



AMENDED DP - 2026-06-18

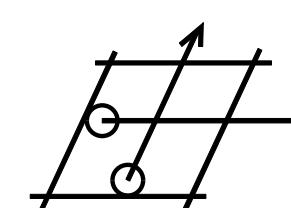
project architect

LEE
ARCHITECTURE
STUDIO INC.
ARCHITECTURE & DESIGN

landscape architect

 **KATHARINA**
KAFKA
LANDSCAPE
ARCHITECTURE

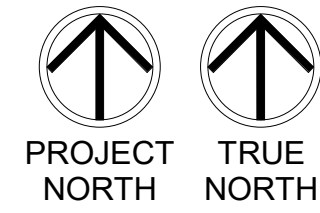
civil engineer

 **RICHVIEW**
ENGINEERING INC.
CONSULTING ENGINEERS

26001

6304 BOWVIEW ROAD NW

6304 BOWVIEW ROAD NW
CALGARY, AB



LEE ARCHITECTURE STUDIO INC.

ARCHITECTURE & DESIGN

155 Aspen Hills Close SW Calgary, AB, Canada T3H 0C7
Ph: 403-616-2762
E-mail: seaneearchitect@gmail.com

project architect

seal

consultant

permit

no.	rev / issued for	date
A	ISSUED FOR DP	26-03-19
B	AMENDED DP	26-06-18

PROJECT INFORMATION

PARCEL ADDRESS
MUNICIPAL ADDRESS: 6304 BOWVIEW ROAD NW, CALGARY, AB
LEGAL DESCRIPTION: LOT 5, BLOCK 5, PLAN 3239 GR
COMMUNITY: BOWNESS

ZONING
R-CG

PARCEL AREA
PARCEL AREA = 770.22 m²
PARCEL COVERAGE = 370.16 m²
PARCEL COVERAGE ALLOWED = 60%
TOTAL PROPOSED COVERAGE = 48.0%

DENSITY
MAXIMUM ALLOWED: 75 UNITS / ha
PROPOSED DENSITY: 65 UNITS / ha
TOTAL PROPOSED UNITS: 5 UNITS (NOT INCLUDING SECONDARY SUITES)

PROPOSED GROSS BUILDING FLOOR AREA

MAIN FLOOR: 274.09 m²
SECOND FLOOR: 288.67 m²
TOTAL GFA: 562.76 m²
FAR: 0.73

PROPERTY SETBACKS

SETBACKS REQUIRED:

FRONT (SOUTH) = 3.0 m
REAR (NORTH) = 1.2 m
SIDE (EAST) = 1.2 m
SIDE (WEST) = 1.2 m

VEHICLE PARKING STALL

REQUIRED: 0.5 STALLS PER DWELLING UNIT
10 UNITS X 0.5 STALLS = 5 STALLS
PROVIDED: 5 STALLS

BICYCLE PARKING STALL

CLASS 1 BICYCLE PARKING STALLS
REQUIRED: 5 STALLS
PROVIDED: 5 STALLS

SITE PLAN KEYNOTES

- NEW 1.50m CITY CONCRETE SIDEWALK, TYP.
- NEW 1.50m PRIVATE CONCRETE SIDEWALK, TYP.
- ACCESS TO MAIN UNIT & FRONT PORCH (WITH HOUSING NUMBER MOUNTED ON EXTERIOR WALL)
- ACCESS TO LOWER UNIT
- EXTERIOR LIGHTING (WALL MOUNTED, @7' ABOVE ADJACENT FLOOR)
- CORRUGATED METAL WINDOW WELL
- CLASS 1 BICYCLE STORAGE - 2m x 0.91m CLEAR TOTAL 5 PROVIDED
- NEW WOOD FENCING ON TIMBER RETAINING CURB - 2.0m HEIGHT
- GAS METERS
- ELECTRICAL METERS
- 2 EV CHARGING EQUIPMENTS (CAPABLE OF SUPPORTING MIN. 40 AMPS AT 240 VOLTS)
- PROPOSED PRIVATE WASTE & RECYCLE COLLECTION
- 2ND FLOOR ABOVE (CANTILEVER)
- BAY WINDOW ABOVE (PROJECTION INTO FRONT SETBACK)

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client

OWNER

project

6304 BOWVIEW ROAD NW

6304 BOWVIEW ROAD NW
CALGARY, AB

drawing title

SITE PLAN

sheet

DP101

drawn

-

scale

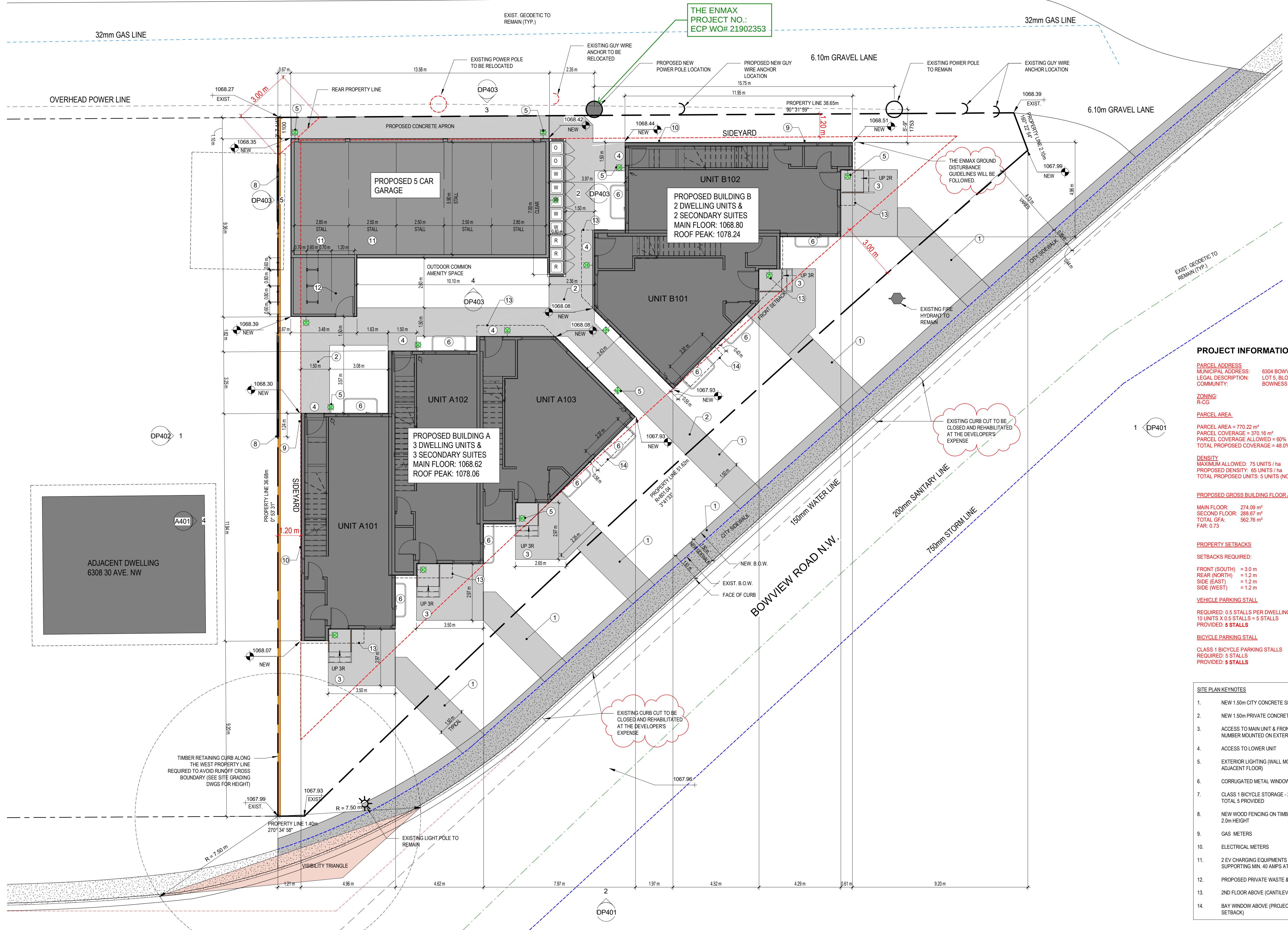
As indicated

checked

-

project no.

26001



1 SITE PLAN
DP101/ 1 : 100

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1 EAST ELEVATION DP
DP401
3/16" = 1'-0"



2 SOUTH ELEVATION
DP401
3/16" = 1'-0"

MATERIALS LEGEND - EXTERIOR	
NUMBER	MATERIAL DESCRIPTION
<varies>	
01	VISION GLASS - CLEAR
02	PREFIN. MTL - DARK BRONZE
03	SYNTHETIC WOOD PLANK SIDING, VERTICAL - LIGHT BROWN
04	ACRYLIC STUCCO LIGHT GREY
05	ASPHALT ROOF SHINGLE - CHARCOAL GREY
06	BRICK - OFF WHITE
07	WOOD RAILING COW METAL PICKET - PAINTED - COLOUR BLACK
08	WOOD SIDING FENCE - LIGHT BROWN
09	WOOD SIDING - NATURAL BROWN
13	
WC-01	WALL COVERING AT SUITE 1

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OWNER

project

6304 BOWVIEW ROAD
NW

6304 BOWVIEW ROAD NW
CALGARY, AB

drawing title

ELEVATIONS

sheet

DP401

drawn	scale
-	3/16" = 1'-0"
checked	project no.
-	26001

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MATERIALS LEGEND - EXTERIOR	
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<varies>	
01	VISION GLASS - CLEAR
02	PREFIN. MTL - DARK BRONZE
03	SYNTHETIC WOOD PLANK SIDING, VERTICAL - LIGHT BROWN
04	ACRYLIC STUCCO LIGHT GREY
05	ASPHALT ROOF SHINGLE - CHARCOAL GREY
06	BRICK - OFF WHITE
07	WOOD RAILING Q&W METAL PICKET - PAINTED - COLOUR BLACK
08	WOOD SIDING FENCE - LIGHT BROWN
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13	
WC-01	WALL COVERING AT SUITE 1

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NW

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CALGARY, AB

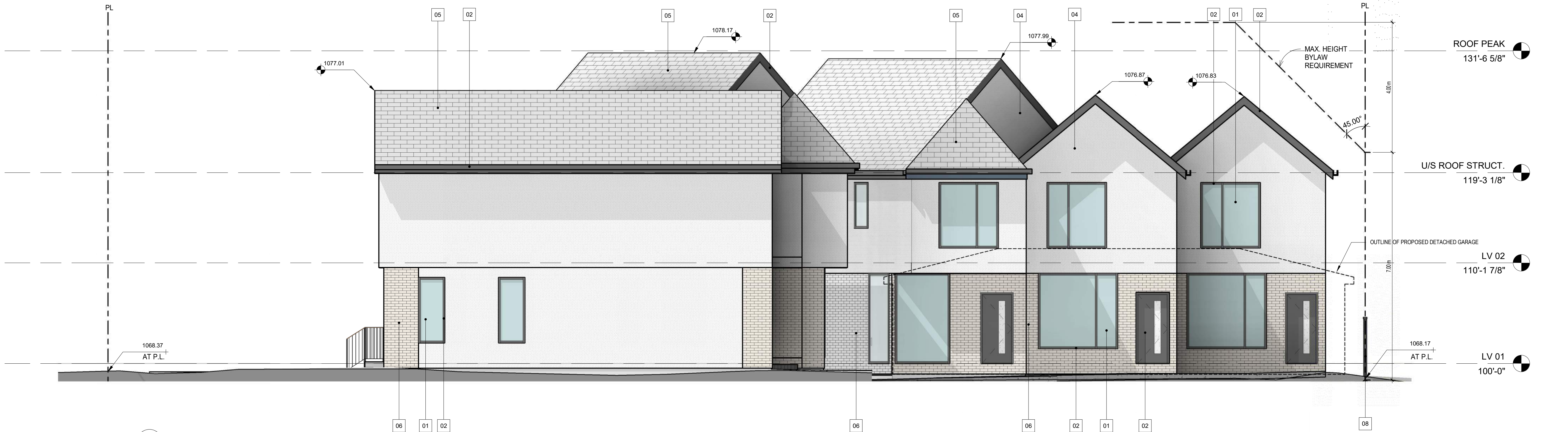
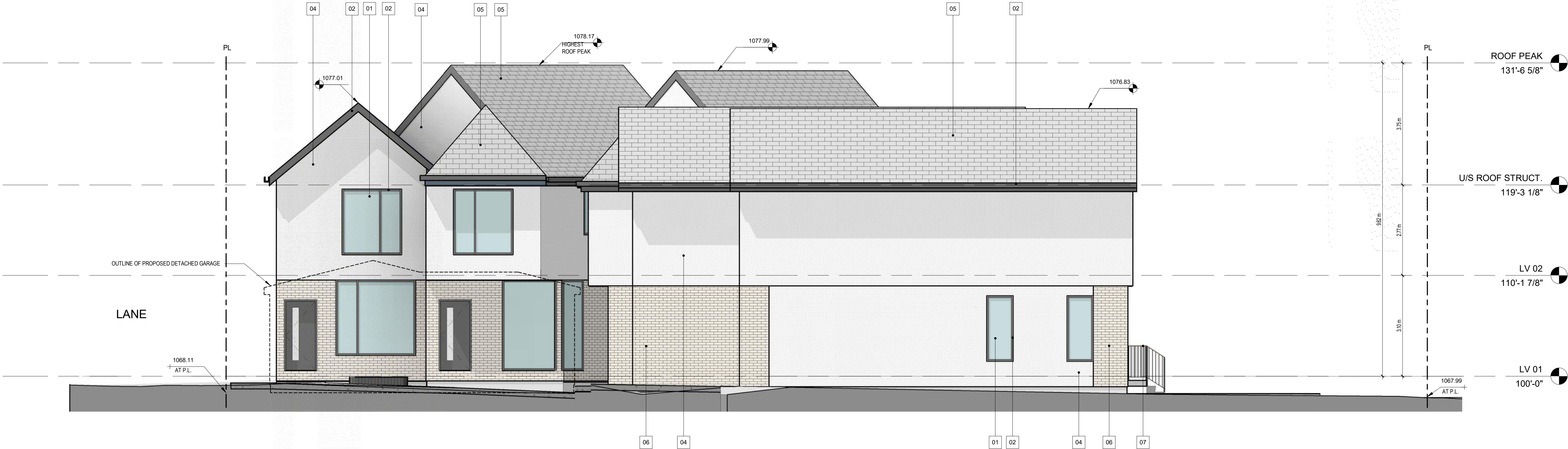
drawing title

ELEVATIONS

sheet

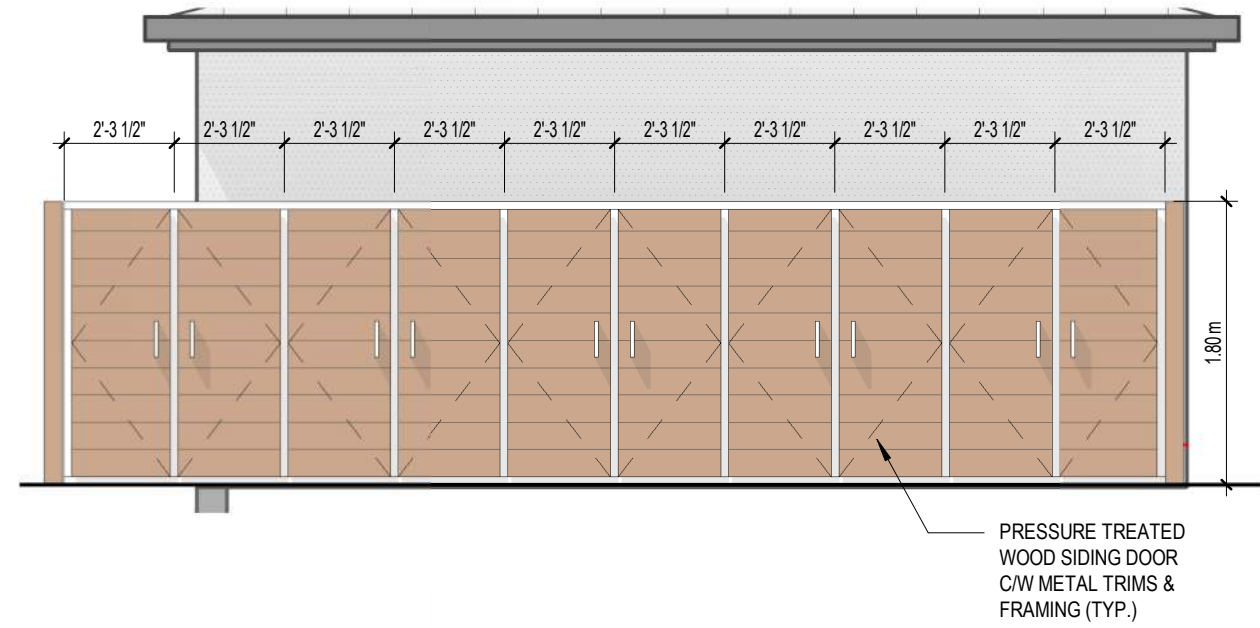
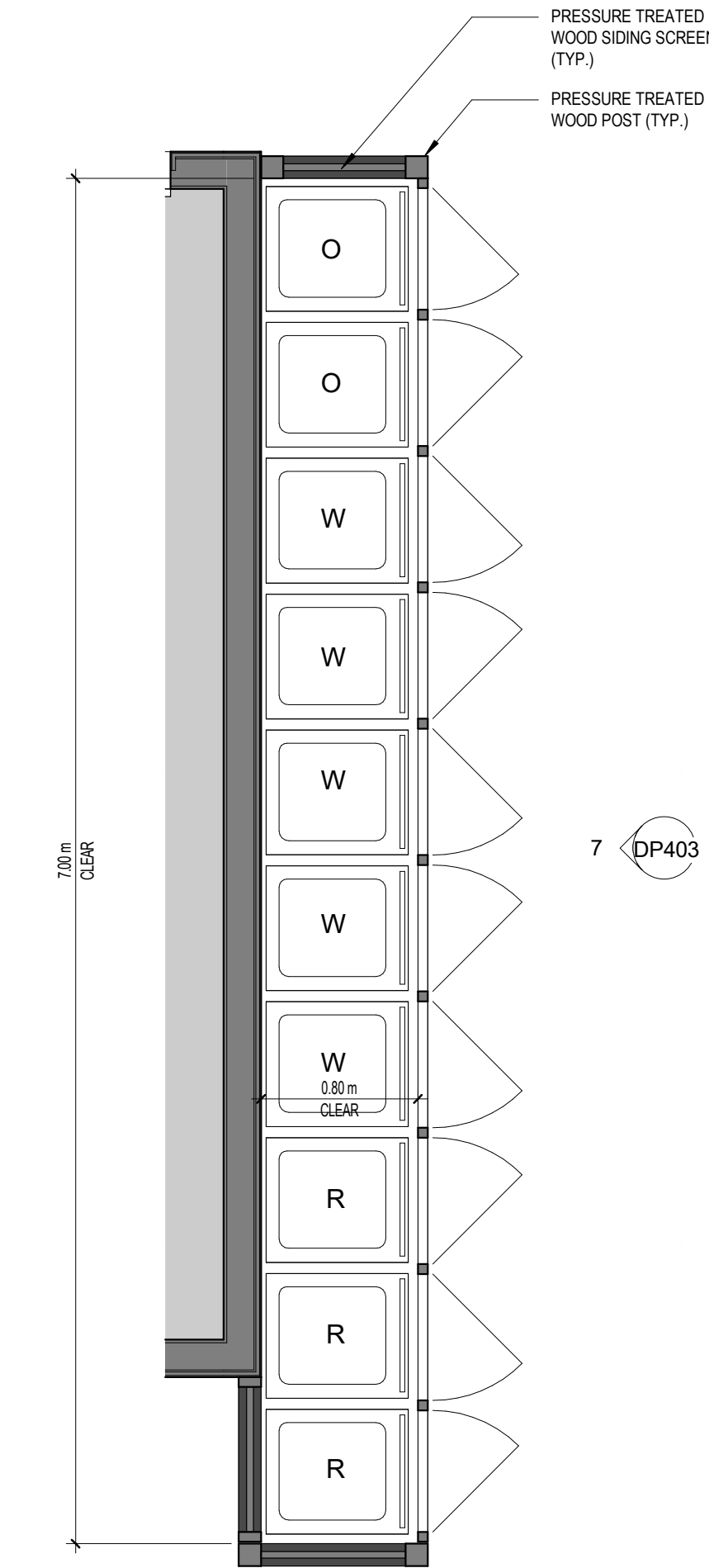
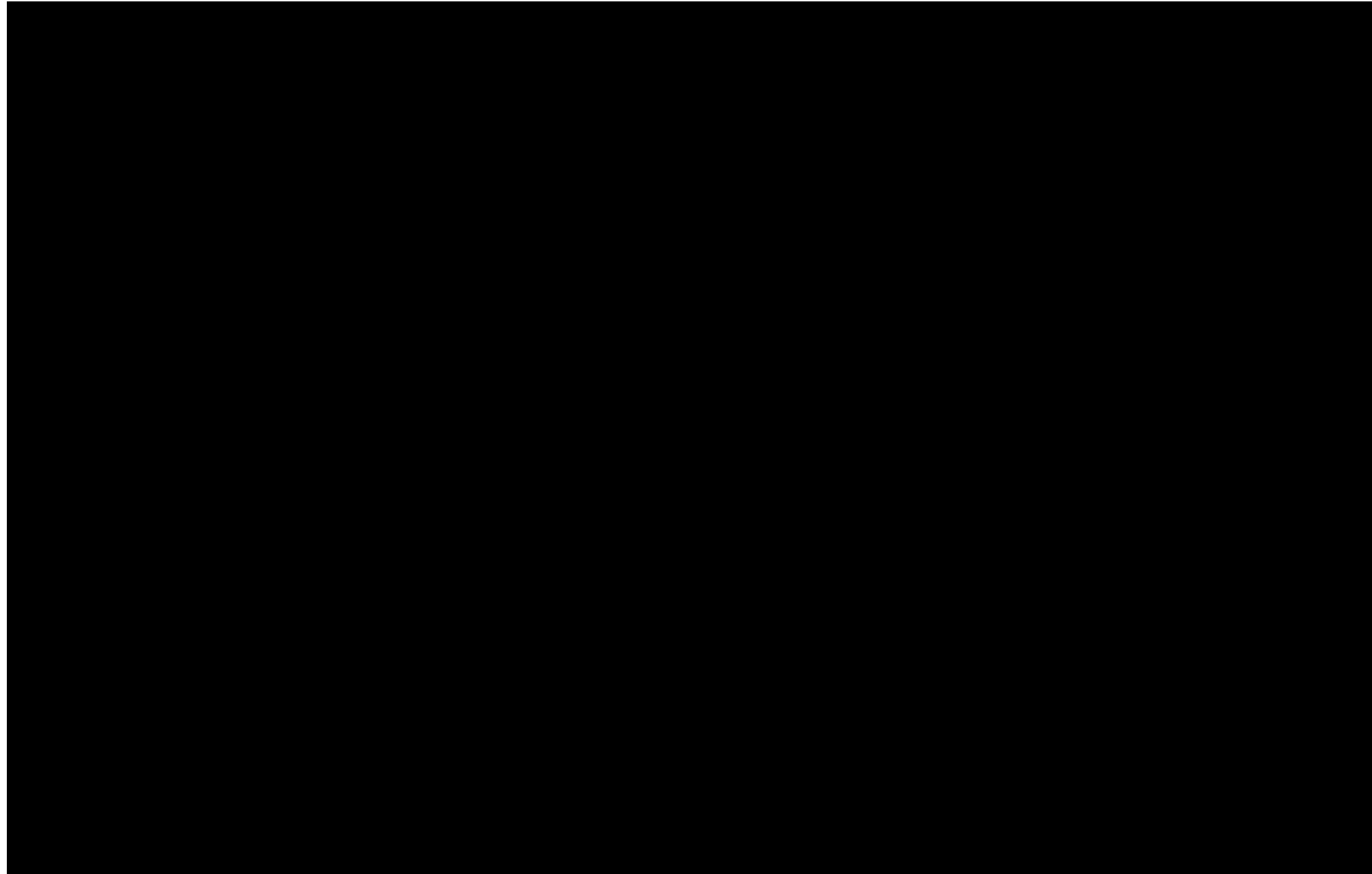
DP402

drawn	scale
-	3/16" = 1'-0"
checked	project no.
-	26001



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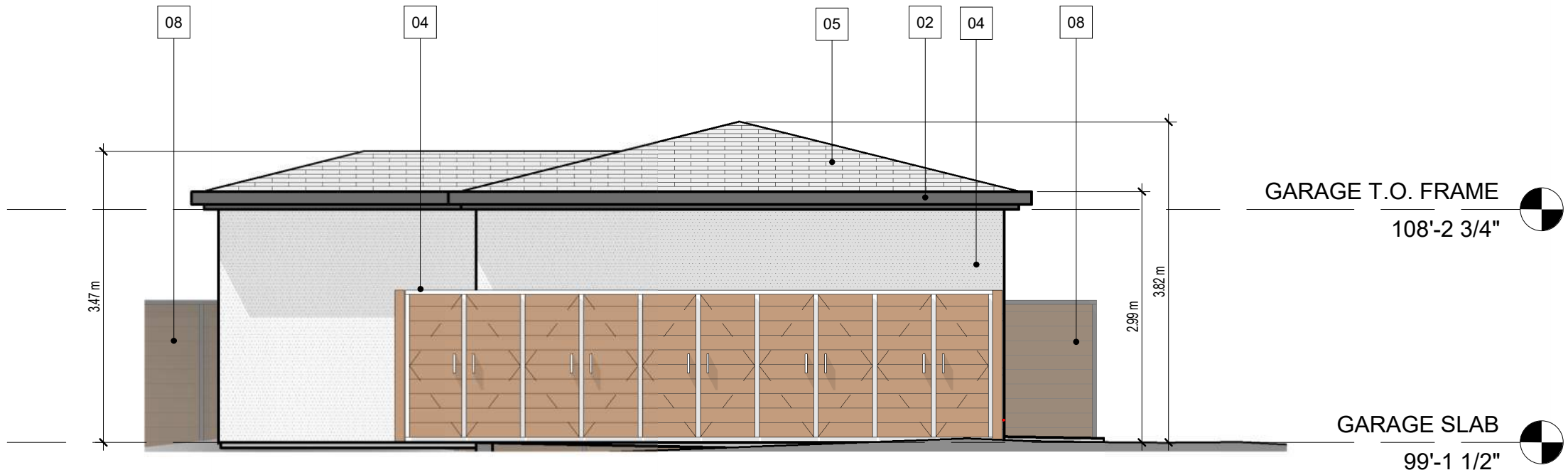
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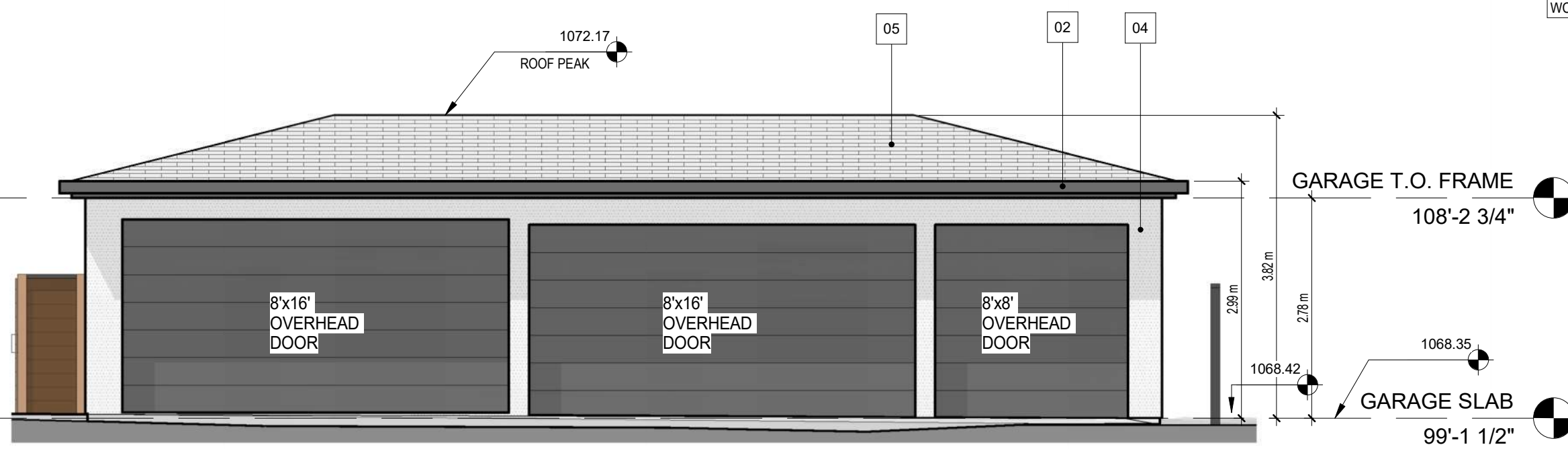
7 ELEVATION - WASTE & RECYCLE BINS ENCLOSURE
1/4" = 1'-0"

6 WASTE & RECYCLE BIN ENCLOSURE PLAN
3/8" = 1'-0"

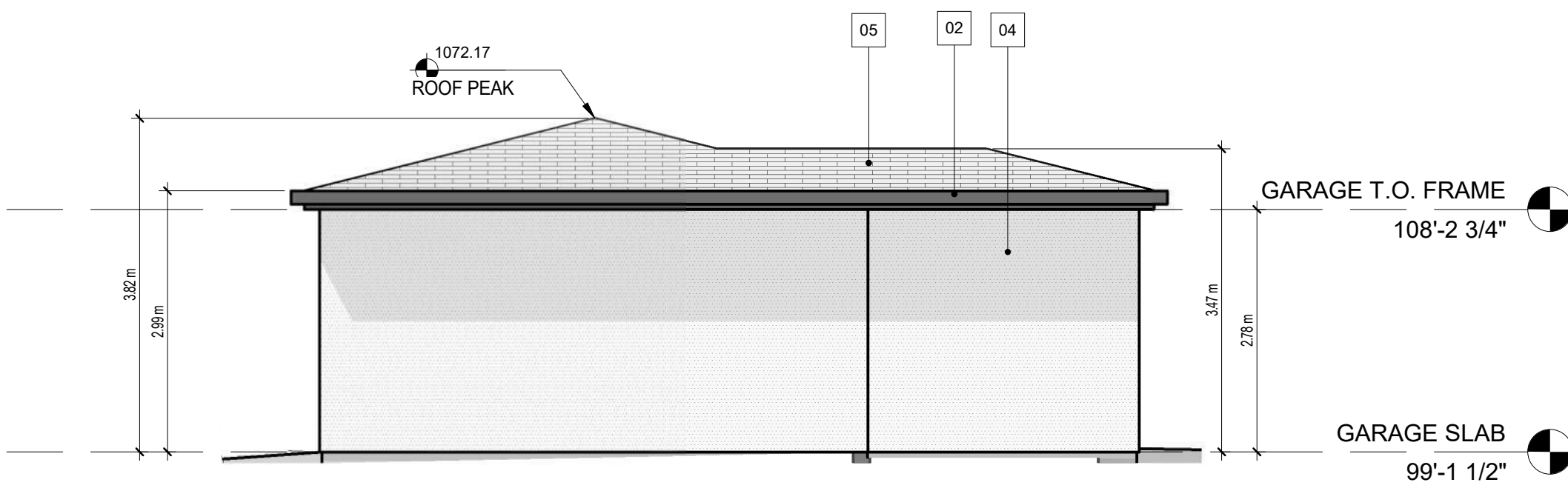
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WC-01	WALL COVERING AT SUITE 1



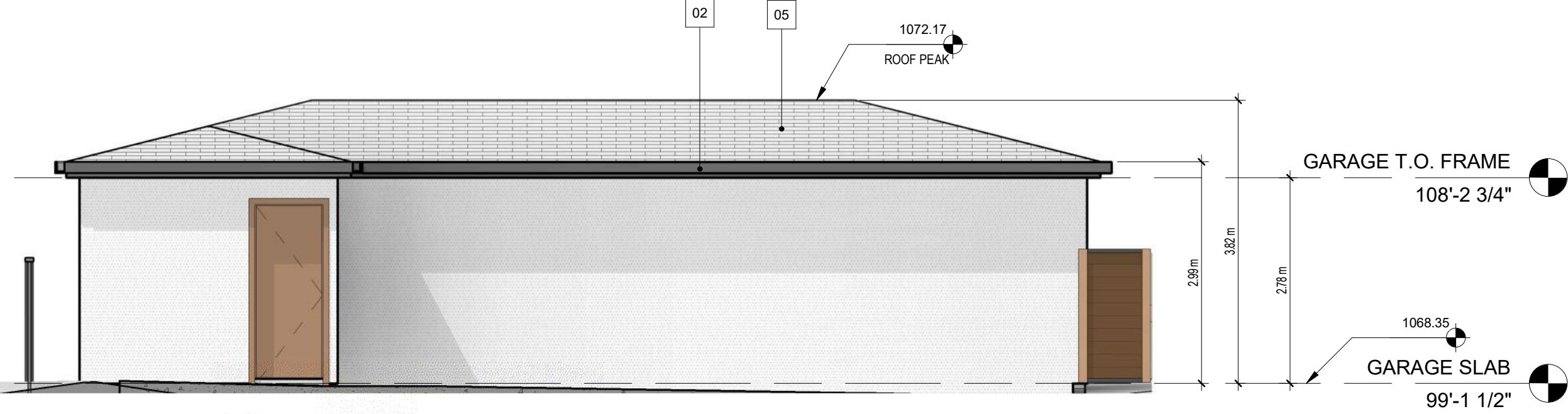
2 GARAGE - EAST ELEVATION
3/16" = 1'-0"



3 GARAGE - NORTH ELEVATION
3/16" = 1'-0"



5 GARAGE - WEST ELEVATION
3/16" = 1'-0"



4 GARAGE - SOUTH ELEVATION
3/16" = 1'-0"



PROJECT
NORTH

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OWNER

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6304 BOWVIEW ROAD
NW

6304 BOWVIEW ROAD NW
CALGARY, AB

drawing title

DETACHED GARAGE

sheet

DP403

drawn	scale
-	As indicated
checked	project no.
-	26001