

**5_PLEX
3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62 OF
LOT 2**



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-07-27

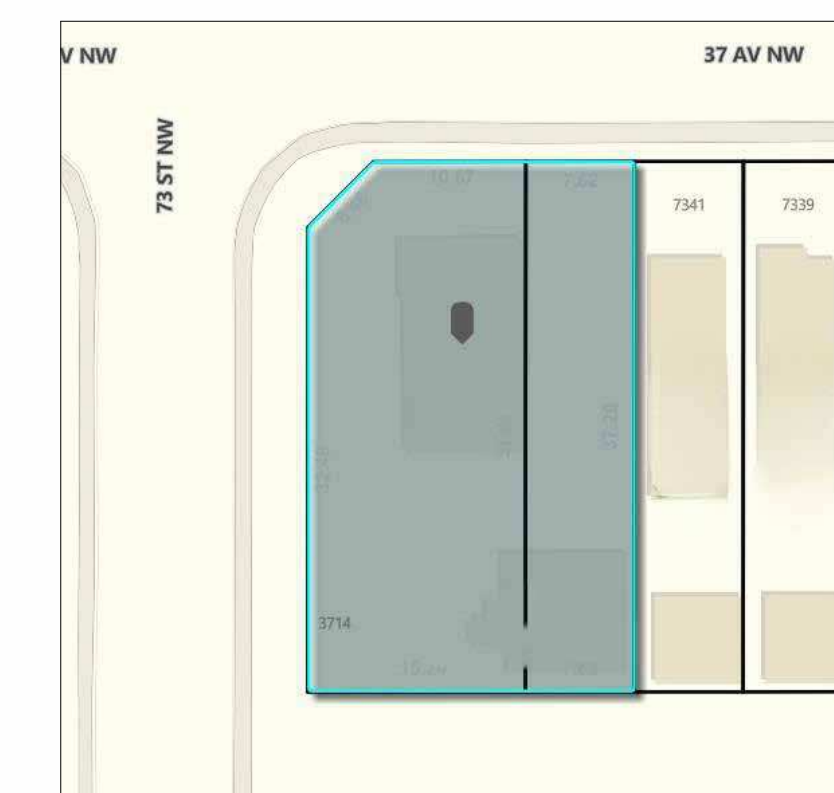


#202 - 4216 10TH STREET NE,
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

LIST OF DRAWINGS:

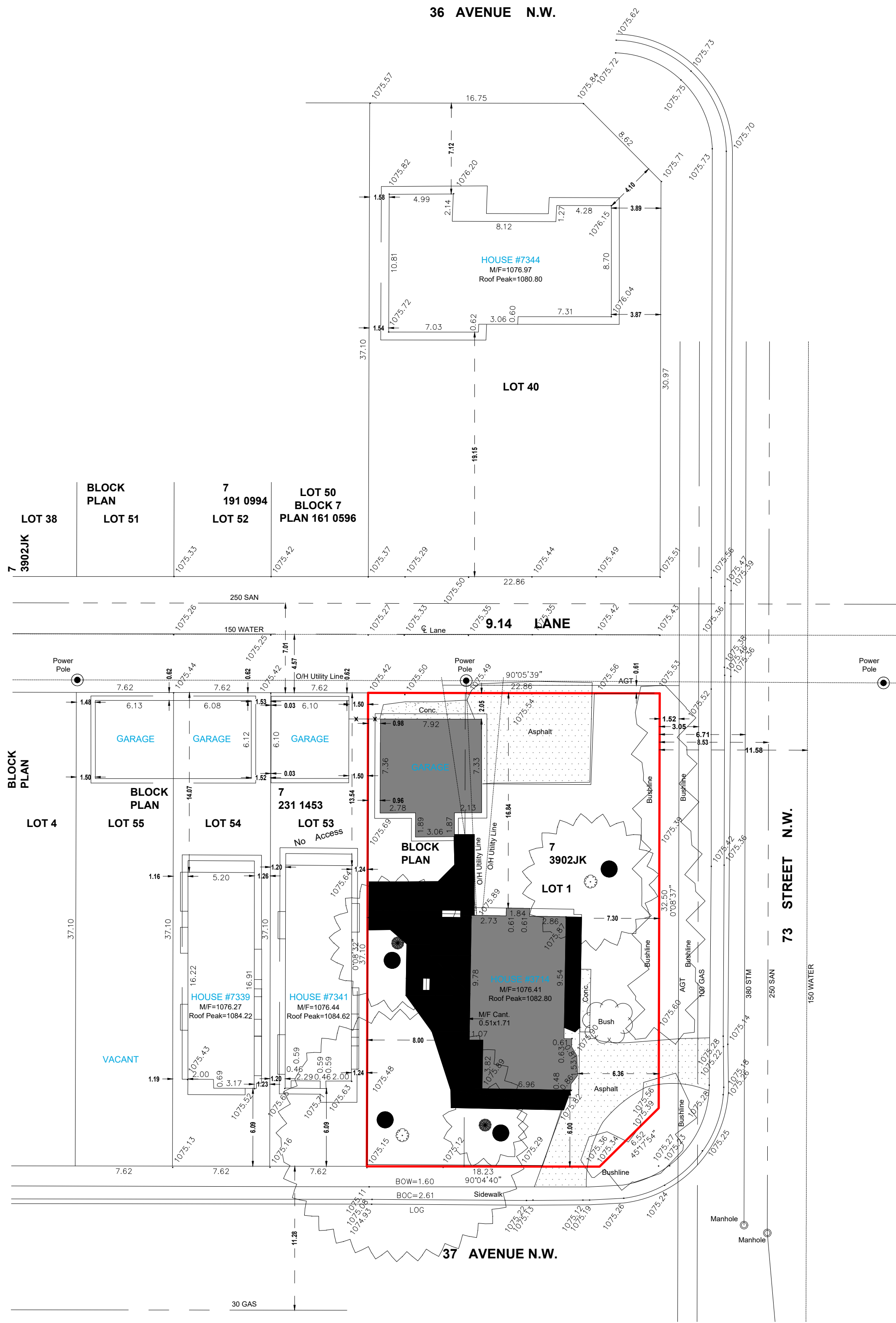
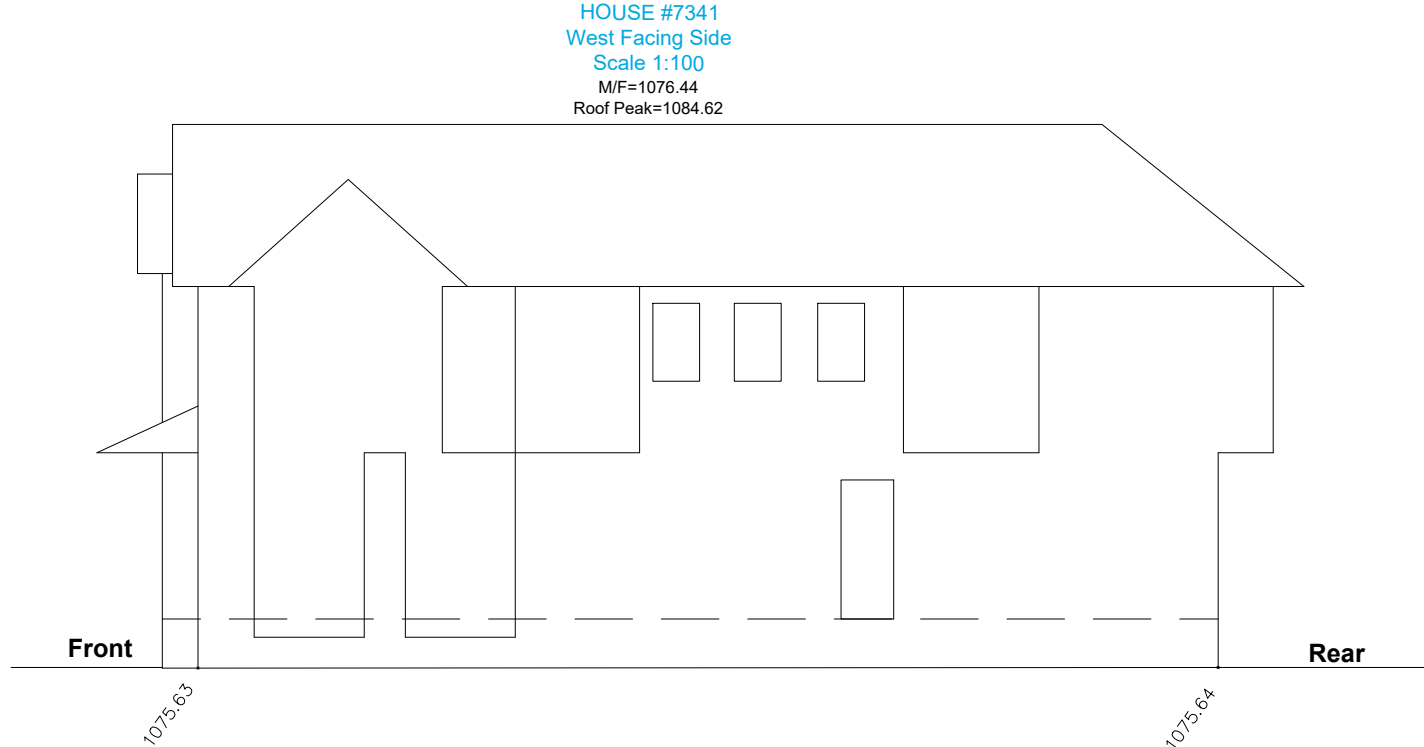
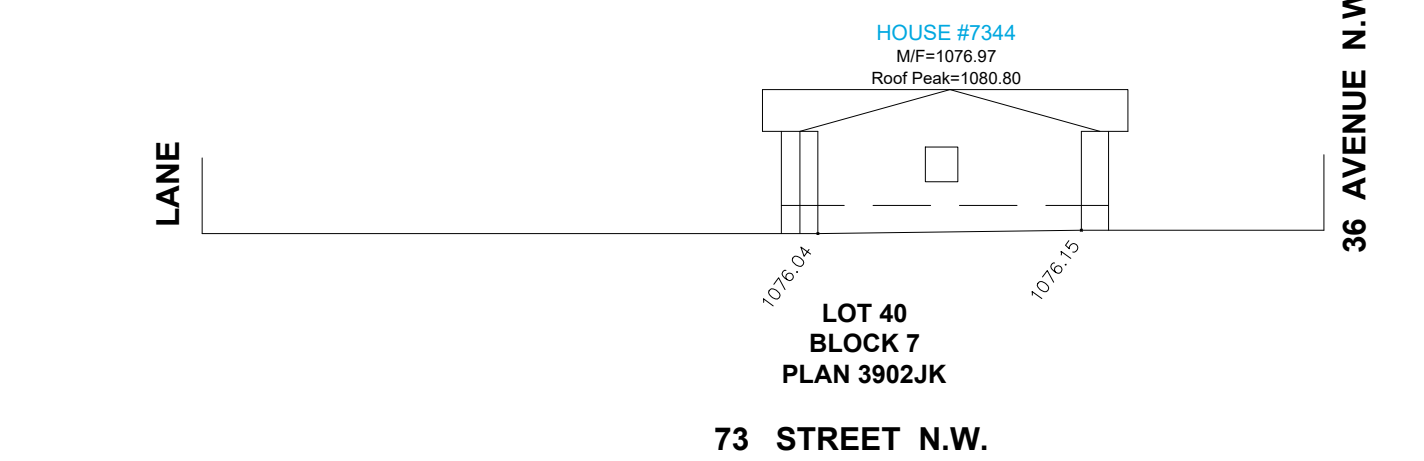
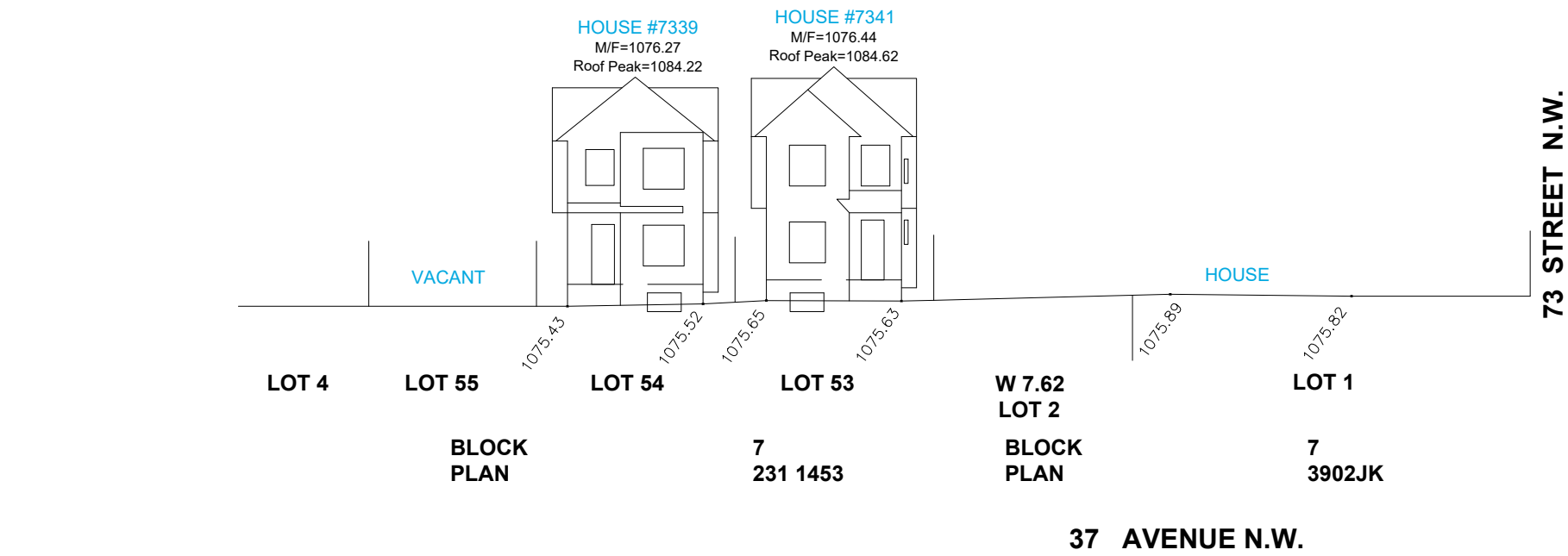
- | | |
|-------------------------------------|---|
| G-001 GENERAL NOTES | A-101 PROPOSED LEGAL SUITE AND MAIN FLOOR PLAN B-01 |
| G-002 3D SHOTS | A-102 PROPOSED UPPER FLOOR PLAN AND ROOF PLAN B-01 |
| A-001 EXISTING SURVEY | A-201 PROPOSED FRONT & REAR ELEVATIONS B-01 |
| A-002 EXISTING & PROPOSED SITE PLAN | A-202 PROPOSED RIGHT & LEFT ELEVATIONS B-01 |
| A-003 PROPOSED SITE PLAN | A-301 BUILDING SECTIONS B-01 |
| A-004 PROPOSED GRADES | A-103 PROPOSED LEGAL SUITE AND MAIN FLOOR PLAN B-02 |
| A-005 STREETScape | A-104 PROPOSED UPPER FLOOR PLAN AND ROOF PLAN B-02 |
| A-006 PROPOSED LANDSCAPE | A-203 PROPOSED FRONT & REAR ELEVATIONS B-02 |
| A-007 LANDSCAPE DETAILS | A-204 PROPOSED RIGHT & LEFT ELEVATIONS B-02 |
| A-008 CONSTRUCTION ACCESS AREA | A-302 BUILDING SECTIONS B-02 |
| A-009 APRON SECTIONS | A-401 PROPOSED ACCESSORY BUILDING (GARAGE) |
| A-010 BOULEVARD SECTIONS | |

KEY PLAN :



PROJECT NO. : 26-1038

N / R.E / N.F
MA



CITY OF CALGARY ALBERTA PLAN SHOWING SITE SURVEY AFFECTING

LOT 1 AND THE W 7.62 OF LOT
2, BLOCK 7, PLAN 3902JK
WITHIN
S.E. 1/4 SEC.34-24-2-W5M

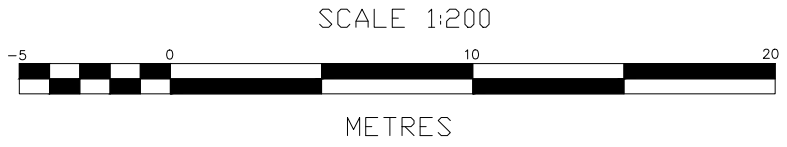
NOTES:
Distances shown are in metres and decimls thereof.
Location of underground utilities are copied from City of Calgary Block Profile sheets.
All elevations are geodetic elevations and are referred to ASGM 15752, Elevation = 1075841

PROPERTY DESCRIPTION:

CLIENT:
BAIDWAN CONSTRUCTION

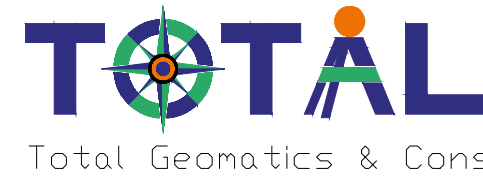
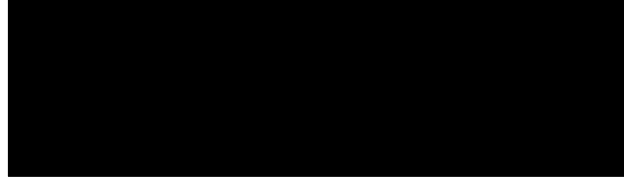
MUNICIPAL ADDRESS:
3714 - 73 STREET N.W.
CALGARY, ALBERTA

DATE OF SURVEY:
FEBRUARY 24-27, 2026



LEGEND	
Spot elevations are shown thus	
Subject Property is shown thus	
Eave Fascia is shown thus	
Fences are shown thus	
Building foundation shown thus	
Overhead Utilities shown thus	
Gas line shown thus	
Sanitary Lines shown thus	
Storm lines shown thus	
Water lines shown thus	
AGT Lines shown thus	
E.L. Lines shown thus	
Coniferous trees are shown thus	
Deciduous trees are shown thus	
Shrubs are shown thus	
Tree Canopy shown thus	
Power Poles shown thus	
Manhole shown thus	
Light Standards shown thus	
Sign shown thus	
Catch Basins shown thus	
Fire Hydrant shown thus	

TREE SCHEDULE				
Tree #	Variety	Canopy (m)	Trunk (m)	Height (m)
1	DEC	19	0.8	17
2	CON	6	0.4	17
3	CON	10	0.7	21
4	DEC	10	0.4	10



NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC.	DATE: MARCH 3, 2026
DWN BY: CD	Unit 5, 1339-40 Ave. NE, Calgary, AB, T2E 8N6	JOB NO: TG26-0046
CK'D BY: NB	Ph.: +1 403-798-1110	ACAD FILE NO: TG26-0046DP

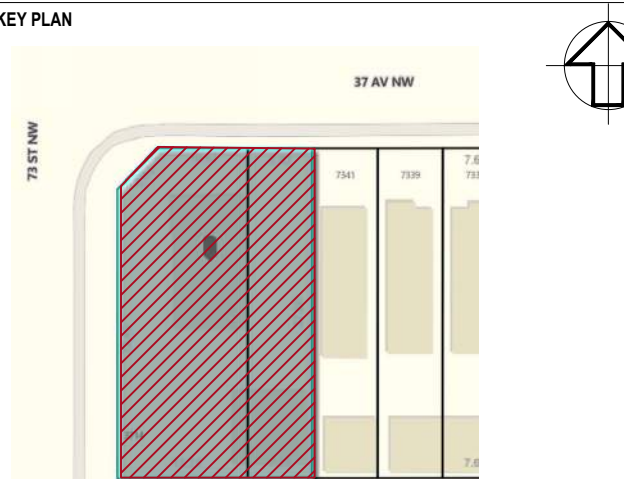
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DESIGNED BY:

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3

PHONE: (403) 303-1970
FAX: (403) 303-1990
EMAIL: info@tricordg.ca



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:				
No.	Date	Description	DRAWN By	Chk'd By
01		DTR		
02				
03				
04				
05				

ISSUES:				
No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT: **BAIDWAN CONSTRUCTION**

PROJECT: **5- PLEX BUILDING**

ADDRESS: **3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **EXISTING SURVEY**

DRAWING NO. **A-001**

PROJECT NO. : 26-0000	CHECKED BY: DRAWN BY:	DATE: 2026-07-07 SCALE: 1:250
---------------------------------	------------------------------	--

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

3714 - 73 STREET N.W. , CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 3902 JK ,BLOCK 7, LOT 1 AND THE W 7.62 OF LOT 2

WITHIN S.E. 1/4 SEC.34-24-2-W5M

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.Positions of spot elevations are approximate.

Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 837.184 m²
THE MAXIMUM COVERAGE AREA (60%) = 502.31 m²
MAX BUILDING COVERAGE = 502.31-95 = 407.31 m²
PROPOSED BUILDING COVERAGE =360.33 m²
PROPOSED BICYCLE LOCKER COVERAGE = 18.60m²
TOTAL PROPOSED COVERAGE = 378.93 m² OR 45.26% OF LOT AREA

PROJECT SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METERS.
(WINDOW WELLS AND EAVES MAY PROJECT A MAX. OF 0.80M & 0.60m IN ORDER INTO ANY SETBACK AREA)
2. MINIMUM SETBACK FROM A PROPERTY LINE SHARED WITH A LANE IS 1.2 METRES.
3. MINIMUM SETBACK FROM A PROPERTY LINE SHARED WITH ANOTHER PARCEL IS 1.2 METRES.

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

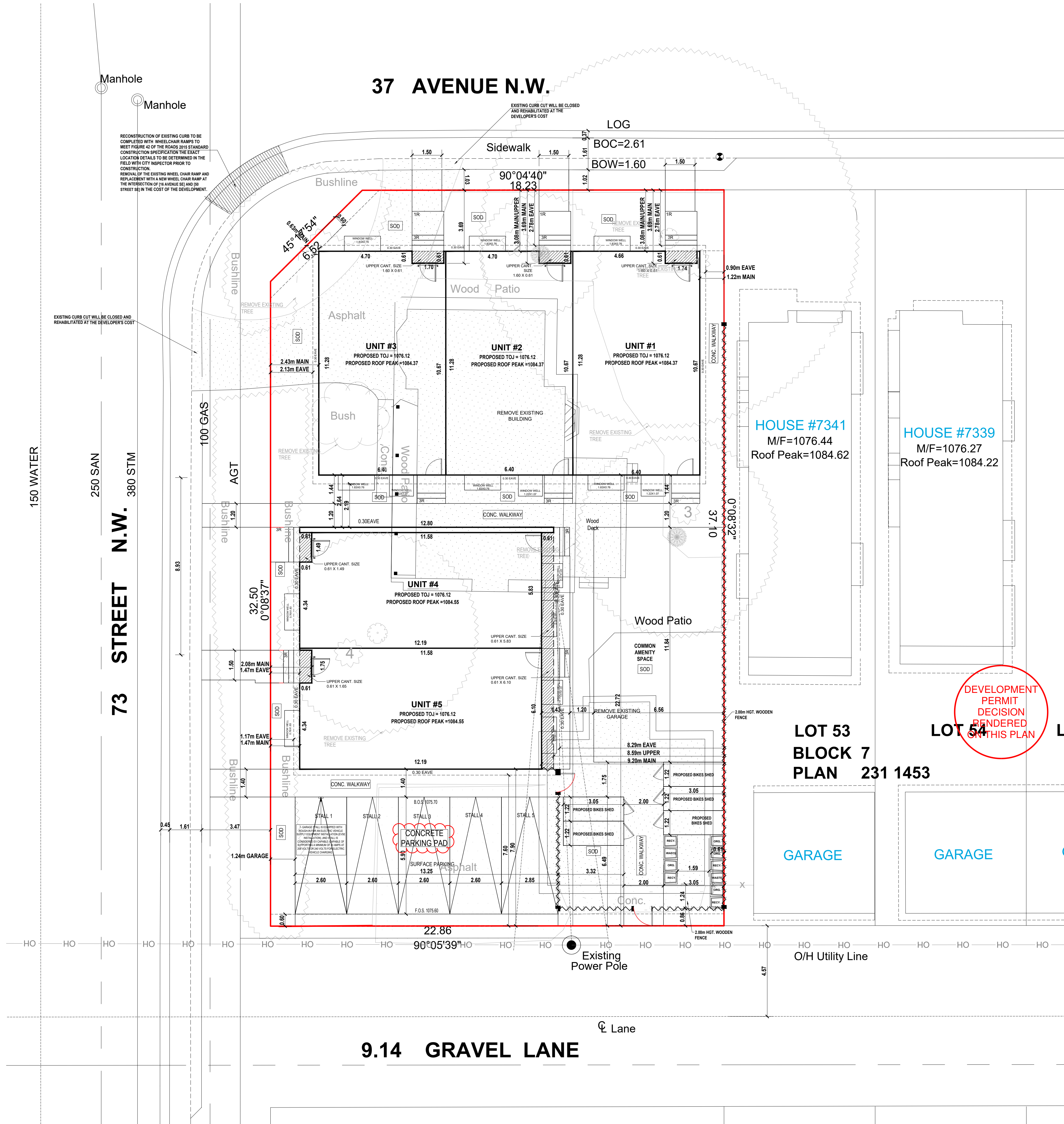
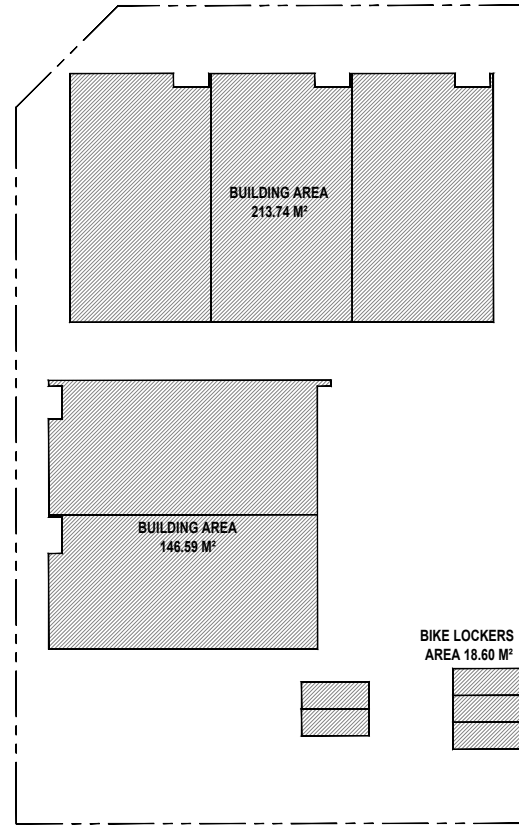
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE SCHEDULE:

Tree No.	Tree Type	Location	CASE
1	DEC	In Subject Property	REMOVED
2	CON	In Subject Property	REMOVED
3	CON	In Subject Property	REMOVED
4	DEC	In Subject Property	REMOVED

NOTES:

- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.
- FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- FOR A 1.5M MONOLITHIC SIDEWALK WITH A LOW PROFILE ROLLED CURB, THE ACTUAL SIDEWALK WIDTH IS 1.50M. REFER TO THE 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS.
- EXISTING, UNUSED DRIVEWAY / SIDEWALK CROSSINGS AND CURB CUTS ARE TO BE "CLOSED, REMOVED AND REHABILITATED AS PER THE CITY OF CALGARY 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS, AT THE EXPENSE OF THE DEVELOPER.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- A MINIMUM DEPTH OF 300MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.



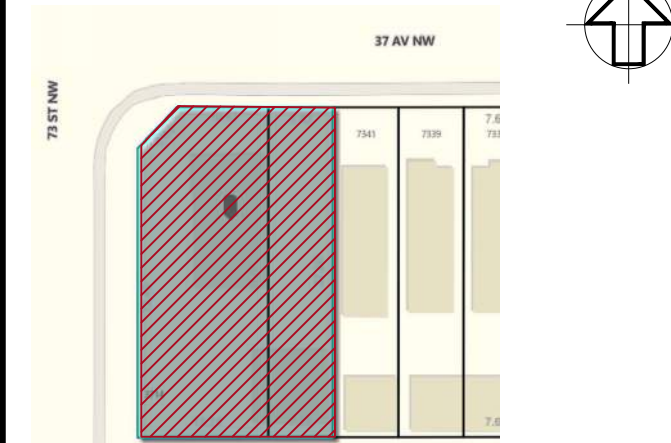
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01		DTR		
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT:

BAIDWAN CONSTRUCTION
PROJECT:
5- PLEX BUILDING
ADDRESS:
3714 - 73 STREET N.W. CALGARY, ALBERTA Plan 3902 JK ,Block 7, Lot 1 and the w 7.62 of Lot 2 within S.E. 1/4 SEC.34-24-2-W5M
DRAWING SET:
DEVELOPMENT PERMIT SET
DRAWING TITLE:
PROPOSED & EXISTING SITE PLAN
DRAWING NO.
A-002

PROJECT NO.:

26-0000	CHECKED BY:	DATE:
	DRAWN BY:	2025-07-07
		SCALE:
		1:100

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

3714 - 73 STREET N.W. , CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 3902 JK ,BLOCK 7, LOT 1 AND THE W 7.62 OF LOT 2

WITHIN S.E. 1/4 SEC.34-24-2-W5M

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.Positions of spot elevations are approximate.

Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 837.184 m²
THE MAXIMUM COVERAGE AREA (60%) = 502.31 m²
MAX BUILDING COVERAGE = 502.31-95 = 407.31 m²
PROPOSED BUILDING COVERAGE =360.33 m²
PROPOSED BICYCLE LOCKER COVERAGE = 18.60m²
TOTAL PROPOSED COVERAGE = 378.93 m² OR 45.26% OF LOT AREA

PROJECT SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METERS.
(WINDOW WELLS AND EAVES MAY PROJECT A
MAX. OF 0.80M & 0.60m IN ORDER INTO ANY SETBACK AREA)
2. MINIMUM SETBACK FROM A PROPERTY LINE SHARED
WITH A LANE IS 1.2 METRES.
3. MINIMUM SETBACK FROM A PROPERTY LINE SHARED WITH
ANOTHER PARCEL IS 1.2 METRES.

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING
EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF
EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

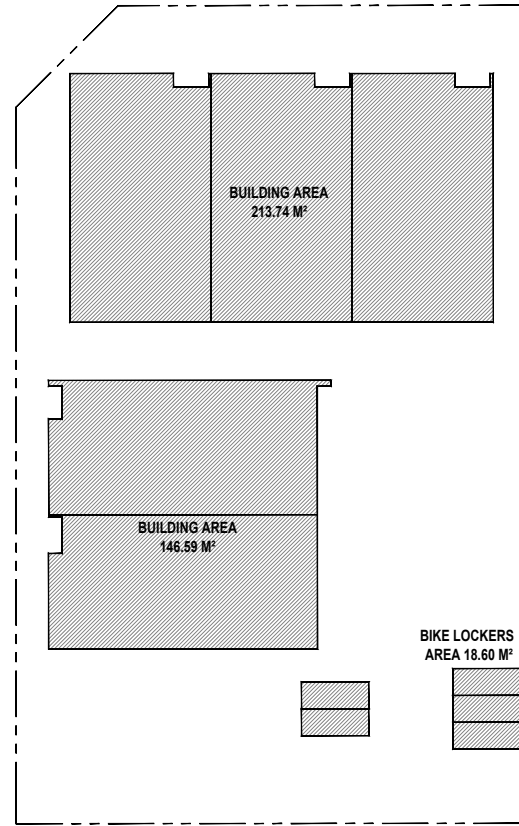
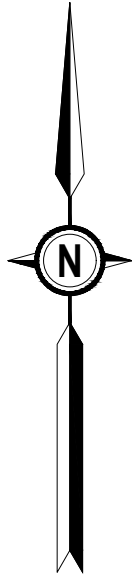
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE SCHEDULE:

Tree No.	Tree Type	Location	CASE
1	DEC	In Subject Property	REMOVED
2	CON	In Subject Property	REMOVED
3	CON	In Subject Property	REMOVED
4	DEC	In Subject Property	REMOVED

NOTES:

- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.
- FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- FOR A 1.5M MONOLITHIC SIDEWALK WITH A LOW PROFILE ROLLED CURB, THE ACTUAL SIDEWALK WIDTH IS 1.50M. REFER TO THE 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS.
- EXISTING, UNUSED DRIVEWAY / SIDEWALK CROSSINGS AND CURB CUTS ARE TO BE "CLOSED, REMOVED AND REHABILITATED AS PER THE CITY OF CALGARY 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS, AT THE EXPENSE OF THE DEVELOPER.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- A MINIMUM DEPTH OF 300MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.

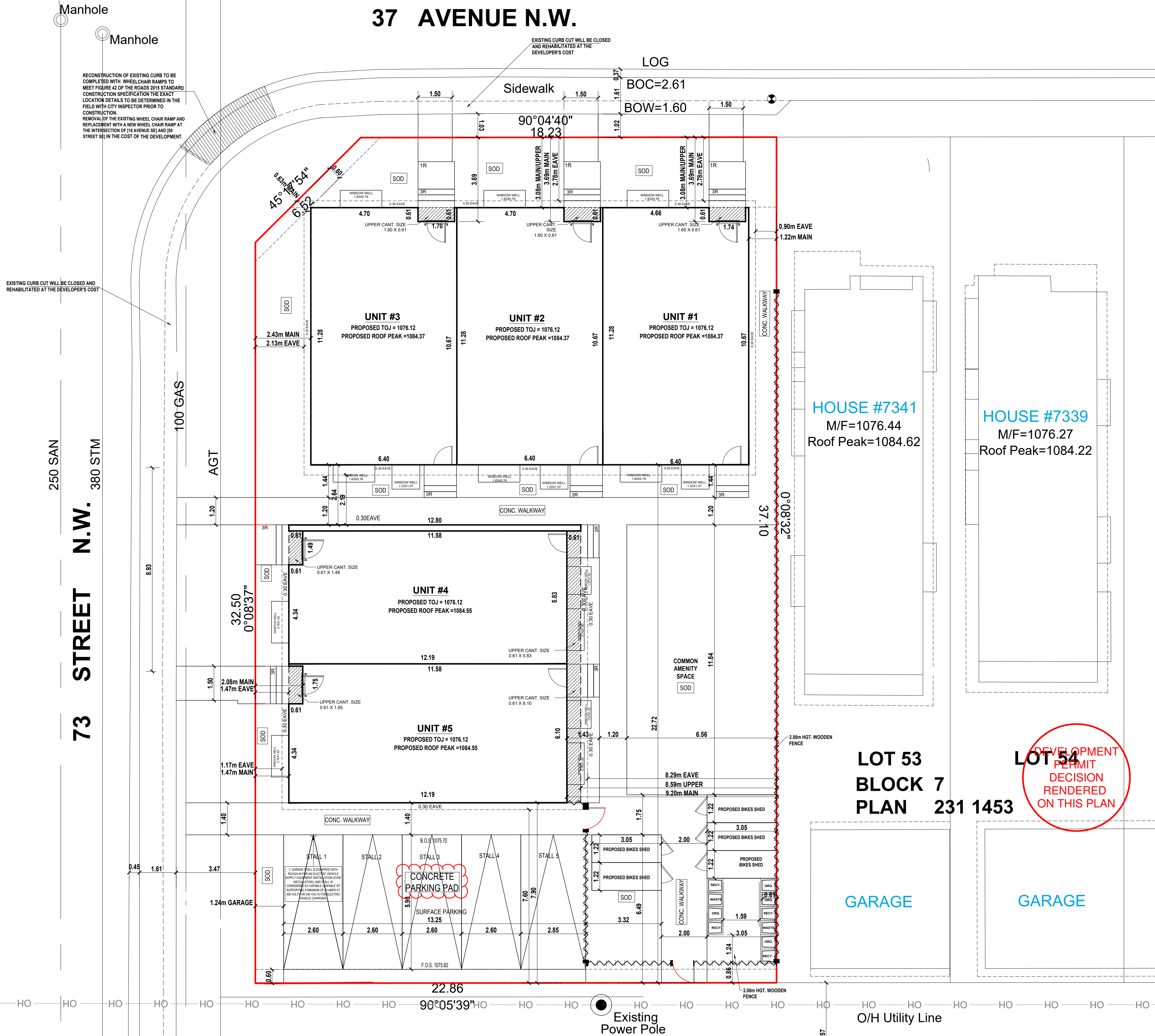


150 WATER

250 SAN

73 STREET N.W. 380 STM

37 AVENUE N.W.



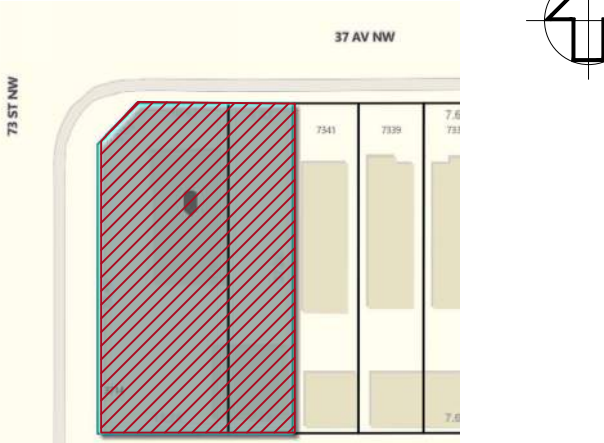
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS
MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT
REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY
RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL
BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER
AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT
AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF
THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR
PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT
PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY
PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS
ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A
LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE,
AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS,
OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO
TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE
OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND
TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF
TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY
CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE
CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED
ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE
OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01		DTI		
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT:

BABDWAN CONSTRUCTION

PROJECT:

5- PLEX BUILDING

ADDRESS:

3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED SITE PLAN

DRAWING NO.

A-003

PROJECT NO.:

26-0000

CHECKED BY:

DATE:

2025-07-07

DRAWN BY:

SCALE:

1:100

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

3714 - 73 STREET N.W. , CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 3902 JK ,BLOCK 7, LOT 1 AND THE W 7.62 OF LOT 2

WITHIN S.E. 1/4 SEC.34-24-2-W5M

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.Positions of spot elevations are approximate.

Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 837.184 m²
THE MAXIMUM COVERAGE AREA (60%) = 502.31 m²
MAX BUILDING COVERAGE = 502.31-95 = 407.31 m²
PROPOSED BUILDING COVERAGE =360.33 m²
PROPOSED BICYCLE LOCKER COVERAGE = 18.60m²
TOTAL PROPOSED COVERAGE = 378.93 m² OR 45.26% OF LOT AREA

PROJECT SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METERS.
(WINDOW WELLS AND EAVES MAY PROJECT A
MAX. OF 0.80m & 0.60m IN ORDER INTO ANY SETBACK AREA)
2. MINIMUM SETBACK FROM A PROPERTY LINE SHARED
WITH A LANE IS 1.2 METRES.
3. MINIMUM SETBACK FROM A PROPERTY LINE SHARED WITH
ANOTHER PARCEL IS 1.2 METRES.

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING
EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF
EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

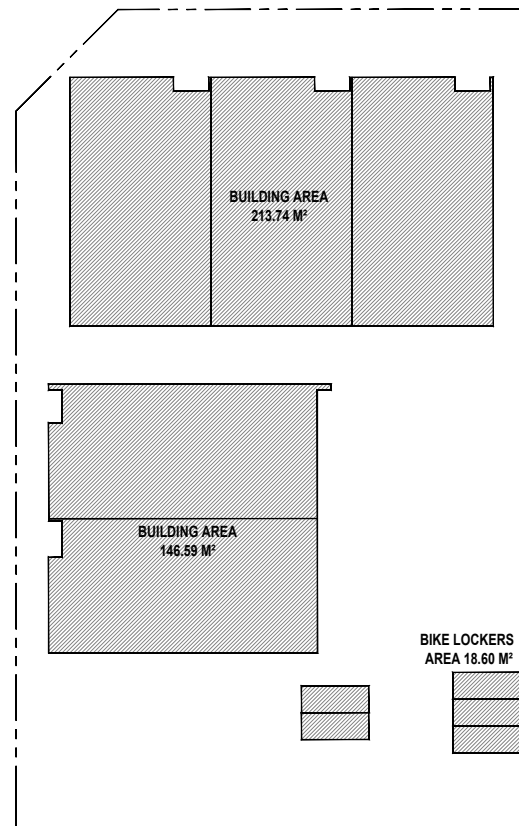
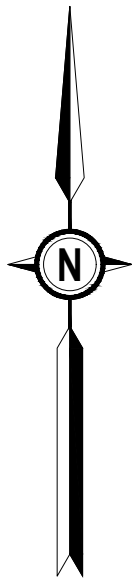
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE SCHEDULE:

Tree No.	Tree Type	Location	CASE
1	DEC	In Subject Property	REMOVED
2	CON	In Subject Property	REMOVED
3	CON	In Subject Property	REMOVED
4	DEC	In Subject Property	REMOVED

NOTES:

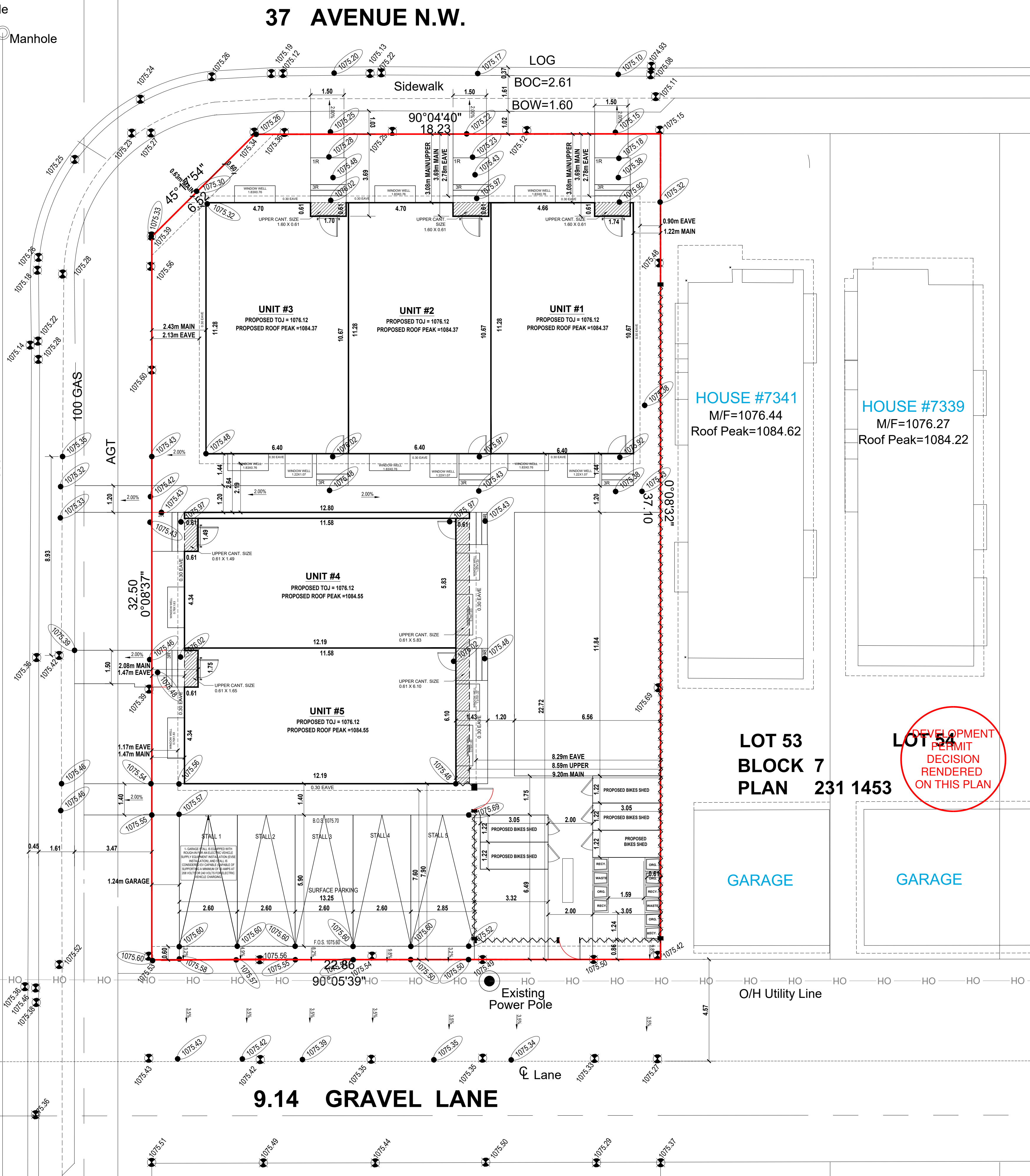
- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.
- FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- FOR A 1.5M MONOLITHIC SIDEWALK WITH A LOW PROFILE ROLLED CURB, THE ACTUAL SIDEWALK WIDTH IS 1.50M. REFER TO THE 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS.
- EXISTING, UNUSED DRIVEWAY / SIDEWALK CROSSINGS AND CURB CUTS ARE TO BE "CLOSED, REMOVED AND REHABILITATED AS PER THE CITY OF CALGARY 2021 ROADS CONSTRUCTION STANDARD SPECIFICATIONS, AT THE EXPENSE OF THE DEVELOPER.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- A MINIMUM DEPTH OF 300MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.



150 WATER

250 SAN
380 STM
73 STREET N.W.

37 AVENUE N.W.



HOUSE #7341
M/F=1076.44
Roof Peak=1084.62

HOUSE #7339
M/F=1076.27
Roof Peak=1084.22

LOT 53
BLOCK 7
PLAN 231 1453

LOT 54
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

GARAGE

GARAGE

DESIGNED BY:

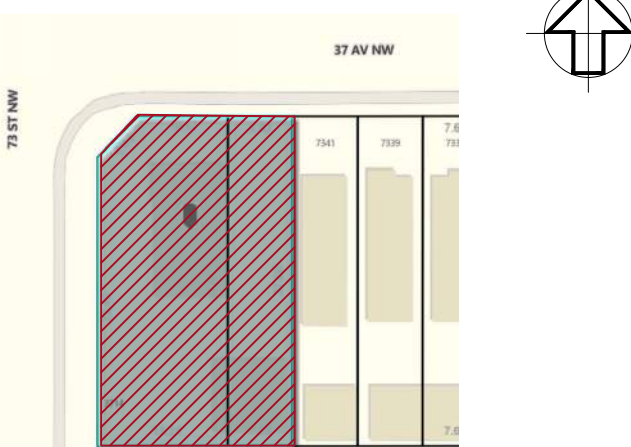


RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB.
T2E 6K3

PHONE: (403) 203-1970
FAX: (403) 203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS
MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT
REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY
RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL
BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER
AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT
AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF
THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR
PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT
PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY
PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS
ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A
LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE,
AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS,
OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO
TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE
OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND
TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF
TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY
CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE
CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED
ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE
OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01		DTI		
02				
03				
04				
05				

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT:

BAIDWAN CONSTRUCTION

PROJECT:

5- PLEX BUILDING

ADDRESS:

**3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED GRADES

DRAWING NO.

A-004

PROJECT NO.:

26-0000

CHECKED BY:

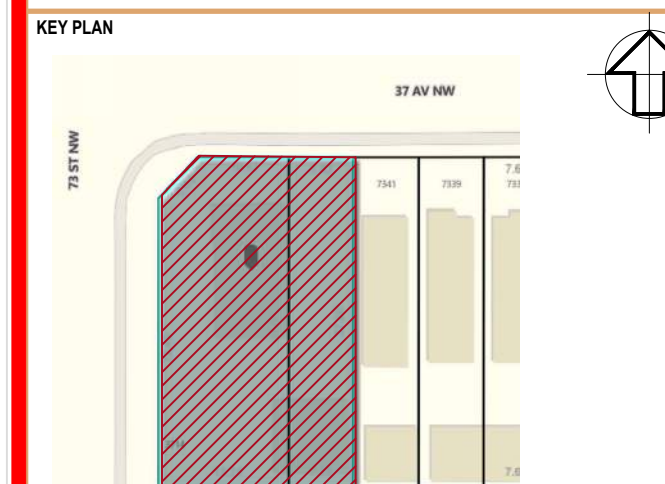
2025-07-07

DATE:

2025-07-07

SCALE:

1:100



NOTE

- DRAWINGS ARE NOT TO BE SCALED;

- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION;

- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND OWNER ARE FULLY RESPONSIBLE;

- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE, 2023 - ADOPTED EDITION, AND ALL OTHER APPLICABLE LAWS AND JURISDICTION;

- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF ANY PART OF THESE PLANS OR ANY RELATED MATERIALS WITHOUT THE PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITH WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.

- ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE FILES, EXCEPT FOR THE LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE AND ONLY ONE DWELLING, DRAWINGS ARE NOT TO BE SCALED; ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION PRIOR TO THE COMMENCEMENT OF ANY STAGE OF CONSTRUCTION. THE BUILDER AND OWNER ARE FULLY RESPONSIBLE AND TRICOR DESIGN GROUP INC. MUST PROVIDE WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO MAKE ANY CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY SUCH CASE.

REVISIONS:				
No.	Date	Description	DRAWN By	CHK'd
01		OTR		
02				
03				
04				
05				

ISSUES:				
No.	Date	Description	DRAWN By	CHK'd
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT

BAIDWAN CONSTRUCTION

PROJECT :

5- PLEX BUILDING

ADDRESS:

**3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SE

DEVELOPMENT PERMIT SET

DRAWING TITLE

STREETSCAPE

DRAWING NO.

A-005

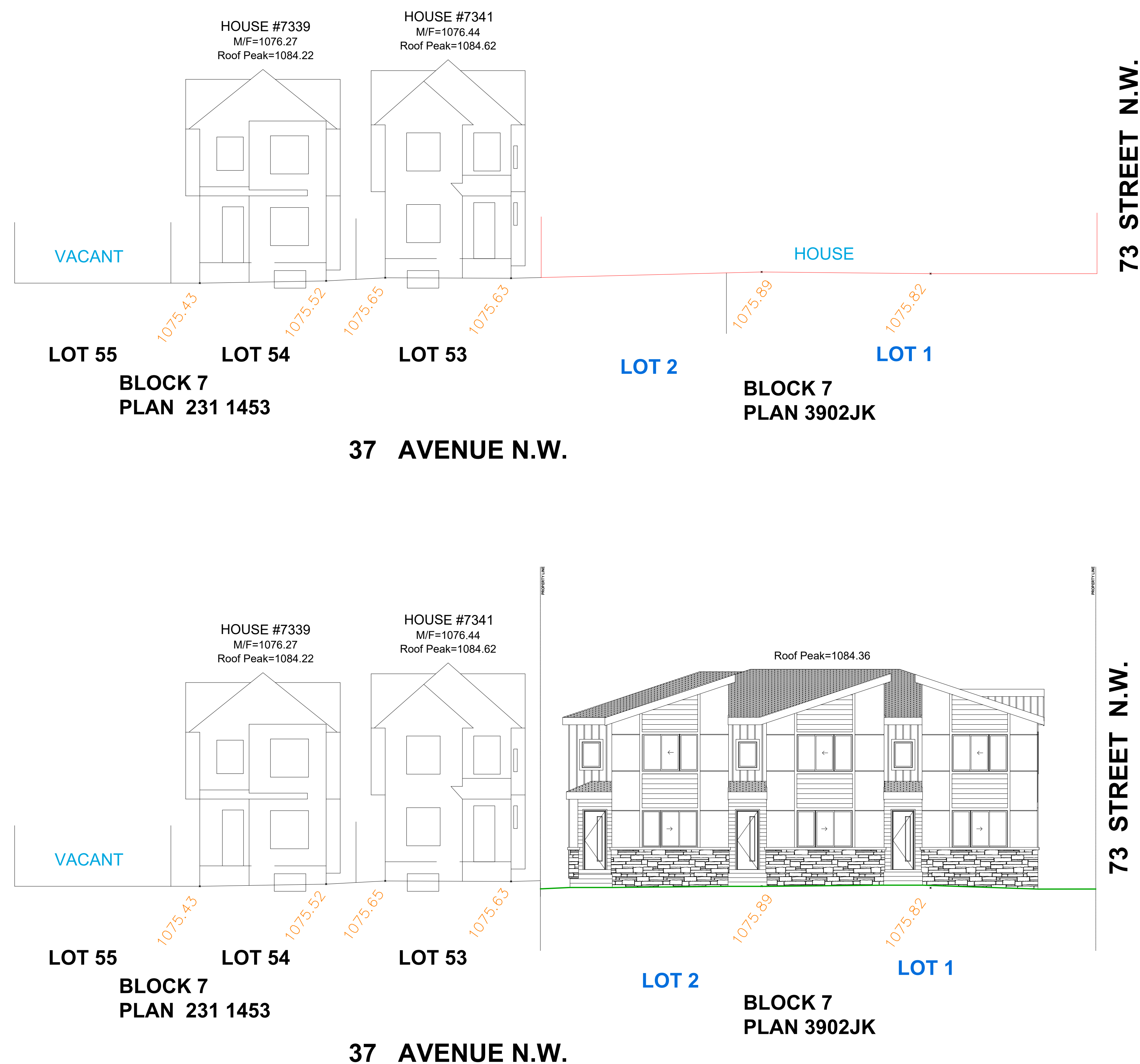
PROJECT NO.

26-0000

	CHECKED BY
--	------------

DRAWN BY

1:100



LANDSCAPE CALCULATIONS

552- PLANTING REQUIREMENTS

- All plant materials must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association.
- A minimum of 1.0 trees and 2.0 shrubs must be planted for every 45.0 square metres of landscaped area provided.
 - Landscaped areas may include Urban Agriculture.
- A minimum of 25.0 per cent of all trees provided must be coniferous.
- Unless otherwise referenced in section 555, deciduous trees must have a minimum calliper of 50 millimetres and at least 50.0 per cent of the provided deciduous trees must have a minimum calliper of 75 millimetres at the time of planting.
- Unless otherwise referenced in section 555, coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must be a minimum of 3.0 metres in height at the time of planting.
- Shrubs must be a minimum height or spread of 0.6 metres at the time of planting.
- For landscaped areas with a building below, planting areas must have the following minimum soil depths:
 - 1.2 metres for trees;
 - 0.6 metres for shrubs; and
 - 0.3 metres for all other planting areas.
- The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.
- Planting of new trees in an adjacent boulevard to the parcel approved by the Development Authority may be counted towards the planting requirements in this section.

555 & 556-PLANTING CALCULATIONS:

(AS PER ENHANCED LANDSCAPING AND LOW WATER LANDSCAPING OPTIONS):
REQUIRED LANDSCAPE AREA IS 34% OF PARCEL AREA

1 TREE & 2 SHRUBS / 25 SQ. M. OF LANDSCAPED AREA PROVIDED
MINIMUM 1: 4 TREES MUST BE CONIFEROUS
MINIMUM 50% LARGE TO SMALL TREES (DECIDUOUS & CONIFEROUS)
MINIMUM CALIPER OF SMALL DECIDUOUS: 65mm
MINIMUM CALIPER OF LARGE DECIDUOUS: 85mm
MINIMUM HEIGHT OF SMALL CONIFEROUS: 3.0m OR 9'-10"
MINIMUM HEIGHT OF LARGE CONIFEROUS: 4.0m OR 13'-1"

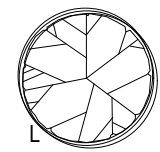
THEREFORE MINIMUM PLANTING REQUIRED ARE:
837.184 m² / 110 m² = 7.61 = 8 TREES & 24 SHRUBS

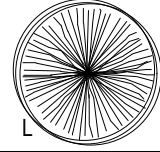
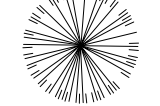
BROKEN DOWN AS:

6 DECIDUOUS
2 CONIFEROUS
24 SHRUBS (Shrubs must be a minimum height or spread of 0.60 meters at the time of planting)

PROPOSED PLANTING:

6 DECIDUOUS
2 CONIFEROUS
25 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES						
03	PC		PIN CHERRY	PRUNUS PENNSYLVANICA	85mm CAL.	
03	BO		BUR OAK	Quercus macrocarpa	70mm CAL.	

CONIFEROUS TREES						
01	BS		BLUE SPRUCE	PICEA PUNGENS	4.0M HGT.	
01	LP		LODGEPOLE PINE	PINUS CONTORTA VAR. LATIFOLIA	3.0M HGT.	

DECIDUOUS SHRUBS						
11	RC		RUBY CAROUSEL JAPANESE BARBERRY	BERBERIS THUNBERGII 'BAILONE'	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

CONIFEROUS SHRUBS						
11	SJ		JUNIPER	JUNIPERUS SPP.	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

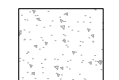
LOT AREA:837.184 m² LOT ZONING: R-CG

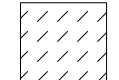
1.BUILDINGS COVERAGE = 360.72 M2 OR 43.09% FROM LOT AREA

 PROPOSED BUILDING AREA = 360.72 m²

 PROPOSED SURFACE PARKING AREA = 78.14 m²

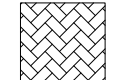
2.NON- LANDSCAPE AREA =28.44 m² = 3.39 % OF LOT AREA

 CONCRETE APRON = 8.01 m²

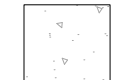
 WINDOW WELLS = 20.43 m²

3.LANDSCAPE AREA = 370.23 m² = 44.22 % OF LOT AREA

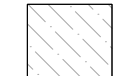
3.1 HARD-LANDSCAPE = 183.70 m² = 49.61 % OF LANDSCAPE AREA

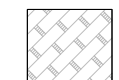
 EXPOSED AGGREGATED CONCRETE WALKWAYS = 115.64m²

 BIKE LOCKERS (CONCRETE BASE) = 18.61 m²

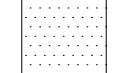
 CONC. ENTRANCE STEPS = 12.65 m²

 WOOD ENTRANCE STEPS = 10.07 m²

 WASTE/RECYCLE (CONCRETE) = 11.35 m²

 SITTING AREA (10MM RUNDLE ROCK) = 15.38 m²

3.2 SOFT-LANDSCAPE= 186.53 m² = 50.38 % OF LANDSCAPE AREA

 S.O.D = 144.41m²

 MULCH = 42.12 m²

LIGHTING LEGEND:



 LED Down light (ON WALL)



 PATHWAY LIGHTS

-  2.0M FENCE
-  GARDEN BEDS
-  MASS PLANTING OF SHADE TOLERANT PERENNIALS
-  MASS PLANTING OF BLUE GRASS
-  FIRE PIT

IRRIGATION SYSTEM:

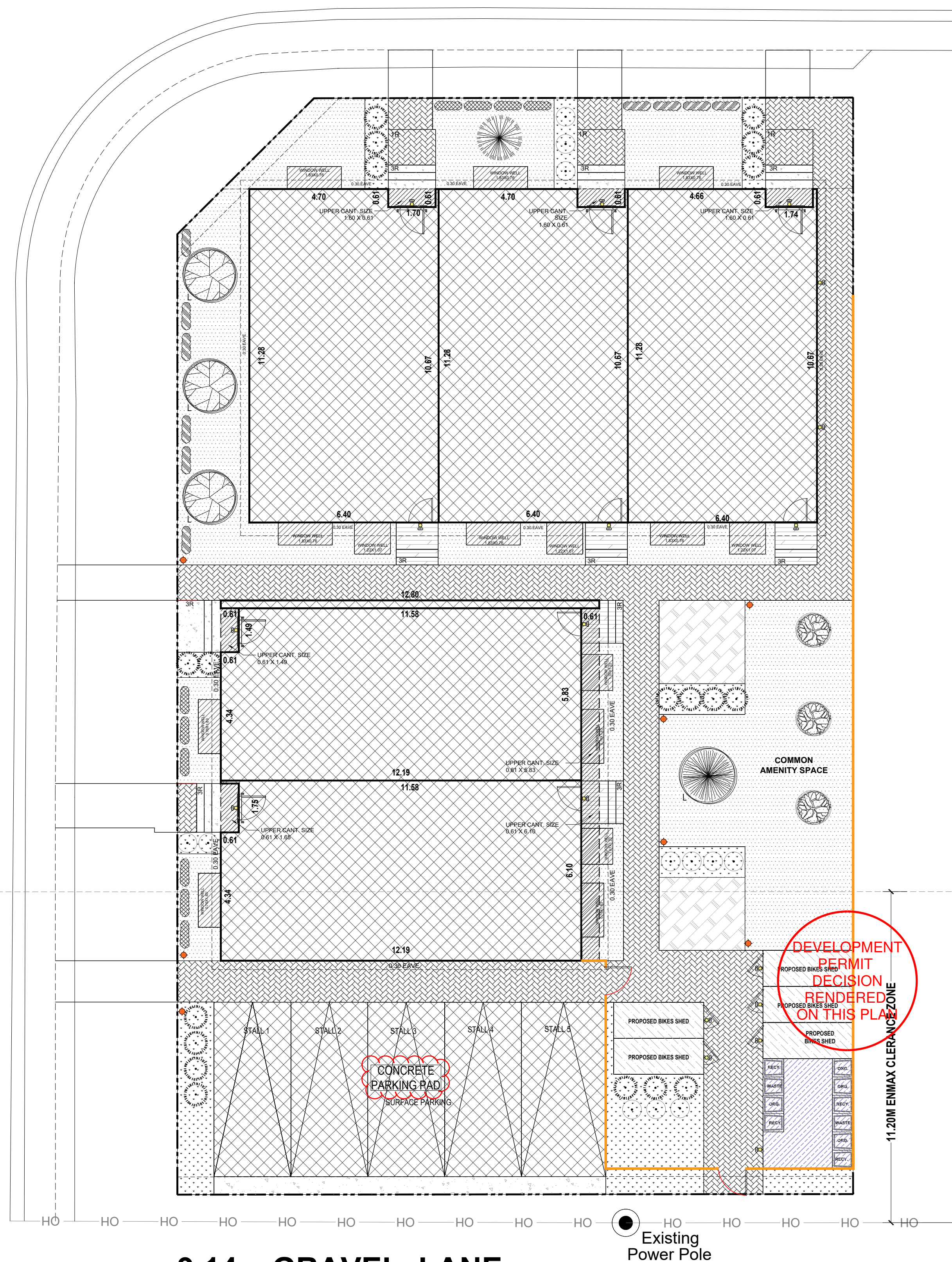
Underground Low Water Irrigation System to be used, which includes:

- a rain sensor or a soil moisture sensor.
- a flow sensor for leak detection; and
- a master valve to secure the system if a leak is detected.

NOTE:

- ALL SOFT SURFACED LANDSCAPED AREA MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- A MINIMUM DEPTH OF 300MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.

37 AVENUE N.W.



9.14 GRAVEL LANE

Existing Power Pole

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

11.20M ENMAX CLEARANCE ZONE

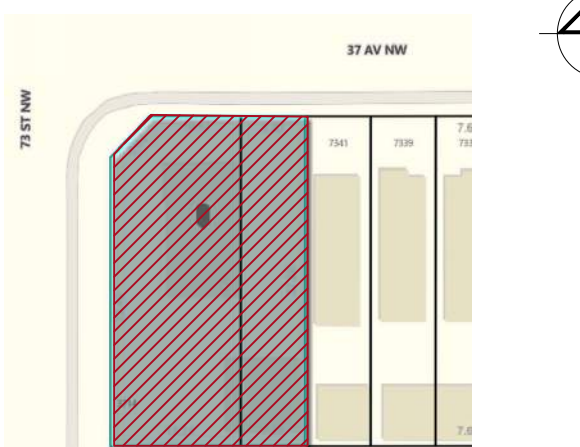
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB. T2E 6K3
PHONE: (403) 203-1970
FAX: (403) 203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01		DTR		
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT:

Baidwan Construction

PROJECT:

5- PLEX BUILDING

ADDRESS:

**3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED LANDSCAPE

DRAWING NO.

A-006

PROJECT NO.:

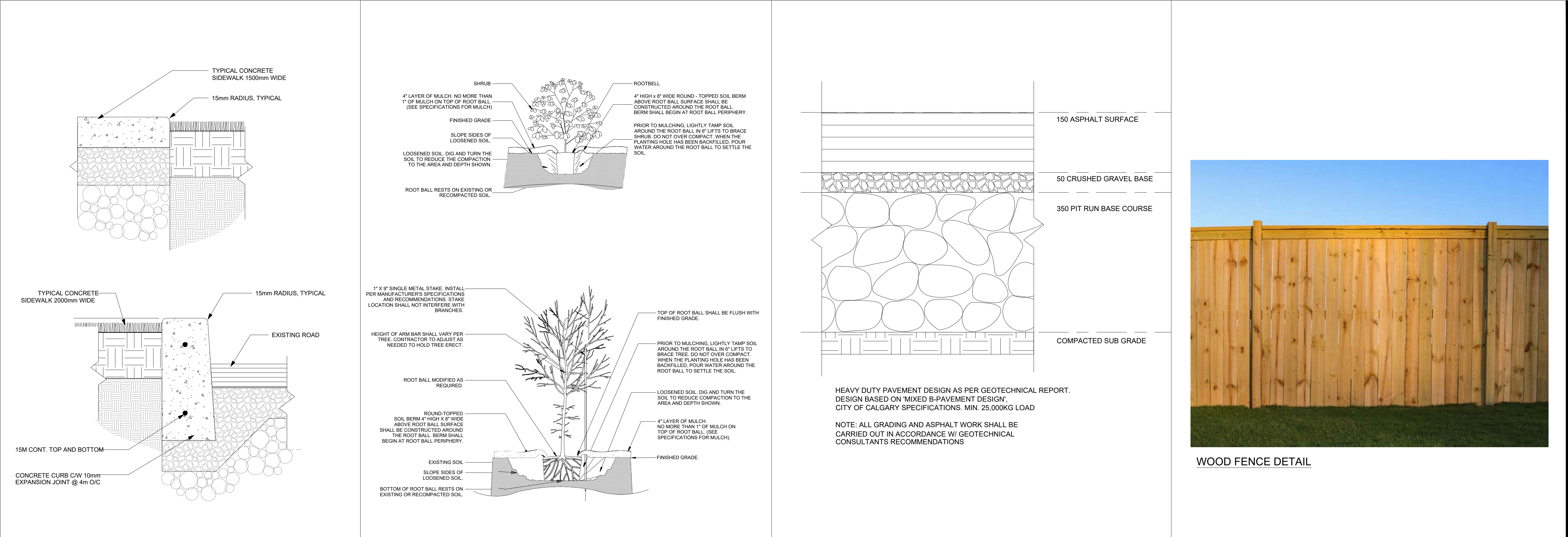
CHECKED BY:

DATE: 2025-07-07

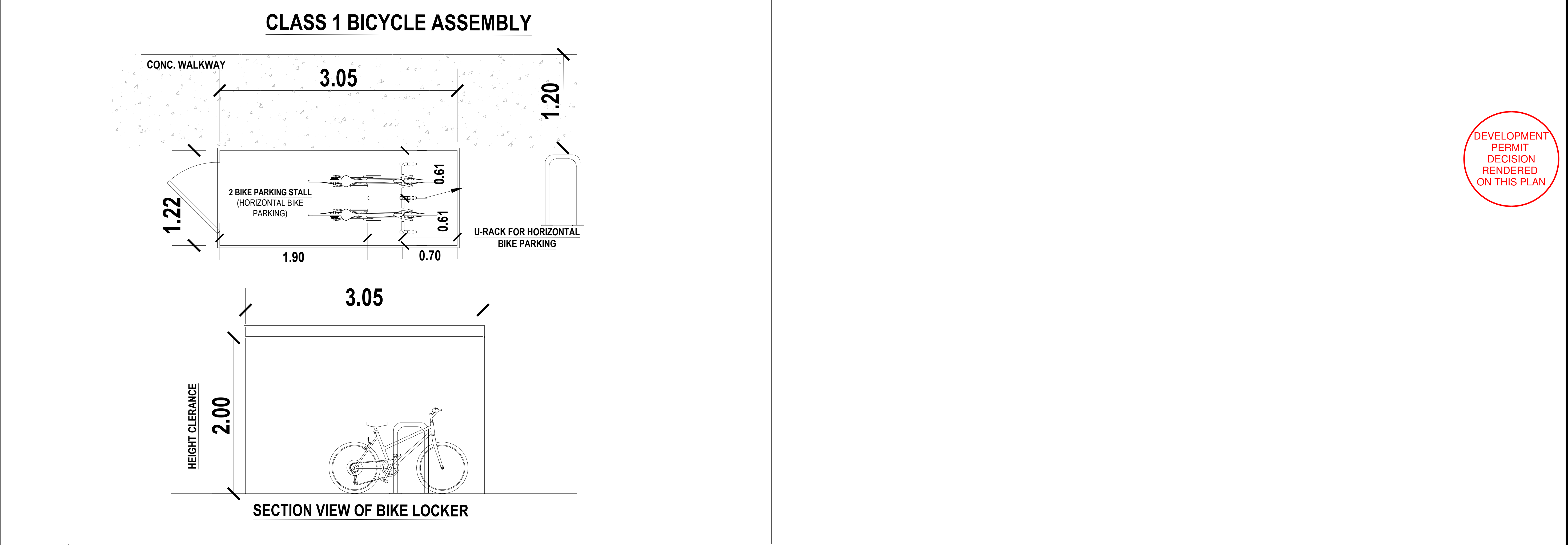
26-0000

DRAWN BY:

SCALE: 1:100



1	CONCRETE CURB	2	PLANTING DETAILS	3	CONCRETE BASE	4	WOOD FENCE DETAIL
---	---------------	---	------------------	---	---------------	---	-------------------



5	BIKES STALLS CLASS 1
---	----------------------

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com

#202, 4216 10TH STREET NE
CALGARY, AB. T2E 6K3

PHONE: (403) 203-1970
FAX: (403) 203-1990
EMAIL: info@tricordg.ca

KEY PLAN

NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01		DTR		
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT:

BAIDWAN CONSTRUCTION

PROJECT:

5- PLEX BUILDING

ADDRESS:

**3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

LANDSCAPE DETAILS

DRAWING NO.

A-007

PROJECT NO.:

26-0000

CHECKED BY:

DATE:

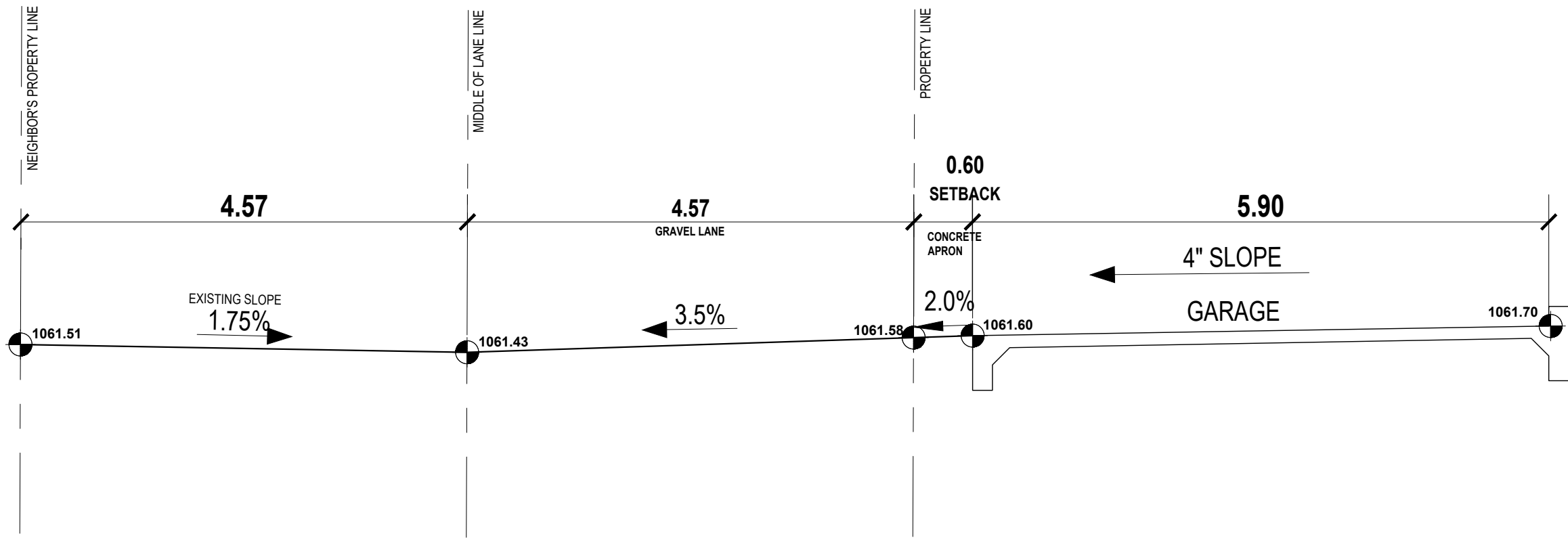
2025-07-07

DRAWN BY:

SCALE:

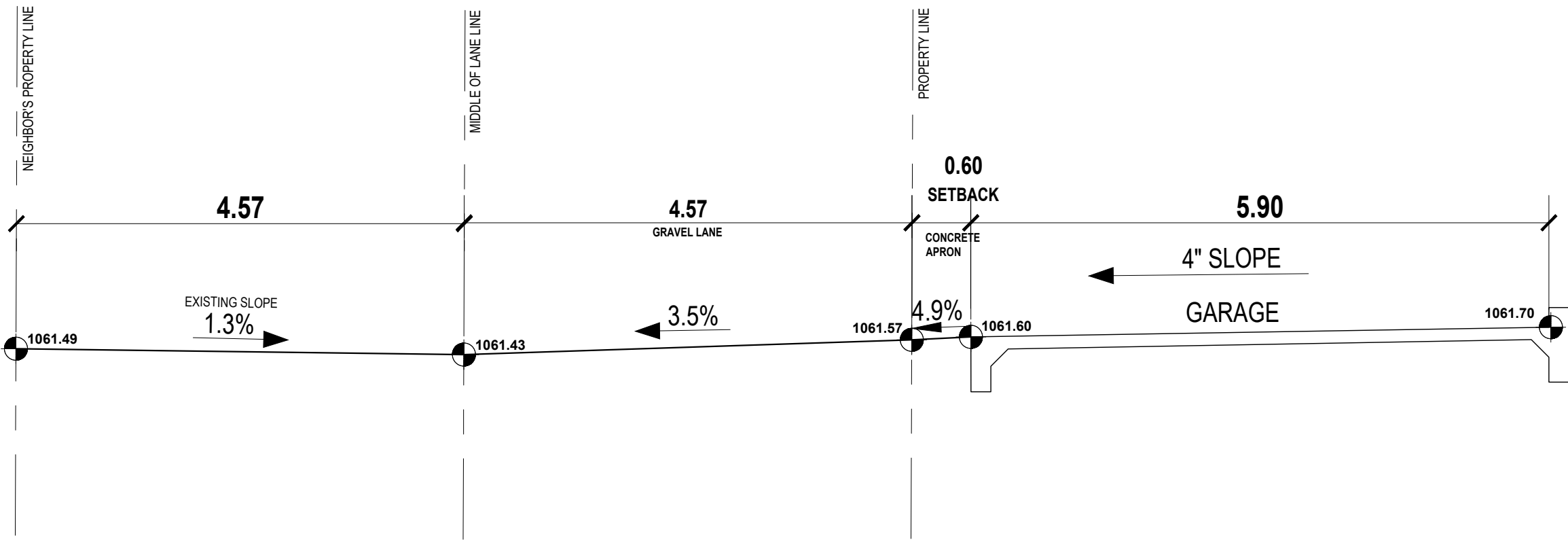


NOTE:
- NO STOCKPILING OR DUMPING OF CONSTRUCTION MATERIALS IS PERMITTED ON THE BOULEVARD.
- IN ORDER TO ENSURE THE INTEGRITY OF THE BOULEVARD FOR FUTURE TREE PLANTING, CONSTRUCTION ACCESS IS ONLY PERMITTED THROUGH THE REAR LANE AND OUTSIDE THE DRIPLINE OF PUBLIC TREE(S), PER THE APPROVED TREE PROTECTION PLAN.



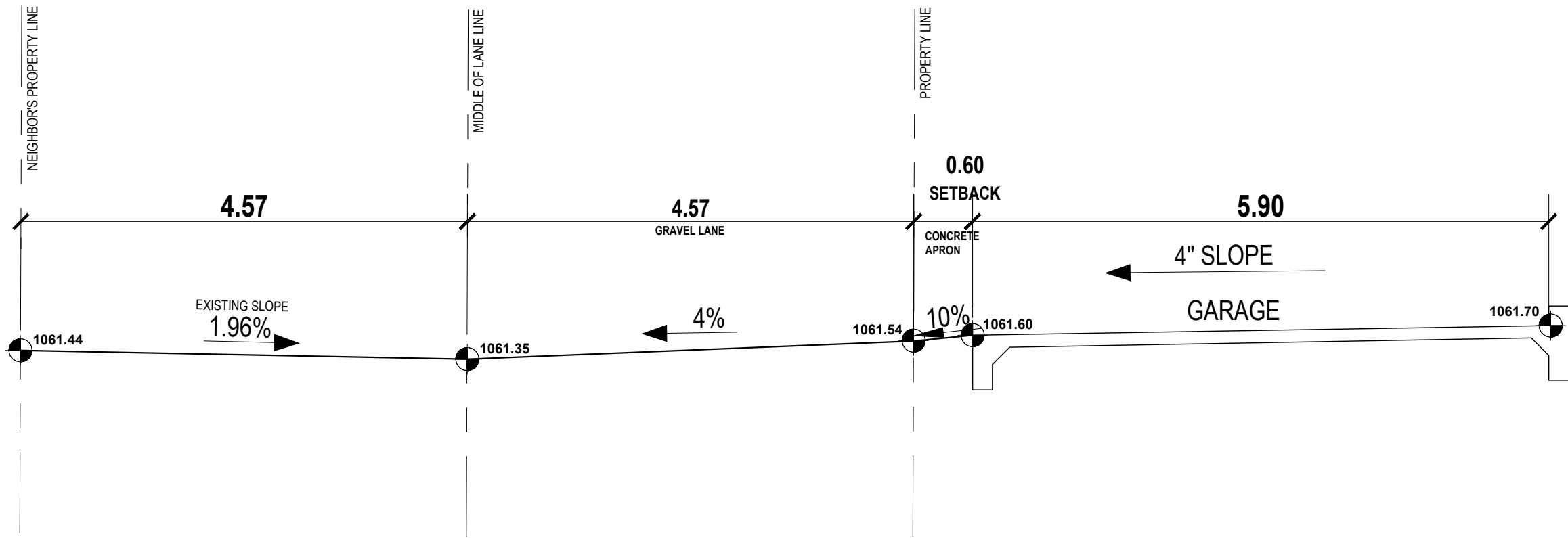
APRON SECTION 1

SCALE: 1:50



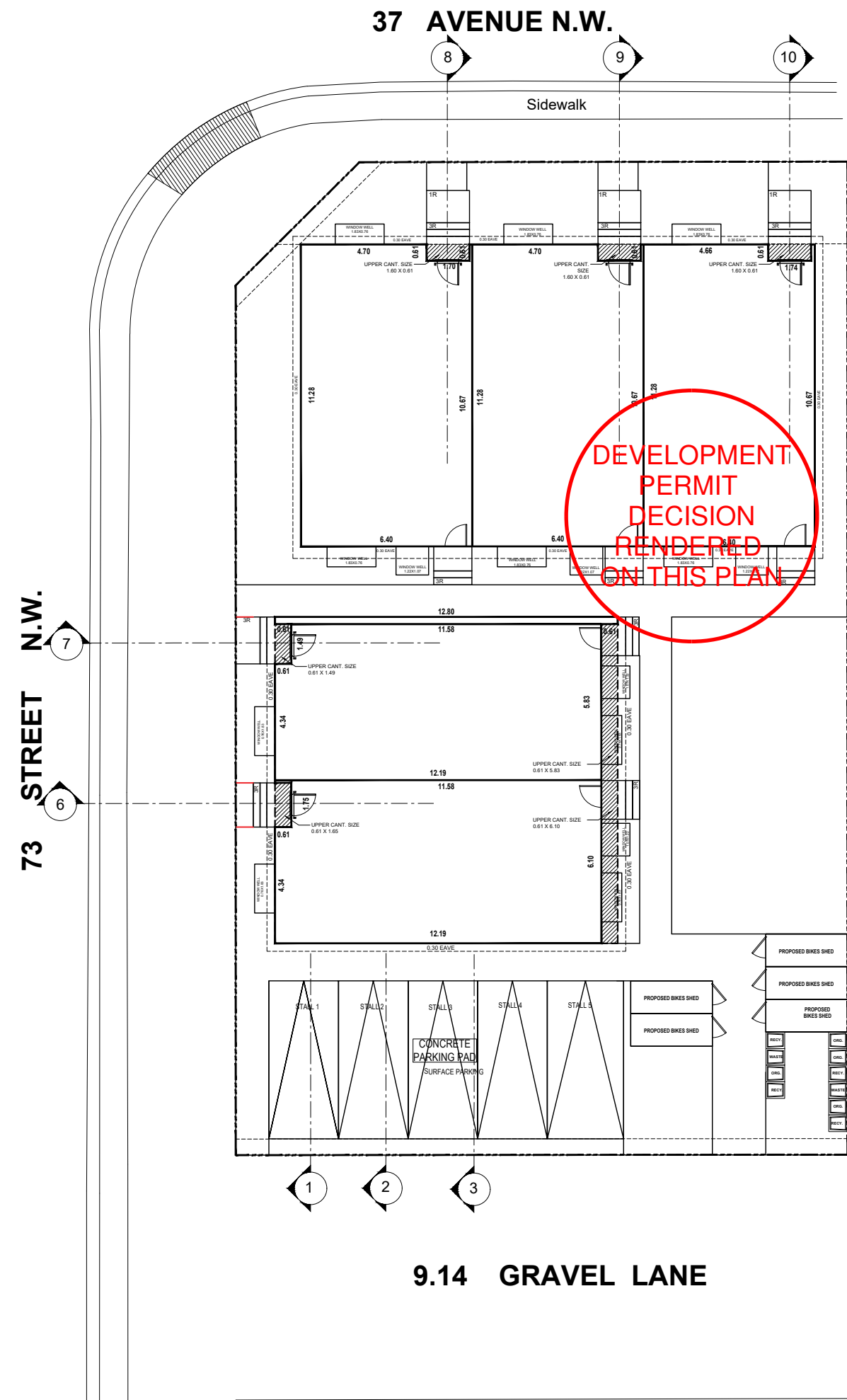
APRON SECTION 2

SCALE: 1:50



APRON SECTION 3

SCALE: 1:50



KEY PLAN

SCALE: 1:200

DESIGNED BY:

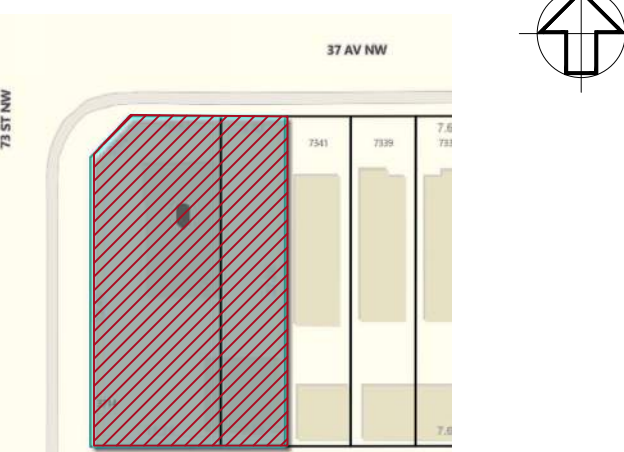


RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 4216 10TH STREET NE
CALGARY, AB.
T2E 6K3

PHONE: (403) 203-1970
FAX: (403) 203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01		DTR		
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT:

BAIDWAN CONSTRUCTION

PROJECT:

5- PLEX BUILDING

ADDRESS:

**3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

APRON SECTIONS

DRAWING NO.

A-009

PROJECT NO.:

26-0000

CHECKED BY:

DATE:

2025-07-07

DRAWN BY:

SCALE:

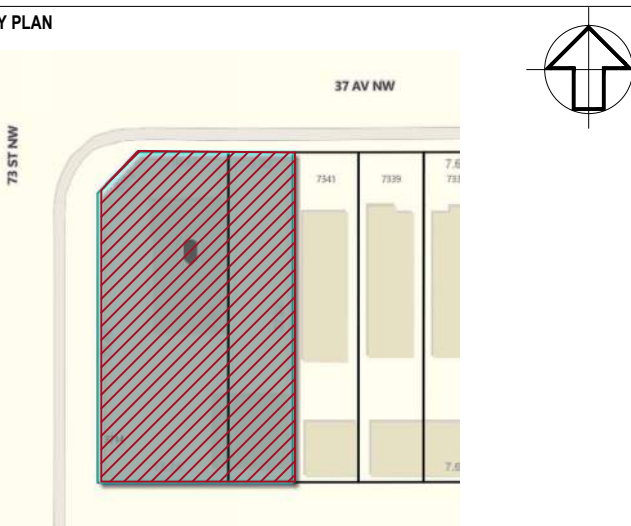
1:50



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

KEY PLAN

SCALE: 1:200

[illegible]

ISSUANCES:				
b.	Date	Description	DRAWN By	Chk'd By
1		DTR		
2				
3				
4				
5				

UES:				
b.	Date	Description	DRAWN By	Chk'd By
1		DEVELOPMENT PERMIT SET		
2				
3				
4				
5				

BAIDWAN CONSTRUCTION					
PROJECT :					
5- PLEX BUILDING					
ADDRESS:					
3714 - 73 STREET N.W. CALGARY, ALBERTA Plan 3902 JK ,Block 7, Lot 1 and the w 7.62 of Lot 2 within S.E. 1/4 SEC.34-24-2-W5M					
DRAWING SET:					
DEVELOPMENT PERMIT SET					
DRAWING TITLE:					
BOULEVARD SECTIONS					
DRAWING NO.					
A-010					
SHEET NO. :	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px;"> CHECKED BY: </td> <td style="width: 50%; padding: 5px;"> DATE: </td> </tr> <tr> <td style="height: 40px; vertical-align: bottom; padding: 5px;"> DRAWN BY: </td> <td style="height: 40px; vertical-align: bottom; padding: 5px;"> SCALE: </td> </tr> </table>	CHECKED BY:	DATE:	DRAWN BY:	SCALE:
CHECKED BY:	DATE:				
DRAWN BY:	SCALE:				
26-0000	2026-07-07 1:50				

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PANELS
03	LUX PANELS-BROWN
05	HARDIE LIGHT GRAY
06	EXTERIOR MANUFACTURED STONE VENEER
07	HARDIE DARK GRAY
08	CORNER BOARD 4"BLACK
09	PRE-FINISHED METAL FASCIA BLACK
10	SHADOW BOARD 10"
11	TRIM - HORIZONTAL /VERTICAL 4" BLACK
12	PRE-FINISHED METAL FASCIA
13	4" TRIM



1 PROPOSED FRONT ELEVATION B1
3/16" = 1'-0"



2 PROPOSED REAR ELEVATION B1
3/16" = 1'-0"

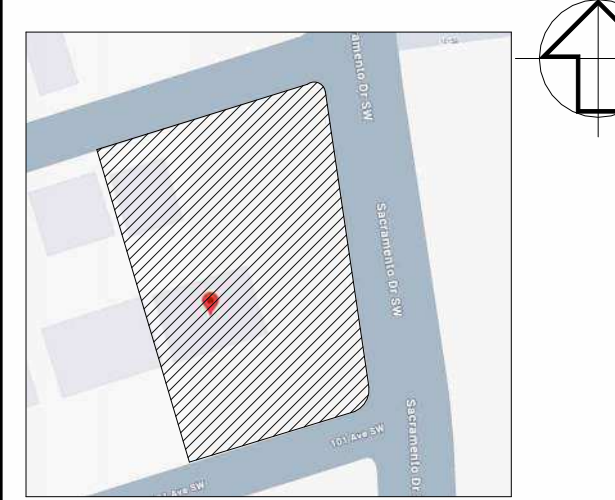
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01				
02				
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-07-07	DEVELOPMENT PERMIT	R.N / R.E / N.F / M.A	A.K.T.I
02				
03				
04				
05				

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

THE CLIENT:

BAIDWAN CONSTRUCTION

PROJECT:

5_PLEX

ADDRESS:

**3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

**PROPOSED FRONT & REAR
ELEVATIONS B1**

DRAWING NO.

A-201

PROJECT NO.:

26-1038

CHECKED BY:

A.K.T.I

DATE:

2026-07-07

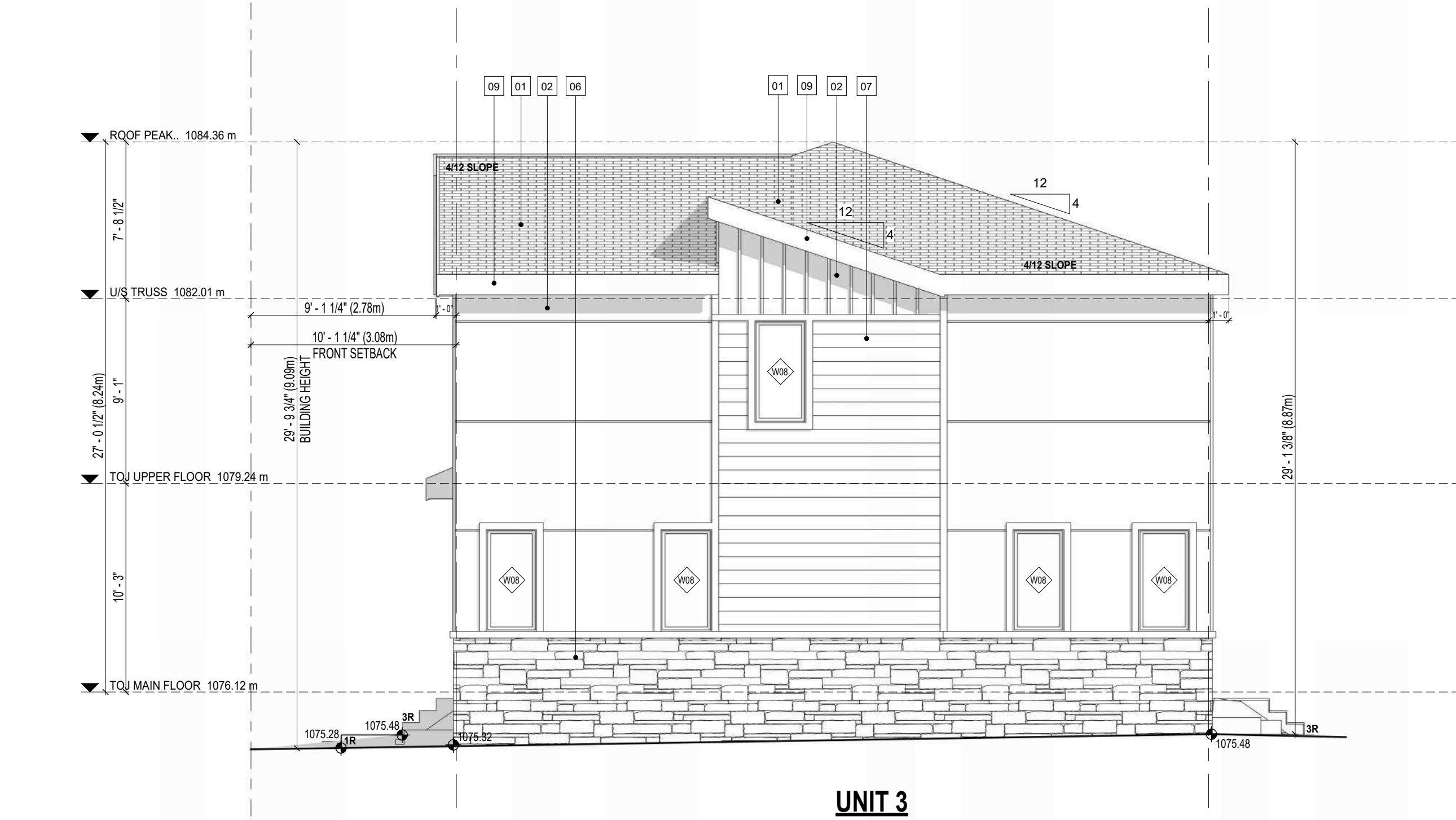
DRAWN BY:

R.N / R.E / N.F / M.A

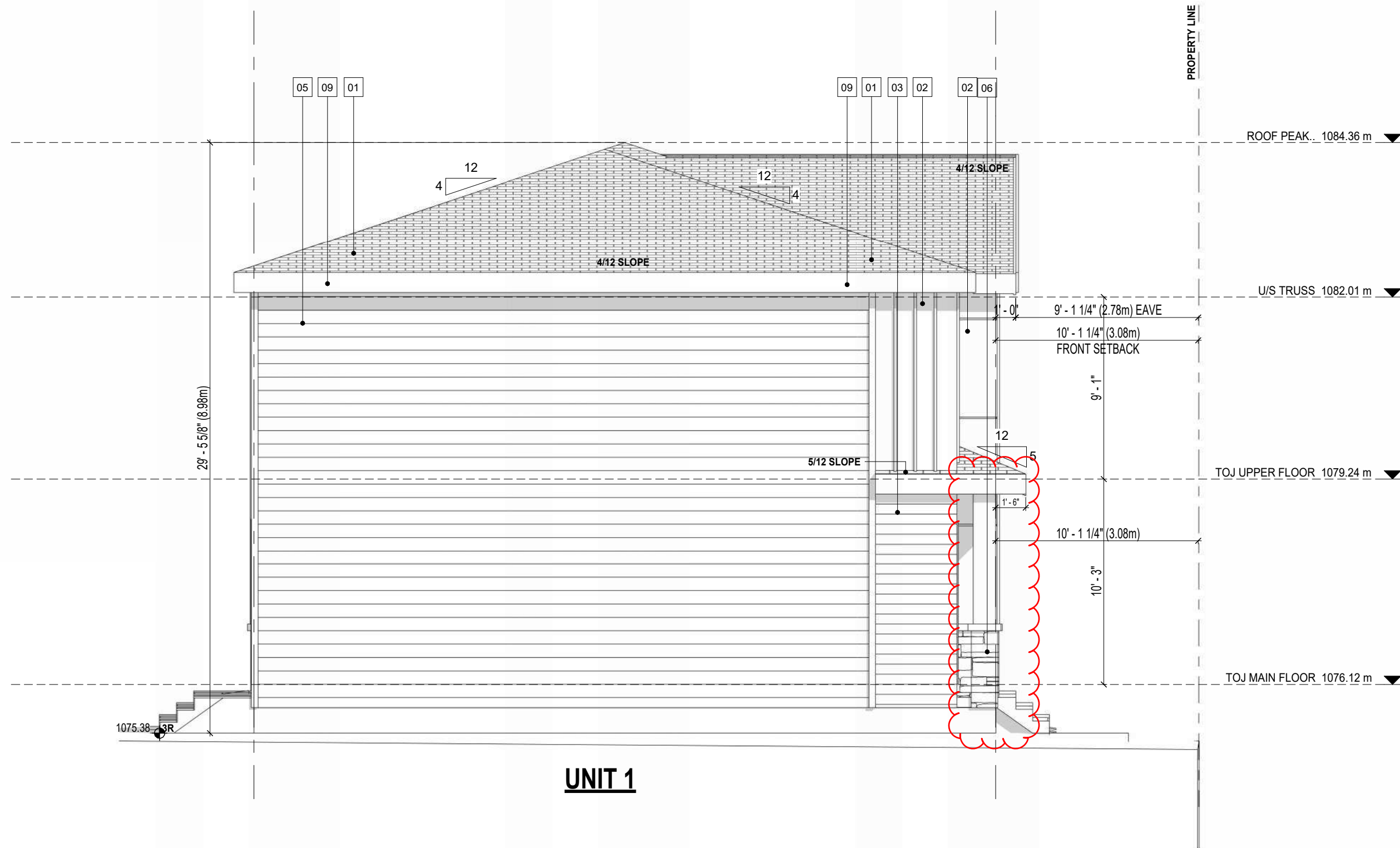
SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PANELS
03	LUX PANELS-BROWN
05	HARDIE LIGHT GRAY
06	EXTERIOR MANUFACTURED STONE VENEER
07	HARDIE DARK GRAY
08	CORNER BOARD 4"BLACK
09	PRE-FINISHED METAL FASCIA BLACK
10	SHADOW BOARD 10"
11	TRIM - HORIZONTAL /VERTICAL 4" BLACK
12	PRE-FINISHED METAL FASCIA
13	4" TRIM



1 PROPOSED RIGHT ELEVATION B1
3/16\"/>



2 PROPOSED LEFT ELEVATION B1
3/16\"/>

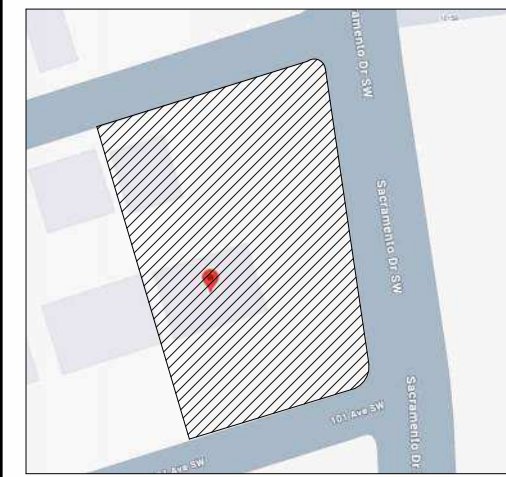
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01				
02				
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-07-07	DEVELOPMENT PERMIT	R.N / R.E / N.F / M.A	A.K/T.I
02				
03				
04				
05				

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

THE CLIENT:

BAIDWAN CONSTRUCTION

PROJECT:

5_PLEX

ADDRESS:

**3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

**PROPOSED RIGHT & LEFT
ELEVATIONS B1**

DRAWING NO.

A-202

PROJECT NO.:

26-1038

CHECKED BY:

A.K/T.I

DATE:

2026-07-07

DRAWN BY:

R.N / R.E / N.F / M.A

SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	HORIZONTAL SIDING - VINYL GR LIGHT
03	STUCCO CLADDING WHITE
05	HARDIE LIGHT GRAY
06	EXTERIOR MANUFACTURED STONE VENEER
07	HARDIE DARK GRAY
08	CORNER BOARD 4"BLACK
09	PRE-FINISHED METAL FASCIA BLACK
10	SHADOW BOARD 10"
11	TRIM - HORIZONTAL /VERTICAL 4" BLACK
13	4" TRIM

1 PROPOSED LEFT ELEVATION
3/16" = 1'-0"

2 PROPOSED RIGHT ELEVATION
3/16" = 1'-0"

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DESIGNED BY:

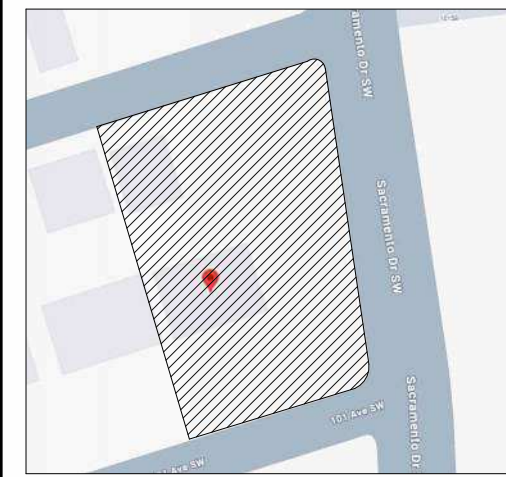


TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01				
02				
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-04-01	DEVELOPMENT PERMIT	R.N / R.E / N.F / M.A	A.K/T.I
02				
03				
04				
05				

THE CLIENT :

Baidwan Construction

PROJECT :

5_PLEX

ADDRESS:

3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED LEFT & RIGHT
ELEVATIONS
B02

DRAWING NO.

A-201

PROJECT NO. :

26-1038

CHECKED BY:

A.K/T.I

DATE:

2026-04-01

DRAWN BY:

R.N / R.E / N.F / M.A

SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	HORIZONTAL SIDING - VINYL GR LIGHT
03	STUCCO CLADDING WHITE
05	HARDIE LIGHT GRAY
06	EXTERIOR MANUFACTURED STONE VENEER
07	HARDIE DARK GRAY
08	CORNER BOARD 4"BLACK
09	PRE-FINISHED METAL FASCIA BLACK
10	SHADOW BOARD 10"
11	TRIM - HORIZONTAL /VERTICAL 4" BLACK
13	4" TRIM



1 PROPOSED FRONT ELEVATION
3/16" = 1'-0"



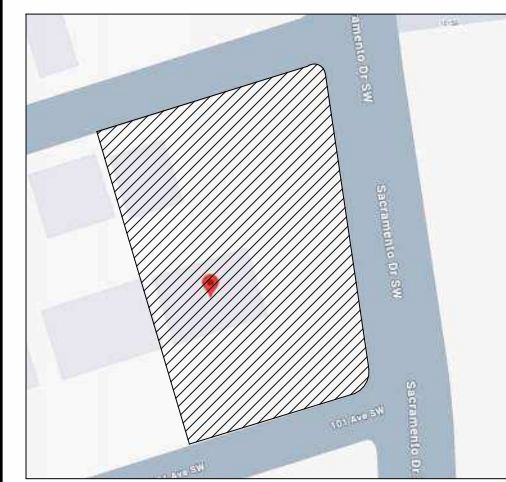
2 PROPOSED REAR ELEVATION
3/16" = 1'-0"

DESIGNED BY:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01				
02				
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-04-01	DEVELOPMENT PERMIT	R.N / R.E / N.F / M.A	A.K.T.I
02				
03				
04				
05				

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

THE CLIENT:

Baidwan Construction

PROJECT:

5_PLEX

ADDRESS:

**3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

**PROPOSED FRONT & REAR
ELEVATIONS
B02**

DRAWING NO.

A-202

PROJECT NO.:

26-1038

CHECKED BY:

A.K.T.I

DATE:

2026-04-01

DRAWN BY:

R.N / R.E / N.F / M.A

SCALE:

3/16" = 1'-0"