WOOD FENCE
- - - PROPERTY LINE
- - - SETBACK

EXISTING TREES TO BE REMOVED

Tree #	Type	DBH	Canopy sz	Height
T1	Deciduous	40cm	12m	10m
T2	Coniferous	70cm	10m	15m
T3	Coniferous	37cm	6m	12m
T4	Coniferous	40cm	6.5m	12m

PLANT LIST - TREES					
SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
	AG	1	Acer ginnala	Amur Maple	60cm caliper, B&B
	AxG	1	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	60cm caliper, B&B
	CxM	3	Crataegus x mordensis 'Snowbird'	Snowbird Hawthorn	60cm caliper, B&B; Mature height: 4.5m
	PP	3	Prunus pennsylvanica	Pincherry	60cm caliper, B&B
	PPF	2	Picea pungens 'Fastigiata'	Columnar Colorado Spruce	2m high, B&B
		10			

PLANT LIST - SHRUBS					
SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
	aa	3	Amelanchier alnifolia	Saskatoon	#10 container
	csF	2	Cornus sericea 'Farrow'	Arctic Fire Dogwood	#5 container
	hp	2	Hydrangea paniculata 'Limelight'	Limelight hydrangea	#2 container
	pf	9	Potentilla fruticosa	Shrubby Quincefoil	#2 container, 45cm min. height
	po D	4	Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	#5 container, min 60cm height
	vt	1	Viburnum trilobum 'Redwing'	American Highbush Cranberry	#10 container
		21			

PLANT LIST - PERENNIALS/ ORNAMENTAL GRASSES					
SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
	am	2	Alchemilla mollis	Lady's Mantle	#2 container
	cxg	2	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	#2 container
	hF	2	Hosta franciae	Francee Hosta	#2 container
		6			

no.	rev./ issued for	date
1	DEVELOPMENT PERMIT	19.03.2026
1	DEVELOPMENT PERMIT	08.06.2026

drawn	scale
-	As indicated
checked	project no.
-	26001

drawn -	scale 3/16" = 1'-0"
checked -	project no. 26001

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\\agen-250251\A_Studio\Project\2601 - Bowview Rowhouses\2601 - OPT C.rvt

MATERIALS LEGEND - EXTERIOR	
NUMBER	MATERIAL DESCRIPTION
<varies>	
01	VISION GLASS - CLEAR
02	PREFIN. MTL - DARK BRONZE
03	SYNTHETIC WOOD PLANK SIDING, VERTICAL - LIGHT BROWN
04	ACRYLIC STUCCO LIGHT GREY
05	ASPHALT ROOF SHINGLE - CHARCOAL GREY
06	BRICK - OFF WHITE
07	WOOD RAILING Q&W METAL PICKET - PAINTED - COLOUR BLACK
08	WOOD SIDING FENCE - LIGHT BROWN
09	WOOD SIDING - NATURAL BROWN
13	
WC-01	WALL COVERING AT SUITE 1

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client

OWNER

project

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NW

6304 BOWVIEW ROAD NW
CALGARY, AB

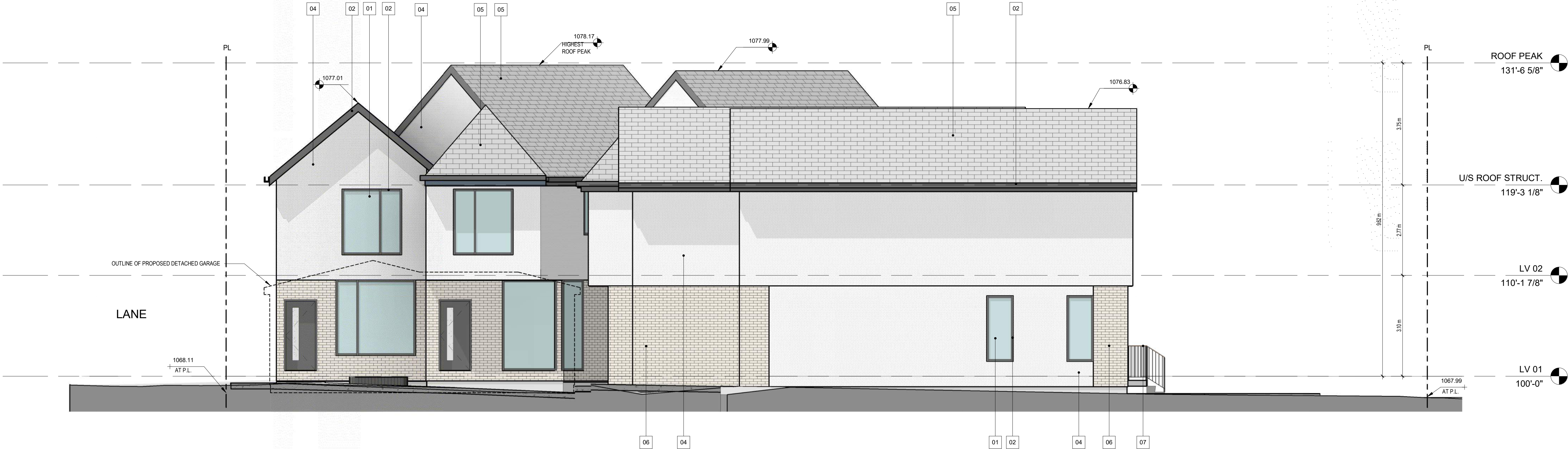
drawing title

ELEVATIONS

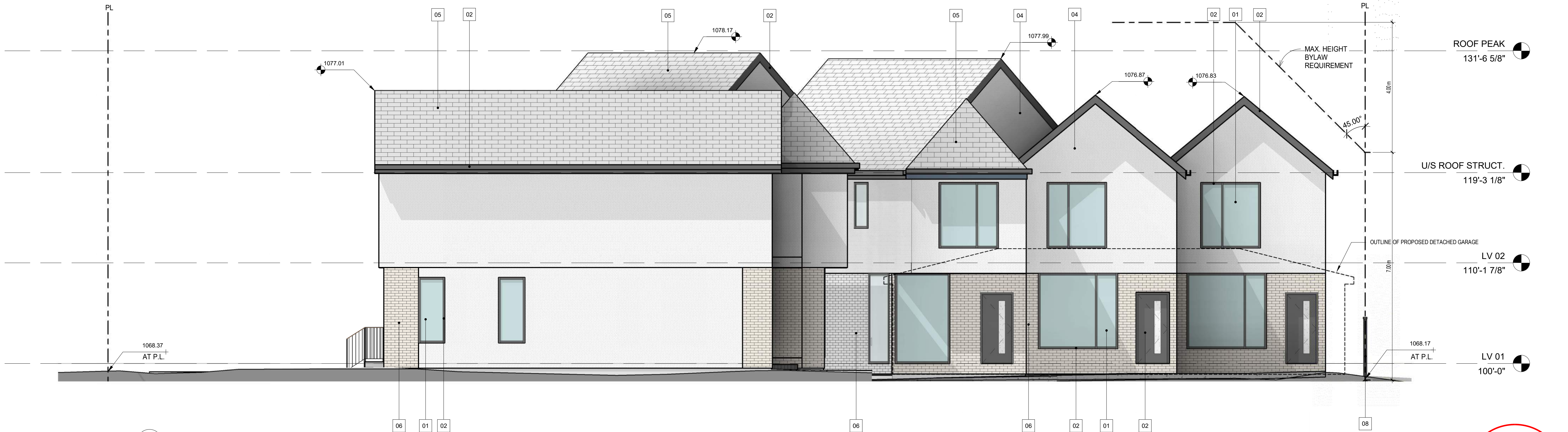
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DP402

drawn	scale
-	3/16" = 1'-0"
checked	project no.
-	26001



1 WEST ELEVATION
DP402 3/16" = 1'-0"



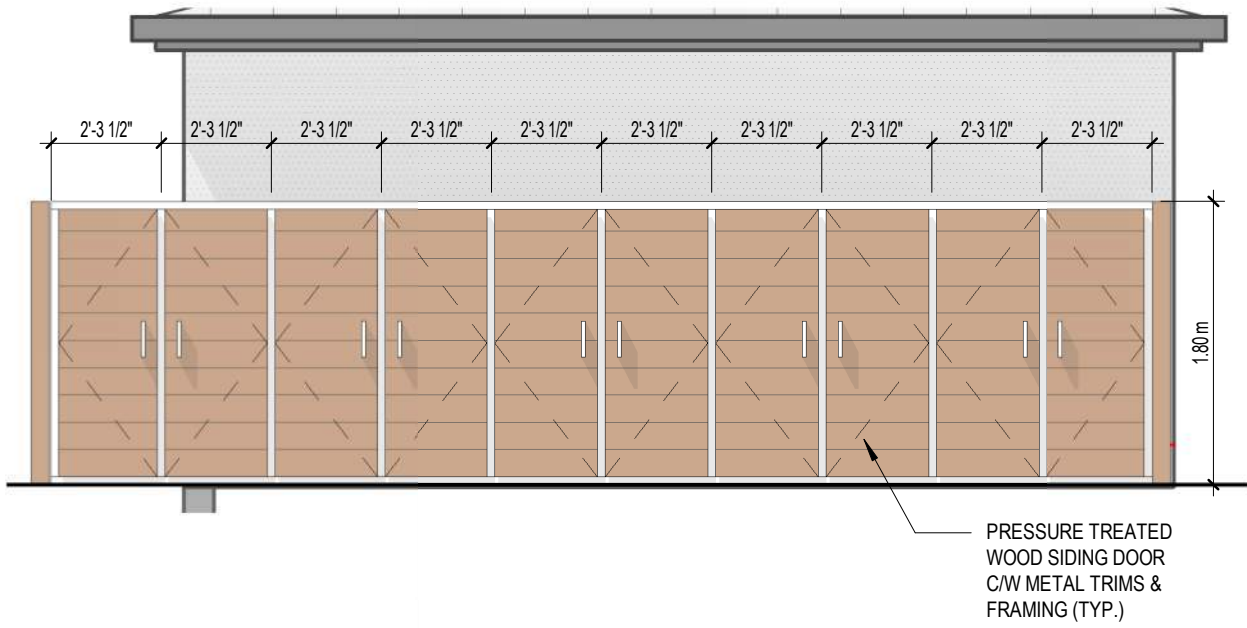
2 NORTH ELEVATION
DP402 3/16" = 1'-0"

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\\sage\cadd\2521\A_Studio\Project\2601 - Bowview Rowhouse\2601 - OFF Cmt



7 ELEVATION - WASTE & RECYCLE BINS ENCLOSURE
DP403 1/4" = 1'-0"

MATERIALS LEGEND - EXTERIOR	
NUMBER	MATERIAL DESCRIPTION
<varies>	
01	VISION GLASS - CLEAR
02	PREFIN. MTL - DARK BRONZE
03	SYNTHETIC WOOD PLANK SIDING, VERTICAL - LIGHT BROWN
04	ACRYLIC STUCCO LIGHT GREY
05	ASPHALT ROOF SHINGLE - CHARCOAL GREY
06	BRICK - OFF WHITE
07	WOOD RAILING C/W METAL PICKET - PAINTED - COLOUR BLACK
08	WOOD SIDING FENCE - LIGHT BROWN
09	WOOD SIDING - NATURAL BROWN
13	
WC-01	WALL COVERING AT SUITE 1

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6304 BOWVIEW ROAD
NW

6304 BOWVIEW ROAD NW
CALGARY, AB

drawing title

DETACHED GARAGE

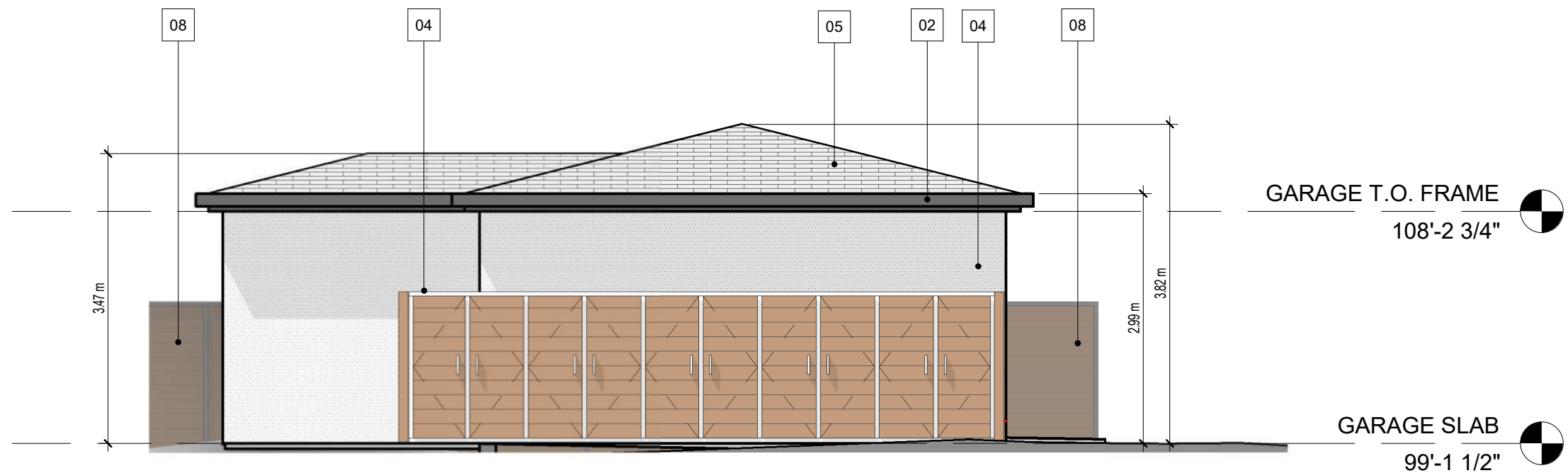
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DP403

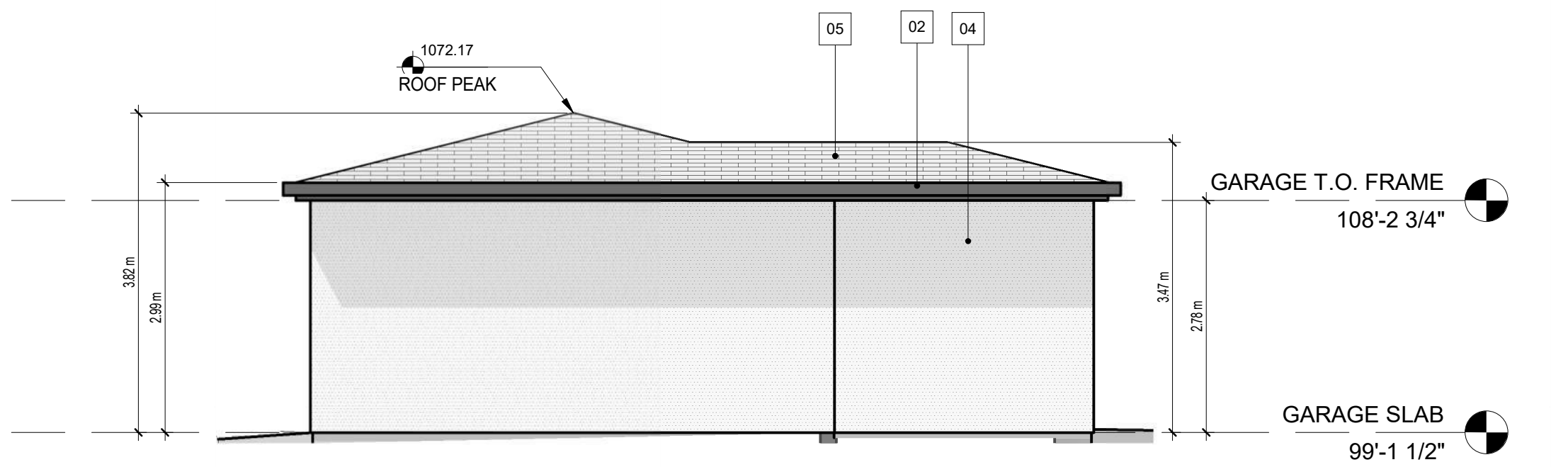
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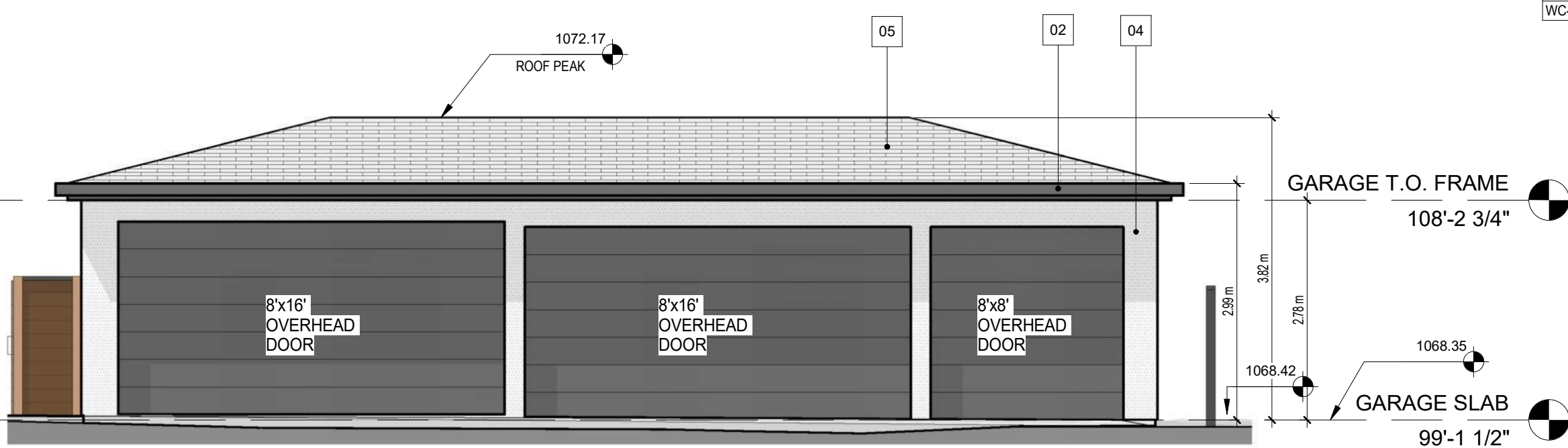
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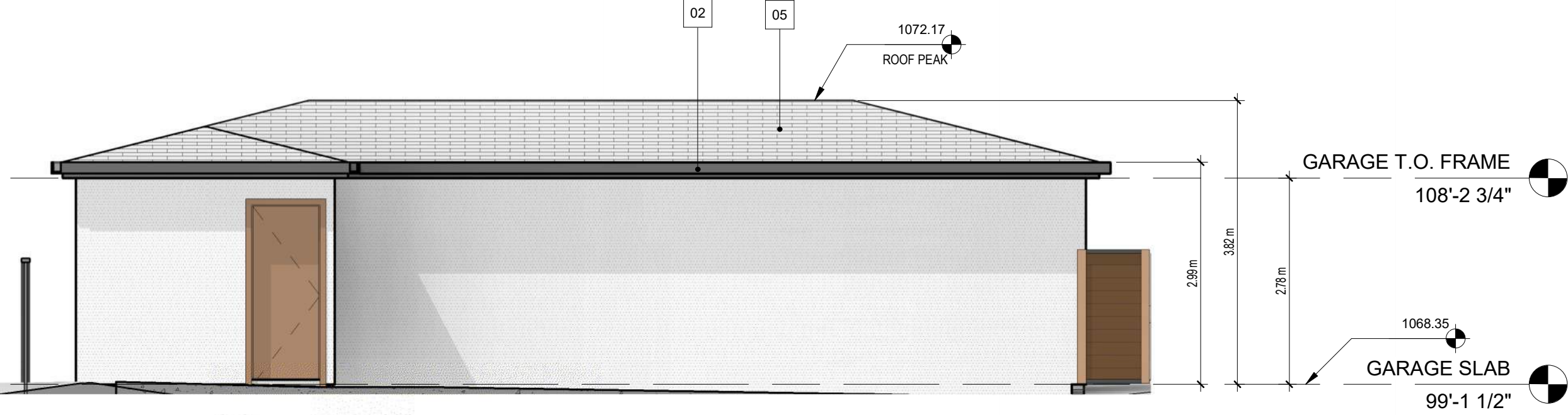
2 GARAGE - EAST ELEVATION
DP403 3/16" = 1'-0"



5 GARAGE - WEST ELEVATION
DP403 3/16" = 1'-0"



3 GARAGE - NORTH ELEVATION
DP403 3/16" = 1'-0"



4 GARAGE - SOUTH ELEVATION
DP403 3/16" = 1'-0"