

**5_PLEX
3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62 OF
LOT 2**



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-03-19

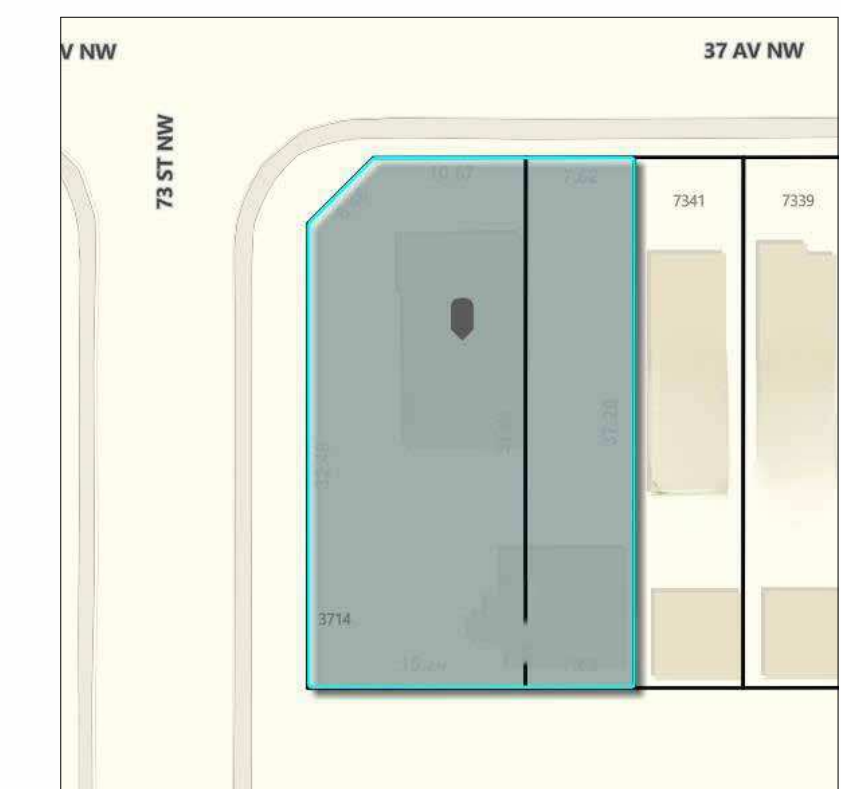


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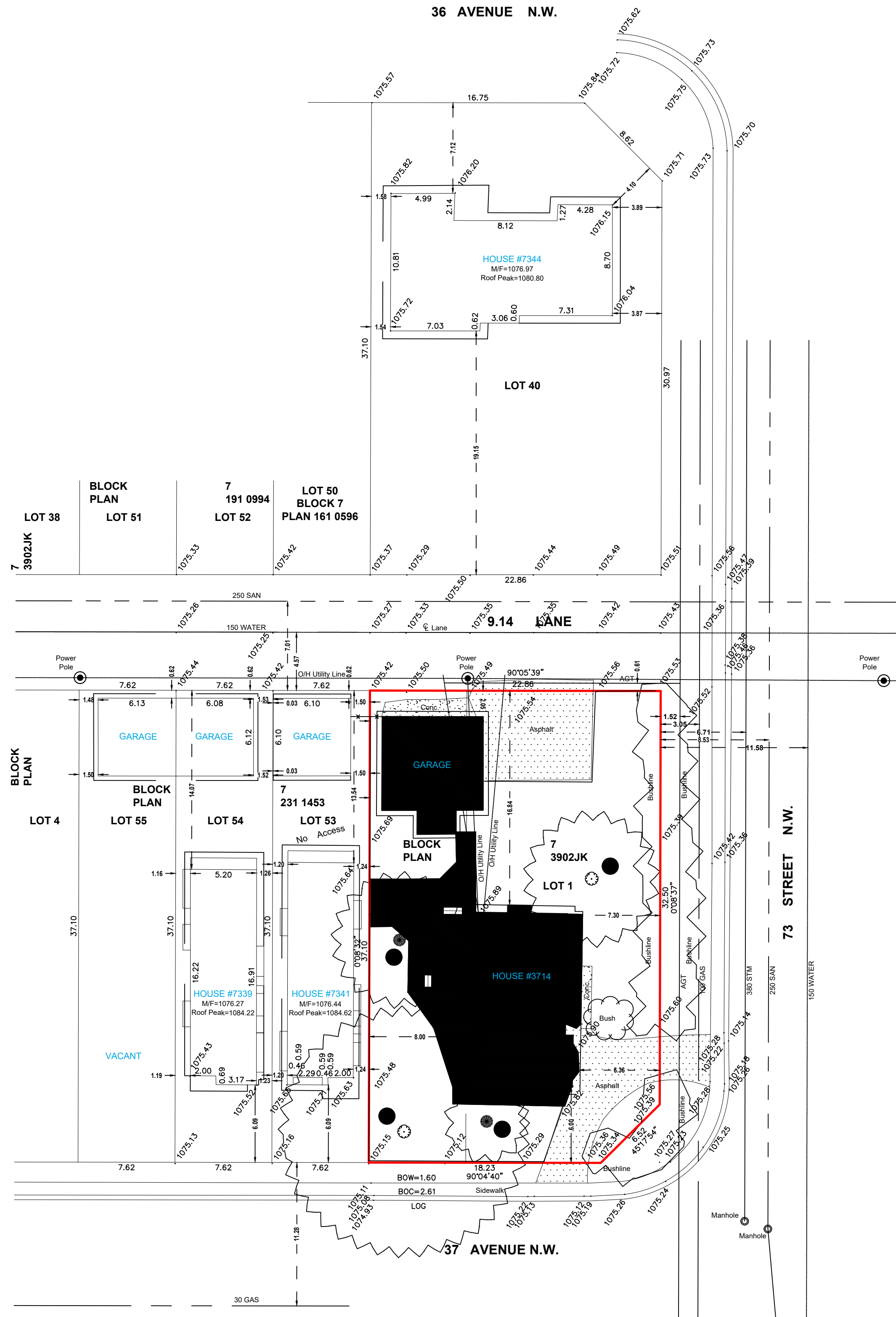
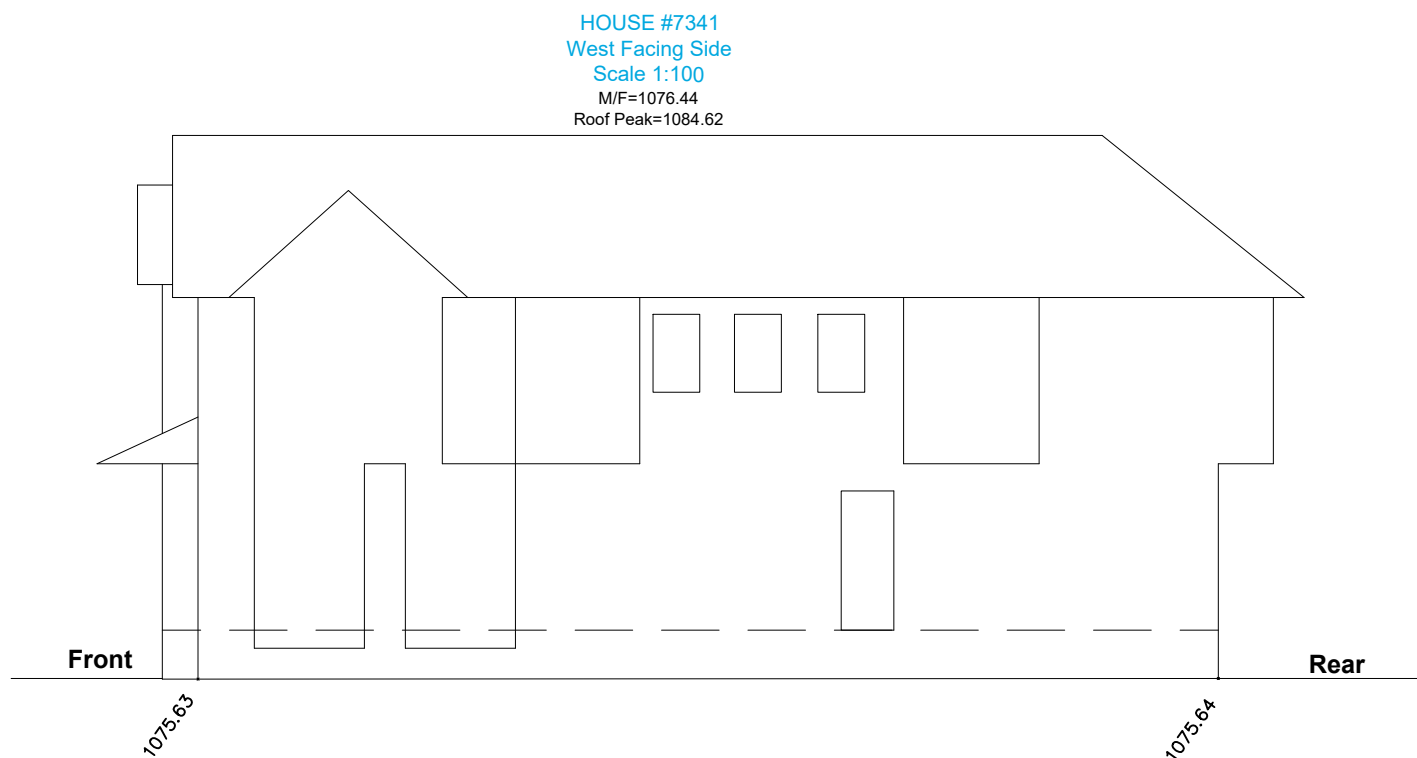
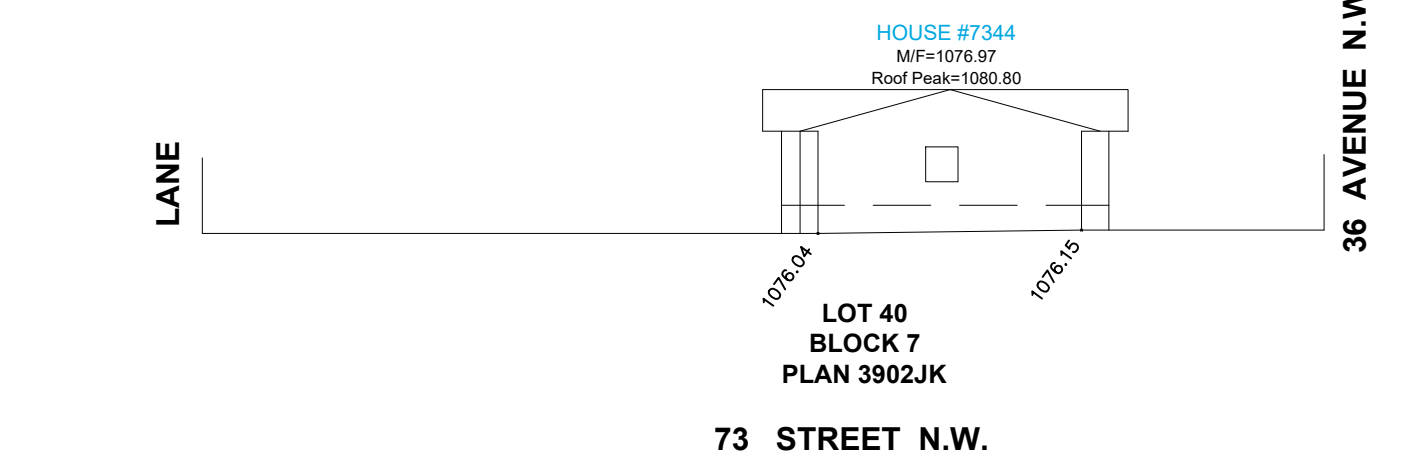
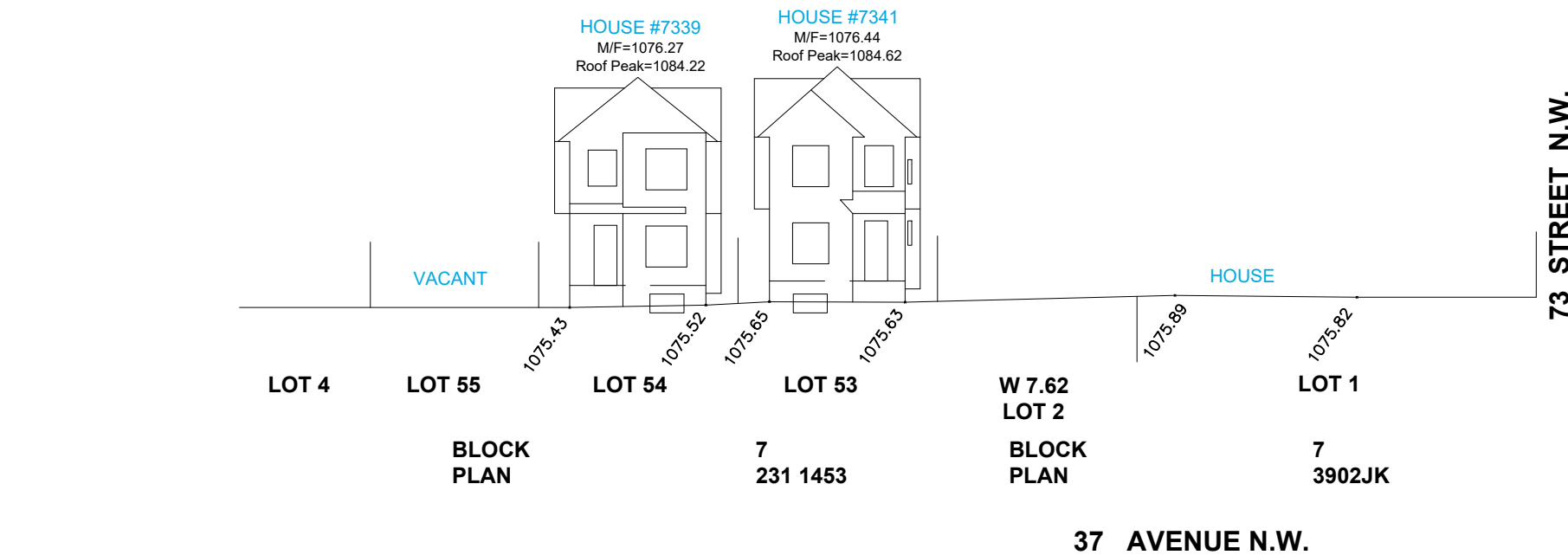
LIST OF DRAWINGS:

- | | |
|--|--|
| G-001 GENERAL NOTES | A-101 PROPOSED LEGAL SUITE FLOOR PLAN |
| G-002 3D SHOTS | A-102 PROPOSED MAIN FLOOR PLAN |
| A-001 EXISTING SURVEY | A-103 PROPOSED UPPER FLOOR PLAN |
| A-002 EXISTING & PROPOSED SITE PLAN | A-104 PROPOSED LOFT FLOOR PLAN |
| A-003 PROPOSED SITE PLAN | A-105 PROPOSED ROOF FLOOR PLAN |
| A-004 PROPOSED GRADES | A-106 PROPOSED AREA PLANS |
| A-005 STREETScape | A-201 PROPOSED FRONT & REAR ELEVATIONS |
| A-006 PROPOSED LANDSCAPE | A-202 PROPOSED RIGHT & LEFT ELEVATIONS |
| A-007 LANDSCAPE ZONES & LIGHTING DETAILS | A-301 BUILDING SECTIONS |
| A-008 CONSTRUCTION ACCESS AREA | A-401 PROPOSED ACCESSORY BUILDING (GARAGE) |
| A-009 LANDSCAPE DETAILS | |
| A-010 BOULEVARD & ARRON | |

KEY PLAN :



PROJECT NO.: 26-1038

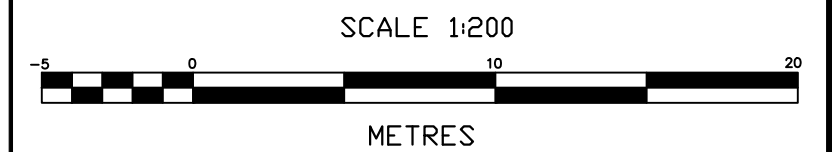


**CITY OF CALGARY
ALBERTA
PLAN SHOWING
SITE SURVEY
AFFECTING
LOT 1 AND THE W 7.62 OF LOT
2, BLOCK 7, PLAN 3902JK
WITHIN
S.E. 1/4 SEC.34-24-2-W5M**

NOTES:
Distances shown are in metres and decials thereof.
Location of underground utilities are copied from City of Calgary Block Profile sheets.
All elevations are geodetic elevations and are referred to ASDM 15752, Elevation = 1075841

PROPERTY DESCRIPTION:
CLIENT: BAIDWAN CONSTRUCTION
MUNICIPAL ADDRESS:
3714 - 73 STREET N.W.
CALGARY, ALBERTA

DATE OF SURVEY:
FEBRUARY 24-27, 2026

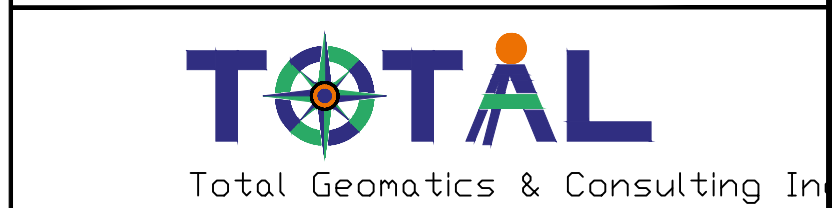


LEGEND

Spot elevations are shown thus	
Subject Property is shown thus	
Eave Fascia are shown thus	
Fences are shown thus	
Building foundation shown thus	
Overhead Utilities shown thus	
Gas line shown thus	
Sanitary Lines shown thus	
Storm lines shown thus	
Water lines shown thus	
AGT Lines shown thus	
E.L. Lines shown thus	
Coniferous trees are shown thus	
Deciduous trees are shown thus	
Shrubs are shown thus	
Tree Canopy shown thus	
Power Poles shown thus	
Manhole shown thus	
Light Standards shown thus	
Sign shown thus	
Catch Basins shown thus	
Fire Hydrant shown thus	

TREE SCHEDULE

Trees #	Variety	Canopy (m)	Trunk (m)	Height (m)
1	DEC	19	0.8	17
2	CON	6	0.4	17
3	CON	10	0.7	21
4	DEC	10	0.4	10



NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC.	DATE: MARCH 3, 2026
DWN BY:CD	Unit 1, 1339-40 Ave. NE, Calgary, AB, T2E 8N6	JOB NO: TG26-0046
CK'D BY:NB	Ph.: +1 403-798-1116	ACAD FILE NO: TG26-0046DP

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KEY PLAN

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REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01				
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ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01		DEVELOPMENT PERMIT SET		
02				
03				
04				
05				

THE CLIENT:

BAIDWAN CONSTRUCTION

PROJECT:

5- PLEX BUILDING

ADDRESS:

**3714 - 73 STREET N.W.
CALGARY, ALBERTA
Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SET:

DEVELOPMENT PERMIT SET

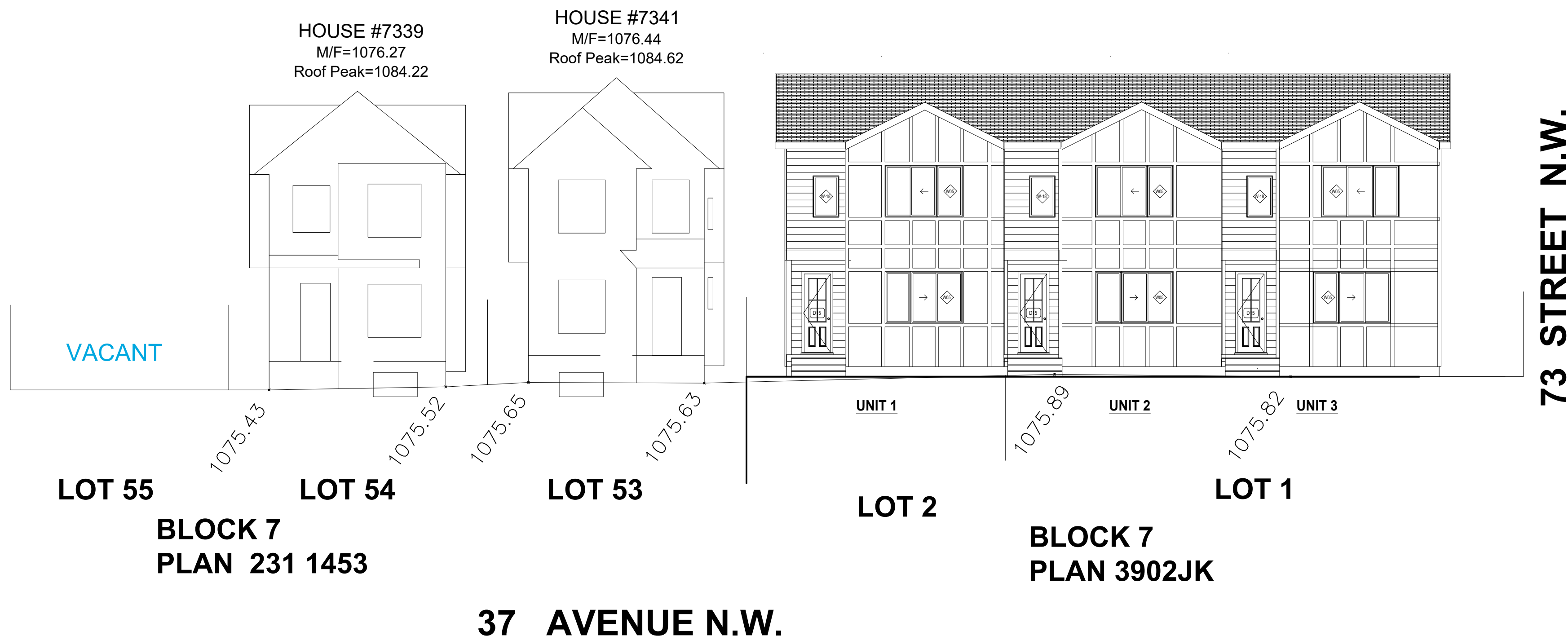
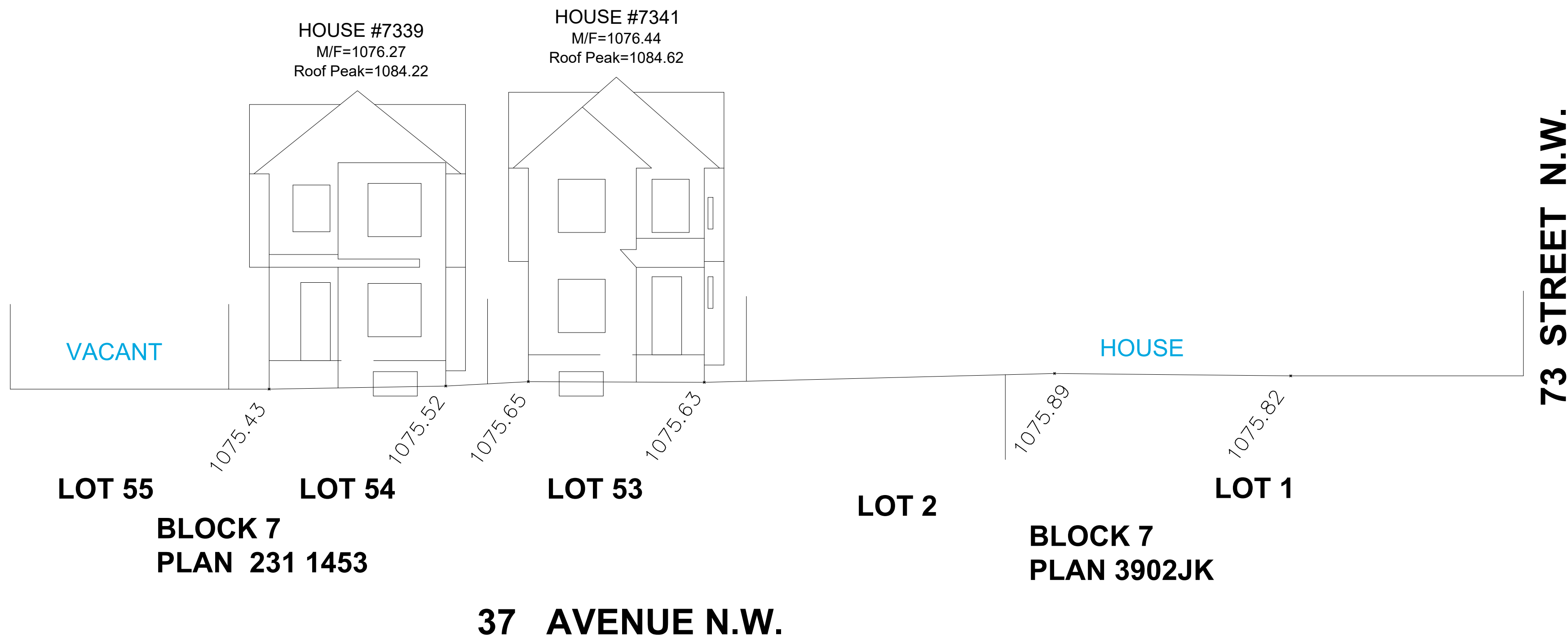
DRAWING TITLE:

EXISTING SURVEY

DRAWING NO.

A-001

PROJECT NO. :	CHECKED BY:	DATE:
26-0000		2026-03-19
	DRAWN BY:	SCALE:
		1:250



DESIGNED BY:

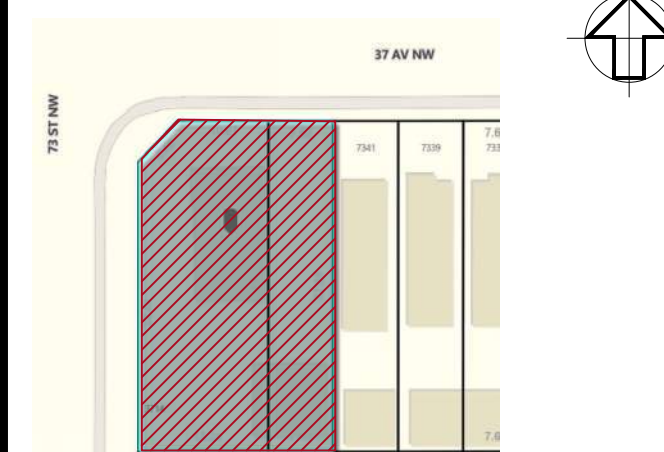


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Plan 3902 JK ,Block 7,
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within S.E. 1/4 SEC.34-24-2-W5M**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

STREETSCAPE 1

DRAWING NO.

A-005

PROJECT NO.:

26-0000

CHECKED BY:

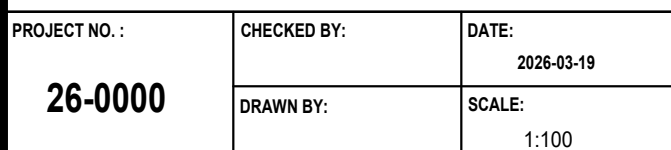
DATE:

2026-03-19

DRAWN BY:

SCALE:

1:100



36 AVENUE N.W.

LANDSCAPE CALCULATIONS

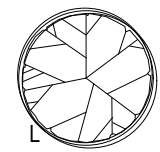
552- PLANTING REQUIREMENTS

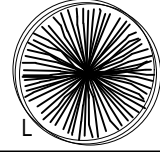
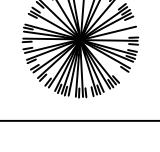
- 1) All plant materials must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association.
- 2) A minimum of 1.0 trees and 2.0 shrubs must be planted for every 45.0 square metres of landscaped area provided.
- 2.1- Landscaped areas may include Urban Agriculture.
- 3) A minimum of 25.0 per cent of all trees provided must be coniferous.
- 4) Unless otherwise referenced in section 555, deciduous trees must have a minimum calliper of 50 millimetres and at least 50.0 per cent of the provided deciduous trees must have a minimum calliper of 75 millimetres at the time of planting.
- 5) Unless otherwise referenced in section 555, coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must be a minimum of 3.0 metres in height at the time of planting.
- 6) Shrubs must be a minimum height or spread of 0.6 metres at the time of planting.
- 7) For landscaped areas with a building below, planting areas must have the following minimum soil depths:
- a-1.2 metres for trees;
- b-0.6 metres for shrubs; and
- c-0.3 metres for all other planting areas.
- 8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.
- 9) Planting of new trees in an adjacent boulevard to the parcel approved by the Development Authority may be counted towards the planting requirements in this section.

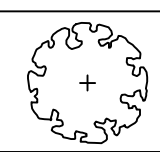
555 & 556-PLANTING CALCULATIONS:

(AS PER ENHANCED LANDSCAPING AND LOW WATER LANDSCAPING OPTIONS):
REQUIRED LANDSCAPE AREA IS 34% OF PARCEL AREA

- 1 TREE & 2 SHRUBS / 25 SQ. M. OF LANDSCAPED AREA PROVIDED
- MINIMUM 1: 4 TREES MUST BE CONIFEROUS
- MINIMUM 50% LARGE TO SMALL TREES (DECIDUOUS & CONIFEROUS)
- MINIMUM CALIPER OF SMALL DECIDUOUS: 65mm
- MINIMUM CALIPER OF LARGE DECIDUOUS: 85mm
- MINIMUM HEIGHT OF SMALL CONIFEROUS: 3.0m OR 9'-10"
- MINIMUM HEIGHT OF LARGE CONIFEROUS: 4.0m OR 13'-1"
- THEREFORE MINIMUM PLANTING REQUIRED ARE:
- 837.184 m² / 110 m² = 7.61 = 8 TREES & 24 SHRUBS
- BROKEN DOWN AS:
- 6 DECIDUOUS
- 2 CONIFEROUS
- 24 SHRUBS (Shrubs must be a minimum height or spread of 0.60 meters at the time of planting)
- PROPOSED PLANTING:
- 6 DECIDUOUS
- 2 CONIFEROUS
- 25 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES						
03	PC		PIN CHERRY	PRUNUS PENNSYLVANICA	85mm CAL.	
03	BO		BUR OAK	Quercus macrocarpa	70mm CAL.	

CONIFEROUS TREES						
01	BS		BLUE SPRUCE	PICEA PUNGENS	4.0M HGT.	
01	LP		LODGEPOLE PINE	PINUS CONTORTA VAR. LATIFOLIA	3.0M HGT.	

DECIDUOUS SHURBS						
11	RC		RUBY CAROUSEL JAPANESE BARBERRY	BERBERIS THUNBERGII 'BAILEY'	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD
03	CL		LILAC	SYRINGA SPP.	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

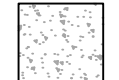
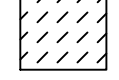
CONIFEROUS SHRUBS						
11	SJ		JUNIPER	JUNIPERUS SPP.	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

LOT AREA:837.184 m² LOT ZONING: R-CG

1.BUILDINGS COVERAGE = 464.67 M2 OR 55.50% FROM LOT AREA

-  PROPOSED BUILDING AREA = 362.30 m²
-  PROPOSED GARAGE COVERAGE = 90.80 m²
-  PROPOSED BICYCLE LOCKER COVERAGE = 10.98 m²

2.NON- LANDSCAPE AREA = 26.50 m² = 3.16 % OF LOT AREA

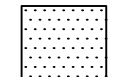
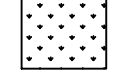
-  CONCRETE APRON = 8.78 m²
-  WINDOW WELLS = 17.72 m²

3.LANDSCAPE AREA = 352 m² = 42.04 % OF LOT AREA

3.1 HARD-LANDSCAPE = 152.04 m² = 43.19 % OF LANDSCAPE AREA

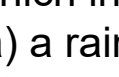
-  EXPOSED AGGREGATED CONCRETE WALKWAYS = 118.098m²
-  BIKE LOCKERS (CONCRETE BASE) = 10.98 m²
-  CONC. ENTRANCE STEPS = 10.06 m²
-  WOOD ENTRANCE STEPS = 9.328 m²
-  WASTE/RECYCLE = 3.59 m²

3.2 SOFT-LANDSCAPE= 199.96 m² = 56.80 % OF LANDSCAPE AREA

-  S.O.D = 171.00 m²
-  MULCH = 28.96 m²

LIGHTING LEGEND:



-  LED
-  1.20M SCREENING
-  2.0M FENCE
-  GARDEN BEDS
-  MASS PLANTING OF SHADE TOLERANT PERENNIALS
-  MASS PLANTING OF BLUE GRASS
-  FIRE PIT

IRRIGATION SYSTEM:

Underground Low Water Irrigation System to be used, which includes:

(a) a rain sensor or a soil moisture sensor.

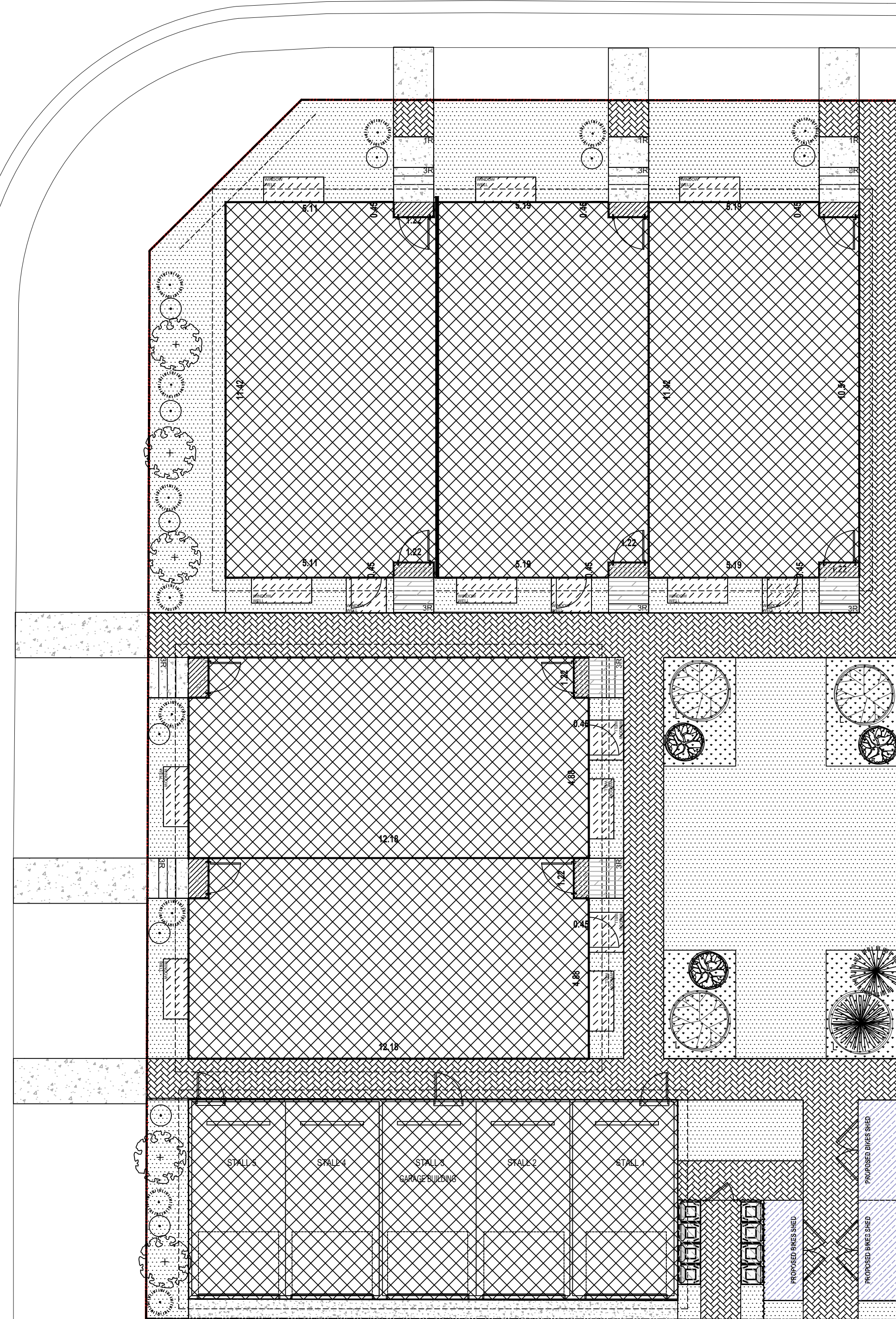
(b) a flow sensor for leak detection; and

(c) a master valve to secure the system if a leak is detected.

NOTE:

- ALL SOFT SURFACED LANDSCAPED AREA MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- A MINIMUM DEPTH OF 300MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.

37 AVENUE N.W.



DESIGNED BY:

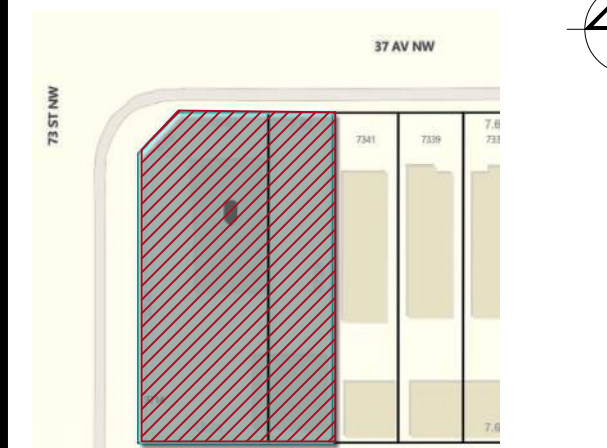


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THE CLIENT:

Baidwan Construction

PROJECT:

5- PLEX BUILDING

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Plan 3902 JK ,Block 7,
Lot 1 and the w 7.62 of Lot 2
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DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED LANDSCAPE

DRAWING NO.

A-006

PROJECT NO.:

26-0000

CHECKED BY:

2025-03-19

DATE:

1:100

SCALE:

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
03	SMART BOARD light GRAY(1)
05	HARDIE LIGHT GRAY
08	CORNER BOARD 4"BLACK
09	PRE-FINISHED METAL FASCIA BLACK
10	SHADOW BOARD 10"
11	TRIM - HORIZONTAL /VERTICAL 4" BLACK
13	4" TRIM



1 PROPOSED FRONT ELEVATION
3/16" = 1'-0"



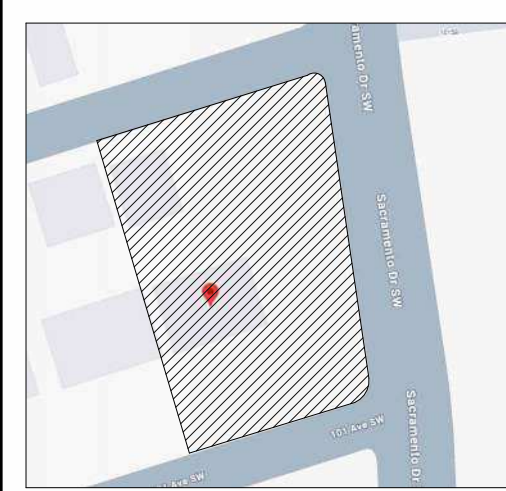
2 PROPOSED REAR ELEVATION
3/16" = 1'-0"

DESIGNED BY:

TRICOR
DESIGN GROUP

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
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01	2026-03-19	DEVELOPMENT PERMIT	R.N / R.E / N.F / M.A	A.K.T.I
02				
03				
04				
05				

THE CLIENT:

Baidwan Construction

PROJECT:

5_PLEX

ADDRESS:

**3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

**PROPOSED FRONT & REAR
ELEVATIONS
B01**

DRAWING NO.

A-201

PROJECT NO.:

26-1038

CHECKED BY:

A.K.T.I

DATE:

2026-03-19

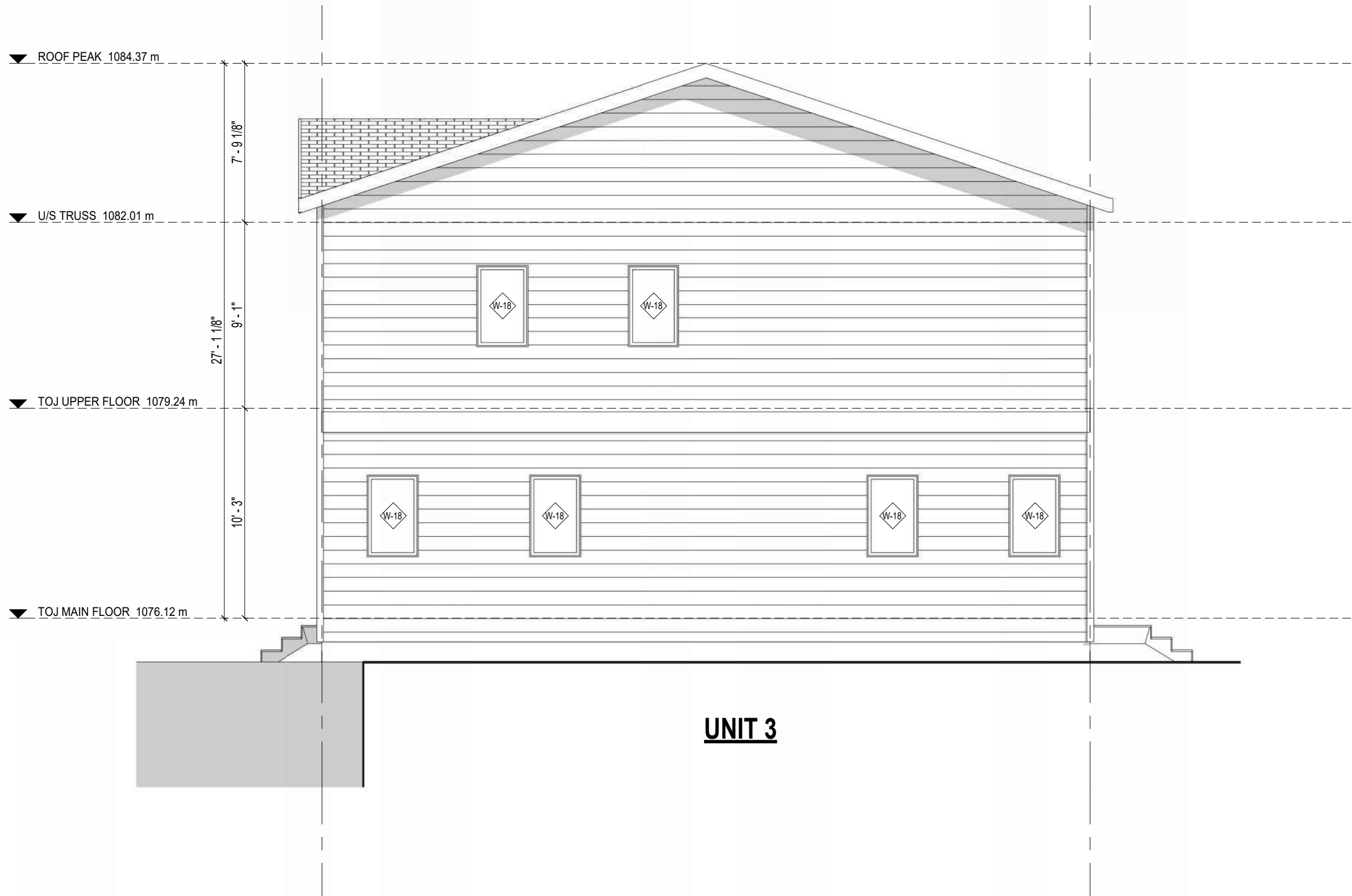
DRAWN BY:

R.N / R.E / N.F / M.A

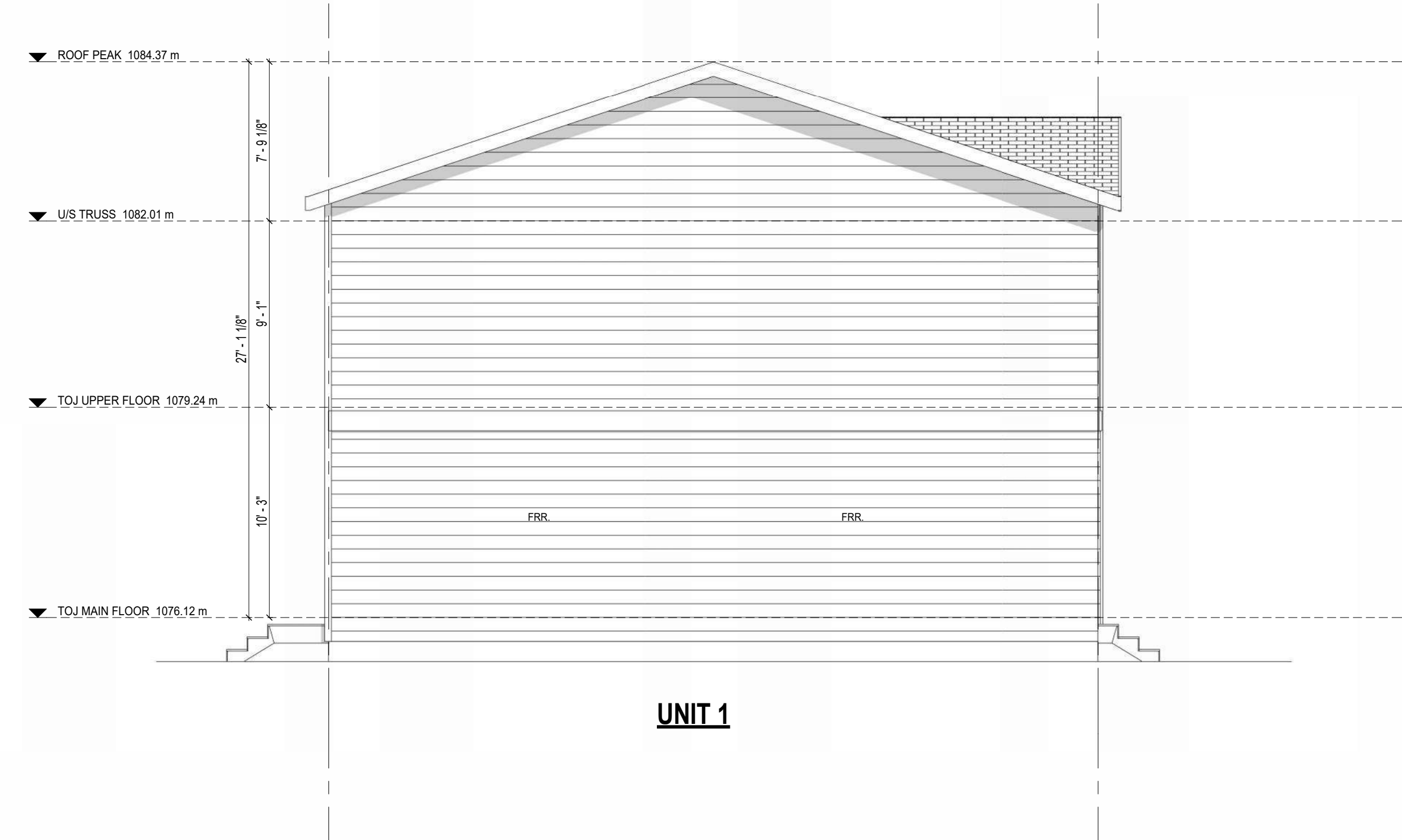
SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
03	SMART BOARD light GRAY(1)
05	HARDIE LIGHT GRAY
08	CORNER BOARD 4"BLACK
09	PRE-FINISHED METAL FASCIA BLACK
10	SHADOW BOARD 10"
11	TRIM - HORIZONTAL /VERTICAL 4" BLACK
13	4" TRIM



1 PROPOSED RIGHT ELEVATION
3/16" = 1'-0"



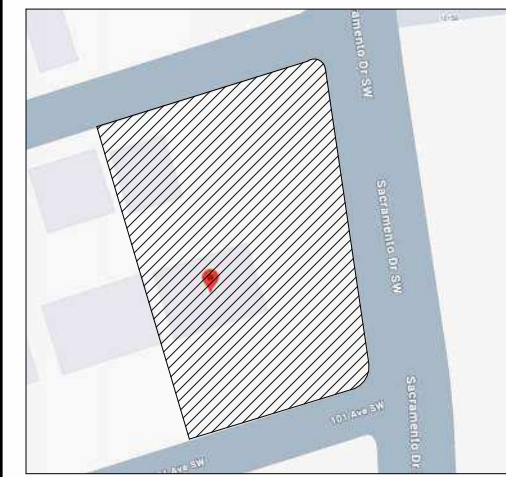
2 PROPOSED LEFT ELEVATION
3/16" = 1'-0"

DESIGNED BY:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com
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CALGARY, AB. T2E 6K3
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FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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02				
03				
04				
05				

THE CLIENT :

Baidwan Construction

PROJECT :

5_PLEX

ADDRESS:

**3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**PROPOSED RIGHT & LEFT
ELEVATIONS
B01**

DRAWING NO.

A-202

PROJECT NO. :

26-1038

CHECKED BY:

A.K/T.I

DATE:

2026-03-19

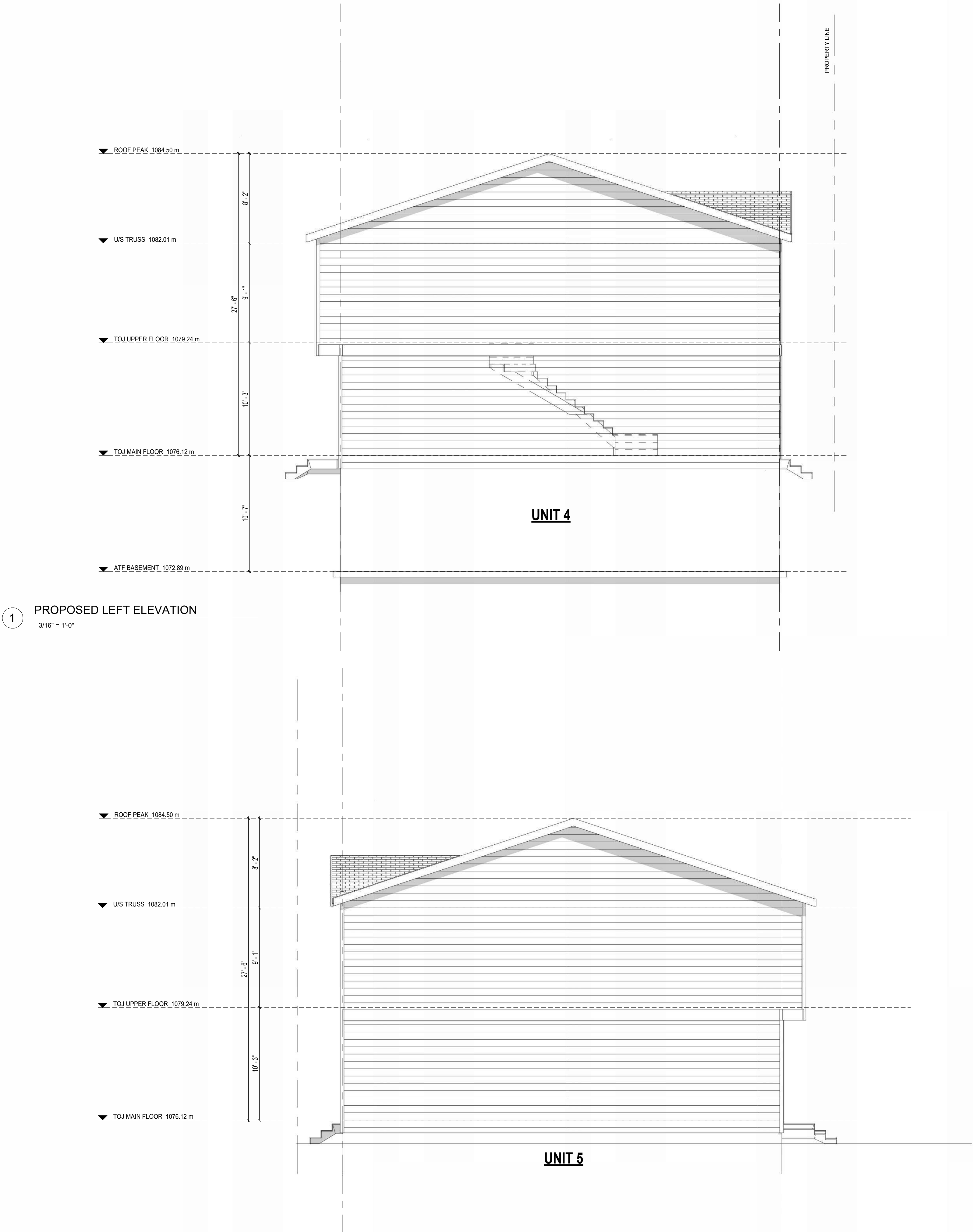
DRAWN BY:

R.N / R.E / N.F / M.A

SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
03	SMART BOARD light GRAY(1)
05	HARDIE LIGHT GRAY
08	CORNER BOARD 4"BLACK
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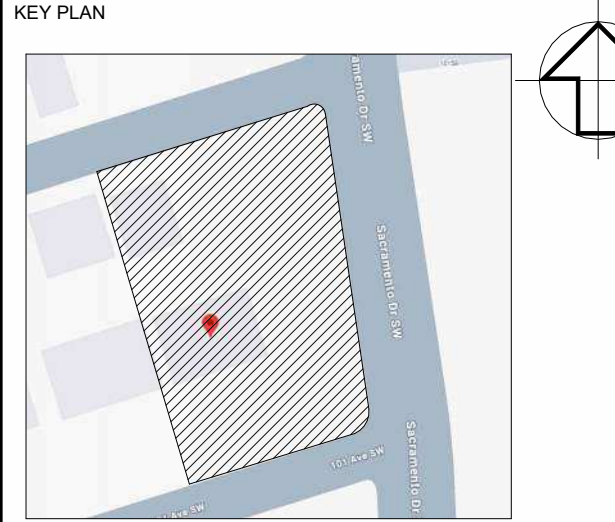
DESIGNED BY:



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THE CLIENT :

Baidwan Construction

PROJECT :

5_PLEX

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CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**PROPOSED LEFT & RIGHT
ELEVATIONS
B02**

DRAWING NO.

A-201

PROJECT NO. :	CHECKED BY:	DATE:
26-1038	A.K.T.I	2026-03-19
	DRAWN BY:	SCALE:
	R.N / R.E / N.F / M.A	3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
03	SMART BOARD light GRAY(1)
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10	SHADOW BOARD 10"
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13	4" TRIM



1 PROPOSED FRONT ELEVATION
3/16" = 1'-0"



2 PROPOSED REAR ELEVATION
3/16" = 1'-0"

DESIGNED BY:

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KEY PLAN



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Baidwan Construction

PROJECT:

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CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62
OF LOT 2**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

**PROPOSED FRONT & REAR
ELEVATIONS
B02**

DRAWING NO.

A-202

PROJECT NO.:

26-1038

CHECKED BY:

A.K.T.I

DATE:

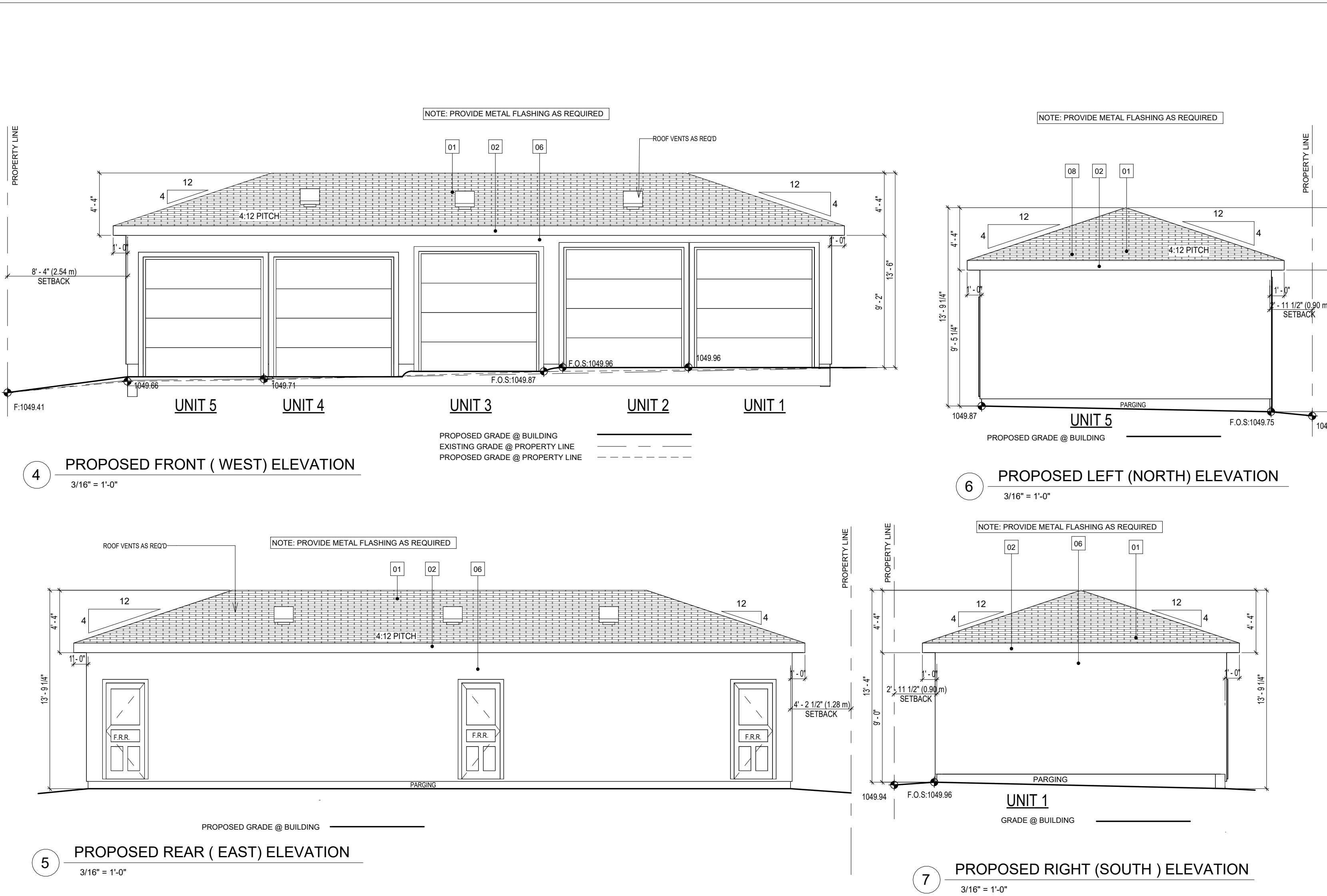
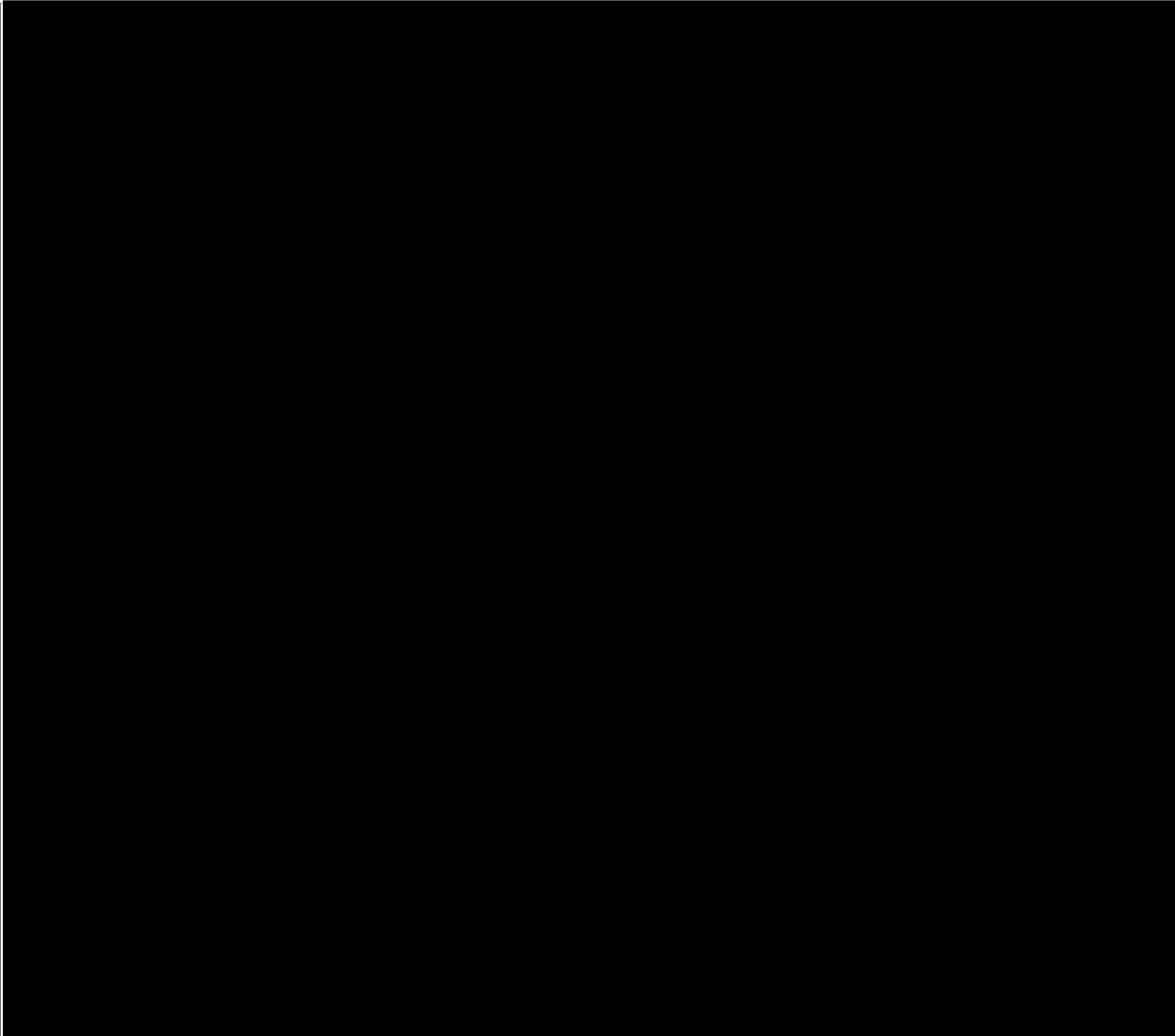
2026-03-19

DRAWN BY:

R.N / R.E / N.F /
M.A

SCALE:

3/16" = 1'-0"



NOTE:
GARAGE TO BE BUILT AS PER VARIANCE (SPV-003)

GR-1

ROOF AND CEILINGS

- ASPHALT SHINGLE ROOFING AS SPEC'D
- BUILDING PAPER
- 1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT.
- APPROVED WOOD TRUSSES @ 24" O/C
- (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL)
- (2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
- MIN R35 LOOSE FILL/ OR CELLULOSE INSUL.
- VAPOUR BARRIER (6 MIL POLY)
- 5/8" TYPE 'X' DRYWALL

GF-4

GARAGE SLAB

- 4" DURACRETE CONC. SLAB
- 5" COMP. GRAVEL (SLOPE 4")
- (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

GW-1

EXTERIOR WALLS AS PER SPV003
UL U465, ULC W415 1-HOUR

- LAYER 5/8" (15.9MM) TYPE X EXTERIOR GYPSUM BOARD OR THE EQUIVALENT TO PROVIDE A MINIMUM 45 MIN FIRE RESISTANCE RATING (FRR) WITH ALL VERTICAL JOINTS FULLY SUPPORTED.
- SINGLE PLY AIR BARRIER.
- MINIMUM 38MM X 89MM (2 X 4") WOOD STUDS AT A MAXIMUM SPACING OF 400MM (16") ON CENTRE.
- EXTERIOR WALL STUD CAVITIES TO BE FILLED WITH MINERAL FIBER INSULATION CONFORMING TO CAN/ULC-S702, HAVING A MASS NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE.
- A SINGLE PLY 6MIL (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CGSB-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3 OF DIVISION B OF THE NBC - AE
- INTERIOR SHEATHING TO CONSIST OF 1 LAYER 5/8" (15.9MM) TYPE X GYPSUM BOARD OR EQUIVALENT.

W-7

(W13-A) 1HR FRR STC-57

- 5/8" TYPE 'X' DRYWALL
- 6 MIL POLY V-B
- 2X4 STUDS ON EDGE @ 24" OC
- 6 MIL POLY V-B
- 5/8" TYPE 'X' DRYWALL

- NOTE**
- SOIL BEARING CAPACITY 2000 # FT²
 - DOORS TO BE 45 MIN. FRR AND SELF CLOSING

TRC_SCHEDULE OF FINISHES

MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
06	STUCCO CLADING WHITE
08	4" TRIM

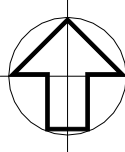
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KEY PLAN



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THE CLIENT:

Baidwan Construction

PROJECT:

5_PLEX

ADDRESS:

**3714 73 STREET NW
CALGARY, ALBERTA
PLAN 3902JK, BLK7, LOT1 & W7.62 OF LOT 2**

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

**PROPOSED ACCESSORY BUILDING
(GARAGE)**

DRAWING NO.

A-401

PROJECT NO.:

26-1038

CHECKED BY:

T.J / A.S

DATE:

2026-03-19

DRAWN BY:

R.E

SCALE:

3/16" = 1'-0"