

15 TEMPLEMONT DR NE - BACKYARD SUITE

MUNICIPAL ADDRESS

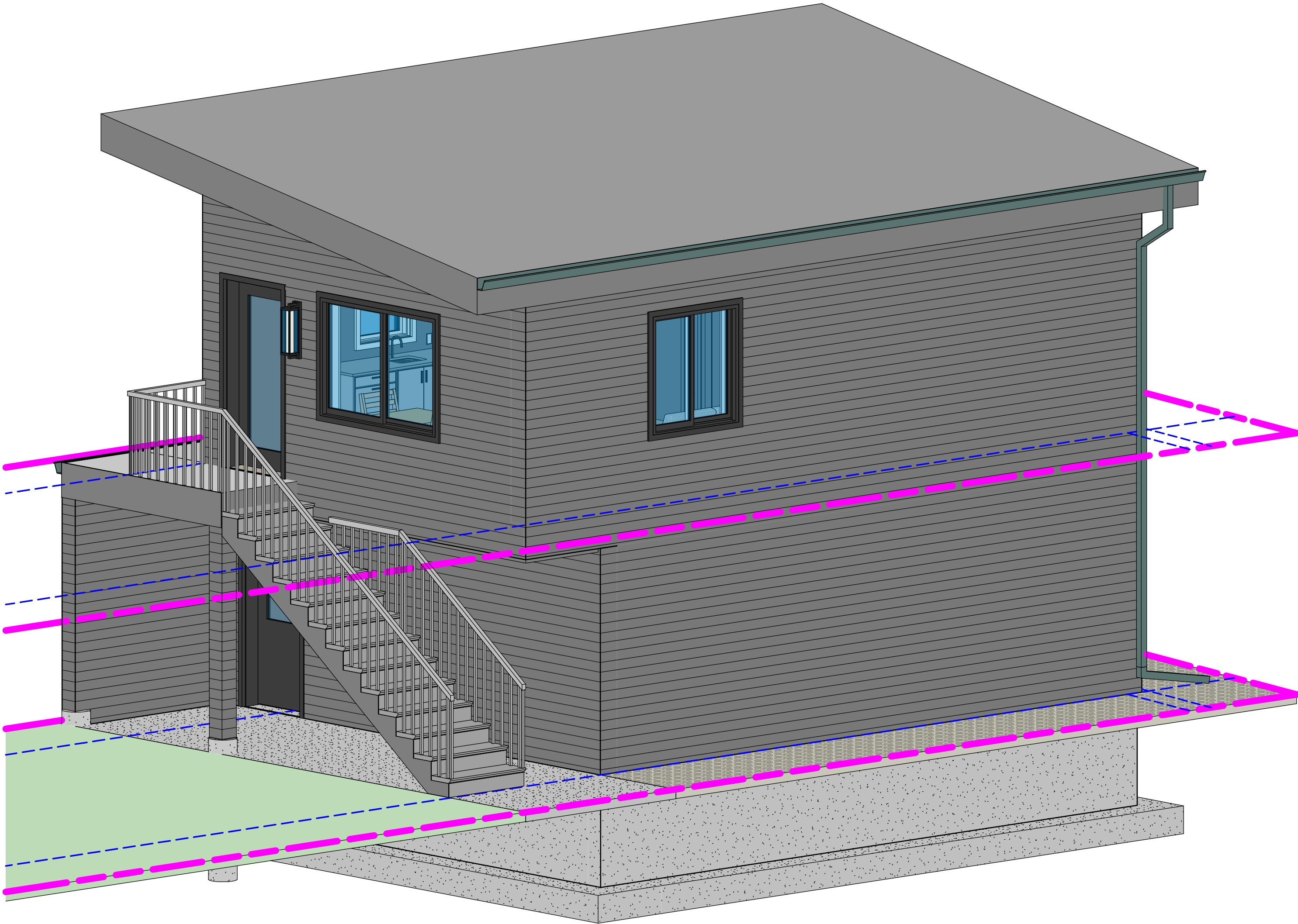
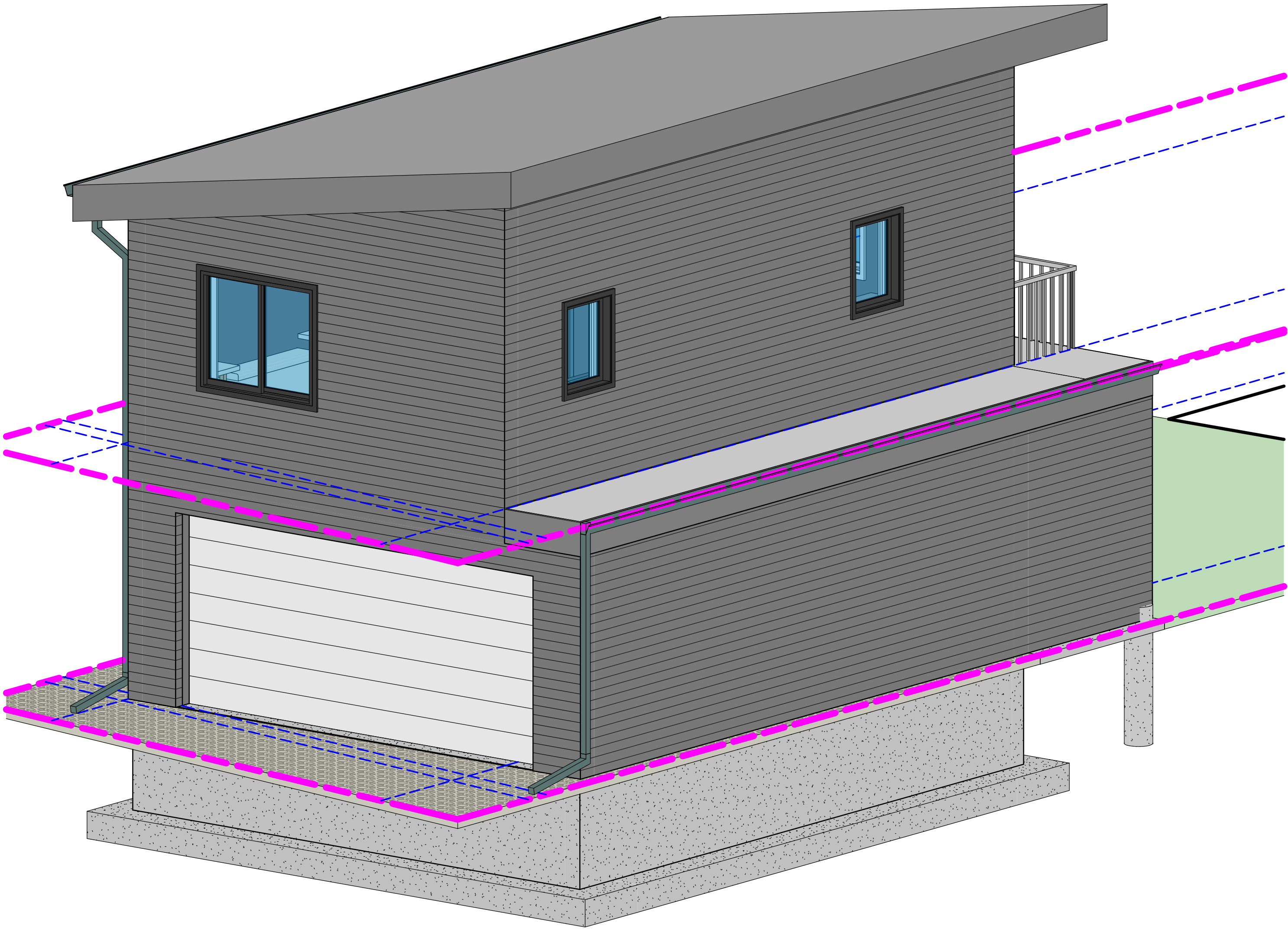
15 TEMPLEMONT DR NE
CALGARY, ALBERTA
T1Y 4Z5

LEGAL DESCRIPTION

Plan:7910737;Block:45;Lot:26

BUILDING PERMIT DRAWING PACKAGE

ARCHITECTURAL SHEET LIST	
SHEET NUMBER	SHEET NAME
A000	COVER PAGE
A001	CODE REVIEW
A002	EXISTING SITE PICTURES
A004	ASSEMBLIES
A005	DOOR AND WINDOW SCHEDULE
A101	SITE PLAN
A102	SITE PLAN - MAIN FLOOR
A103	SPATIAL SEPARATION CALCULATIONS
A201	MAIN FLOOR PROPOSED PLAN
A202	SECOND FLOOR PROPOSED PLAN
A203	ROOF PLAN
A204	FOUNDATION PLAN
A301	ENLARGED KITCHEN
A302	ENLARGED WASHROOM
A401	MAIN FLOOR REFLECTED CEILING PLAN
A402	SECOND FLOOR REFLECTED CEILING PLAN
A501	EXTERIOR ELEVATIONS
A502	EXTERIOR ELEVATIONS
A601	BUILDING SECTIONS
A602	BUILDING SECTIONS
A603	BUILDING SECTIONS
A1601	3D VIEWS



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ISSUES/REVISIONS

DATE	DESCRIPTION	#
2026-03-20	ISSUED FOR DP	1
2026-03-22	ISSUED FOR DP Rev1 + BP	2
2026-06-11	ISSUED FOR DP Rev4	5

Seal

Client

Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

Drawing Title
COVER PAGE

Drawing info		Project Number
Scale		2026-001
Date	2026-03-20	
Drawn	JU	
Checked		
Partner		
		Drawing Number
		A000

ANNOTATION CALLOUTS/DRAWING SYMBOLS	
Room name 101 ROOM NAME AND NUMBER	1 Ref A101 DRAWING NUMBER SHEET NUMBER WHERE SECTION/DETAIL/VIEW IS DRAWN
1 Ref A101 BUILDING SECTION REFERENCE	1 Ref A101 SECTION REFERENCE SHEET NUMBER WHERE SECTION/DETAIL IS DRAWN
1 Ref A5-1 ELEVATION NUMBER SHEET NUMBER WHERE ELEVATION IS DRAWN	2 Ref A1-2 INTERIOR ELEVATION REFERENCE SHEET NUMBER WHERE ELEVATION IS DRAWN ELEVATION NUMBER
C2 2700 CEILING ASSEMBLY CEILING HEIGHT CEILING REFERENCE	F FLOOR R ROOF P PARTITION W WALL RP RATED PARTITION ASSEMBLY TAGS
? ACCESSORIES KEYNOTE	1202.A DOOR TAG
NEW NEW ELEVATION	1202.A INTERIOR GLAZING TAG
EXIST EXISTING ELEVATION	000.A WINDOW TAG
01 SHEET KEYNOTE	0 GRID / COLUMN LINE DESIGNATOR
ENLARGEMENT, DETAIL	DETAIL NUMBER A101 SHEET NUMBER WHERE DETAIL IS DRAWN NORTH ARROW w/ TRUE NORTH INDICATION

BUILDING CODE REVIEW			
APPLICABLE CODE:		NATIONAL BUILDING CODE - 2023 ALBERTA EDITION	
ITEM			
1	PROJECT DESCRIPTION	☒ NEW ☐ ADDITION ☐ ALTERATION/RENOVATION	
2	MAJOR OCCUPANCY(S)	RESIDENTIAL GROUP C	9.10.2
3	BUILDING AREA (m²)	BUILDING AREA: 490.11ft² (45.5m²) GROSS FLOOR AREA: 980.2ft² (91.0m²)	1.3.3.3 (A) RESIDENTIAL GROUP C NOT EXCEEDING 600m² BUILDING AREA
4	HEIGHT OF BUILDING (STOREYS)	2 STOREYS	9.10.8.1 RESIDENTIAL GROUP C NOT MORE THAN 3 STOREYS
5	SPRINKLER SYSTEM PROPOSED	☐ ENTIRE BUILDING ☐ BASEMENT ONLY ☐ IN LIEU OF ROOF RATING ☒ NOT REQUIRED	9.10.8.2
6	FIRE ALARM REQUIRED	☐ YES ☒ NO	9.10.18.2
7	PERMITTED CONSTRUCTION	☐ COMBUSTIBLE ☐ NON-COMBUSTIBLE ☒ BOTH	9.10.6
	ACTUAL CONSTRUCTION	☒ COMBUSTIBLE ☐ NON-COMBUSTIBLE ☐ BOTH	
8	MEZZANINE(S) AREA (m²)	EXISTING: N/A NEW: N/A TOTAL: N/A	9.10.4.1
9	OCCUPANT LOAD BASED ON ☐ m²/PERSON OCCUPANT LOAD: 1 BEDROOM = 2 PERSONS	☒ DESIGN OF BUILDING	9.9.1.3.(2) THE OCCUPANT LOAD FOR DWELLING UNITS SHALL BE BASED ON 2 PERSONS PER BEDROOM OR SLEEPING AREA
10	BARRIER-FREE DESIGN	☐ YES ☒ NO PER 3.8.2.1. EXCEPTIONS 1) THE REQUIREMENTS OF THIS SECTION APPLY TO ALL BUILDINGS EXCEPT: a) DETACHED HOUSES, SEMI-DETACHED HOUSES, HOUSES WITH A SECONDARY SUITE, DUPLEXES, TRIPLEXES, TOWNHOUSES, ROW HOUSES AND BOARDING HOUSES THAT ARE NOT USED IN SOCIAL PROGRAMS (SEE NOTE A-1.4.1.2.(1) OF DIVISION A, SECONDARY SUITE).	9.5.2 REFERENCES 3.8.2.1
11	HAZARDOUS SUBSTANCES	☐ YES ☒ NO	9.10.1.3.(4)
12	REQUIRED FIRE RESISTANCE RATING (FRR)	FLOORS: 1 HOUR PER 9.10.9.18 MEZZANINE FLOORS: NONE PER 9.10.8.10 ROOFS: NONE 9.10.8.10. APPLICATION TO HOUSES 1) TABLE 9.10.8.1. DOES NOT APPLY TO: a) A DWELLING UNIT THAT HAS NO OTHER DWELLING UNIT ABOVE OR BELOW IT. b) HOUSES WITH A SECONDARY SUITE, WHERE THE FLOOR FRAMING IS PROTECTED ON THE UNDERSIDE BY A CONTINUOUS SMOKE-TIGHT BARRIER OF NOT LESS THAN 12.7 MM THICK GYPSUM BOARD, OR c) A DWELLING UNIT THAT IS NOT ABOVE OR BELOW ANOTHER MAJOR OCCUPANCY. 9.10.9.18.(2) AND (3) SEPARATION OF STORAGE GARAGES 2) EXCEPT AS PERMITTED IN SENTENCE (3), STORAGE GARAGES CONTAINING 5 MOTOR VEHICLES OR FEWER SHALL BE SEPARATED FROM OTHER OCCUPANCIES BY A FIRE SEPARATION OF NOT LESS THAN 1 HOUR. 3) WHERE A STORAGE GARAGE SERVES ONLY THE DWELLING UNIT TO WHICH IT IS ATTACHED OR IN WHICH IT IS BUILT, IT SHALL BE CONSIDERED AS PART OF THAT DWELLING UNIT, AND THE FIRE SEPARATION REQUIRED IN SENTENCE (2) NEED NOT BE PROVIDED BETWEEN THE GARAGE AND THE DWELLING UNIT. 9.10.13.15 DOORS BETWEEN GARAGES & DWELLING UNITS 1) A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT FITTING AND WEATHER-STRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF-CLOSING DEVICE. 2) A DOORWAY BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL NOT BE LOCATED IN A ROOM INTENDED FOR SLEEPING.	9.10.8 + 9.10.9
13	9.9.9.1 TRAVEL LIMITS TO EXITS OR EGRESS DOORS	1) EXCEPT AS PROVIDED IN SENTENCES (2) AND (3), EVERY DWELLING UNIT CONTAINING MORE THAN 1 STOREY SHALL HAVE EXITS OR EGRESS DOORS LOCATED SO THAT IT SHALL NOT BE NECESSARY TO TRAVEL UP OR DOWN MORE THAN 1 STOREY TO REACH A LEVEL SERVED BY: a) AN EGRESS DOOR TO A PUBLIC CORRIDOR, ENCLOSED EXIT STAIR OR EXTERIOR PASSAGEWAY, OR b) AN EXIT DOORWAY NOT MORE THAN 1.5 M ABOVE ADJACENT GROUND LEVEL. 2) WHERE A DWELLING UNIT IS NOT LOCATED ABOVE OR BELOW ANOTHER SUITE, THE TRAVEL LIMIT FROM A FLOOR LEVEL IN THE DWELLING UNIT TO AN EXIT OR EGRESS DOOR MAY EXCEED 1 STOREY WHERE THAT FLOOR LEVEL IS SERVED BY AN OPENABLE WINDOW: a) PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 1 M IN HEIGHT AND 0.55 M IN WIDTH, AND b) LOCATED SO THAT THE SILL IS NOT MORE THAN: i) 1 M ABOVE THE FLOOR, AND ii) 7 M ABOVE ADJACENT GROUND LEVEL. 3) THE TRAVEL LIMIT FROM A FLOOR LEVEL IN A DWELLING UNIT TO AN EXIT OR EGRESS DOOR MAY EXCEED 1 STOREY WHERE THAT FLOOR LEVEL HAS DIRECT ACCESS TO A BALCONY.	
14	MINIMUM EGRESS WIDTHS	9.5.4.1. HALLWAY WIDTH: 860mm (2'-10") 9.5.5.1. DOOR WIDTHS: 810mm (2'-8") DWELLING ENTRY + EXIT, UTILITY ROOMS, ONE LINE OF PASSAGE FROM EXTERIOR TO BASEMENT 610mm (2'-0") WALK-IN CLOSET, BATHROOM, SHOWER ROOM 760mm (2'-4") EXTERIOR BALCONIES, ROOMS NOT MENTIONED ABOVE 9.8.2.1.(2) STAIR WIDTHS: 860mm (2'-10")	
15	MINIMUM EGRESS WIDTHS	9.9.3.4. EXITS: 2100mm (6'-11") 9.8.2.2. STAIRS: 1950mm (6'-5") 9.8.6.4. LANDINGS: 1950mm (6'-5") 9.5.3.1. AND 9.9.6.2.(3) DOORS: 1980mm (6'-6") 9.9.3.4.(2) STORAGE GARAGE: 2000mm (6'-6")	

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Seal
Client

Project Title N BACKYARD SUITE 15 TEMPLEMONT DR NE	
Drawing Title CODE REVIEW	
Drawing info	Project Number 2026-001
Scale 1 : 1	Drawing Number A001
Date 2026-03-20	
Drawn JU	
Checked Partner	



REAR YARD - FACING NORTH EAST TOWARDS EXISTING SEMI-DETACHED DWELLING



REAR YARD - FACING EAST TOWARDS EXISTING SEMI-DETACHED DWELLING



REAR YARD - FACING EAST TOWARDS EXISTING SEMI-DETACHED DWELLING



REAR YARD - FACING WEST ALLEY

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Client

Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

Drawing Title
EXISTING SITE PICTURES

Drawing info		Project Number
Scale		2026-001
Date	2026-03-20	
Drawn	JU	
Checked		
Partner		

A002

EXTERIOR WALL ASSEMBLIES

SYMBOL	FIRE RATING	SOUND RATING	CONSTRUCTION DETAIL	DESCRIPTION	RSI-VALUE	RSI-CALCULATION	R-VALUE	CLIMATE ZONES 7A CALGARY
FW1				FOUNDATION WALL EXTERIOR • FREE DRAINING SOIL • DRAINAGE MAT • WATERPROOFING MEMBRANE EXTERIOR AIR FILM • CAST IN PLACE CONCRETE (REFER TO STRUCTURAL)	N/A NO BASEMENT	N/A NO BASEMENT	N/A NO BASEMENT	N/A NO BASEMENT
W1A	1 HOUR			2x6 EXTERIOR WALL 1 HOUR FIRE RATING (9.10.3.1.-A ASSEMBLY W1a) EXTERIOR AIR FILM • VINYL SIDING • AIR + WEATHER MEMBRANE • 5/8" (15.9mm) TYPE X SHEATHING • 2x6" (38x140mm) WOOD STUDS @ 16" (406mm) O.C. • CAVITY C/W R24 BATT INSULATION • 6 MIL POLY V.B. • 5/8" (15.9mm) TYPE X GWB INTERIOR AIR FILM	0.03 0.11 0.00 0.10 2.68*	*RSI FOR STUD + INSUL. RSI=100/[(23/1.20) + [77/4.23)] = 2.68*	(3.14 x 5.678) = R-17.83	ABOVE GRADE WALLS NO HRV; RSI-3.08/R-17.5 HRV; RSI-2.97/R-16.9
W1B	1 HOUR			2x6 EXTERIOR WALL 1 HOUR FIRE RATING (9.10.3.1.-A ASSEMBLY W1a) • VINYL SIDING • AIR + WEATHER MEMBRANE • 5/8" (15.9mm) TYPE X SHEATHING • 2x6" (38x140mm) WOOD STUDS @ 16" (406mm) O.C. • 5/8" (15.9mm) TYPE X SHEATHING • AIR + WEATHER MEMBRANE • VINYL SIDING	N/A	N/A	N/A	N/A
W2	1 HOUR			2x8 EXTERIOR WALL 1 HOUR FIRE RATING (9.10.3.1.-A ASSEMBLY W1a) EXTERIOR AIR FILM • VINYL SIDING • AIR + WEATHER MEMBRANE • 5/8" (15.9mm) TYPE X SHEATHING • 2x8 (38x184mm) WOOD STUDS @ 16" (406mm) O.C. (REFER TO STRUCTURAL) WITH CAVITY R22 BATT INSULATION • 6 MIL POLY V.B. • 5/8" (15.9mm) TYPE X GWB INTERIOR AIR FILM	0.03 0.11 0.00 0.10 2.90*	*RSI FOR STUD + INSUL. RSI=100/[(23/1.58) + [77/3.87)] = 2.90*	(3.36 x 5.678) = R-19.10	ABOVE GRADE WALLS NO HRV; RSI-3.08/R-17.5 HRV; RSI-2.97/R-16.9
W3				2x8 EXTERIOR WALL EXTERIOR AIR FILM • VINYL SIDING • AIR + WEATHER MEMBRANE • 5/8" (15.9mm) SHEATHING • 2x8 (38x184mm) WOOD STUDS @ 12" AND 16" (305mm AND 406mm) O.C. (REFER TO STRUCTURAL) WITH R22 BATT INSULATION • 6 MIL POLY V.B. • 1/2" (12.7mm) GWB INTERIOR AIR FILM	0.03 0.11 0.00 0.10 2.90*	*RSI FOR STUD + INSUL. RSI=100/[(23/1.58) + [77/3.87)] = 2.90*	(3.34 x 5.678) = R-18.97	ABOVE GRADE WALLS NO HRV; RSI-3.08/R-17.5 HRV; RSI-2.97/R-16.9

ROOF ASSEMBLIES

SYMBOL	FIRE RATING	SOUND RATING	CONSTRUCTION DETAIL	DESCRIPTION	RSI-VALUE	RSI-CALCULATION	R-VALUE	CLIMATE ZONES 7A CALGARY
R1				MONOSLOPE ROOF EXTERIOR AIR FILM • ASPHALT SHINGLES • 1/2" (12.7mm) PLYWOOD SHEATHING • 14" (355mm) TJI @ 16" (406mm) O.C. (REFER TO STRUCTURAL) WITH CAVITY R30 BATT INSULATION • 6 MIL POLY AIR/VAPOUR BARRIER MEMBRANE • 1/2" (12.7mm) GWB INTERIOR AIR FILM	0.03 0.08 0.11 4.95*	*RSI FOR TJI + INSUL. RSI=100/[(9/3.04) + [91/5.28)] = 4.95	(5.37 x 5.678) = R-30.49	CATHEDRAL CEILINGS AND FLAT ROOFS NO HRV; RSI-5.02/R-28.5 HRV; RSI-5.02/R-28.5

FLOOR ASSEMBLIES

SYMBOL	FIRE RATING	SOUND RATING	CONSTRUCTION DETAIL	DESCRIPTION	RSI-VALUE	RSI-CALCULATION	R-VALUE	CLIMATE ZONES 7A CALGARY
F1	1 HOUR	50 STC		11-7/8" TJI FLOOR ASSEMBLY 1 HOUR FIRE RATING (9.10.3.1.-B ASSEMBLY F9c) FINISHED FLOOR • 3/4" (19.1mm) PLYWOOD SHEATHING • 14" (355mm) TJI @ 16" (406mm) O.C. (REFER TO STRUCTURAL) WITH CAVITY R30 BATT INSULATION • RESILIENT METAL CHANNELS @ 16" (406mm) O.C. • 2 LAYERS 5/8" (15.9mm) TYPE X GWB	0.17 4.83*	*RSI FOR TJI + INSUL. RSI=100/[(9/3.04) + [91/5.28)] = 4.95	(5.40 x 5.678) = R-30.7	FLOORS OVER UNHEATED SPACES NO HRV; RSI-5.02/R-28.5 HRV; RSI-5.02/R-28.5
FC1				CONCRETE FLOOR SLAB - EXISTING FINISHED FLOOR • 5" CAST IN PLACE CONCRETE (REFER TO STRUCTURAL) • 6" GRAVEL	N/A	N/A	N/A	N/A

INTERIOR WALLS ASSEMBLIES

SYMBOL	FIRE RATING	SOUND RATING	CONSTRUCTION DETAIL	DESCRIPTION				
P1				INTERIOR STUD WALL • 1/2" (12.7mm) GWB • 2x4" (38x89mm) WOOD STUD @ 16" (406mm) O.C. • 1/2" (12.7mm) GWB				
P2				INTERIOR STUD WALL • 1/2" (12.7mm) GWB • 2x6" (38x140mm) WOOD STUD @ 16" (406mm) O.C. • 1/2" (12.7mm) GWB				
P3				INTERIOR FURRING WALL • 1/2" (12.7mm) GWB • 2x4" (38x89mm) WOOD STUD @ 16" (406mm) O.C.				
P4				INTERIOR FURRING WALL • 1/2" (12.7mm) GWB • 2x6" (38x140mm) WOOD STUD @ 16" (406mm) O.C.				
RP1	1 HOUR			RATED INTERIOR STUD WALL 1 HOUR FIRE RATING (9.10.3.1.-A ASSEMBLY W1d) • 5/8" (15.9mm) TYPE X GWB • 2x4" (38x89mm) WOOD STUD @ 16" (406mm) O.C. • 5/8" (15.9mm) TYPE X GWB				

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Seal

Client

Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

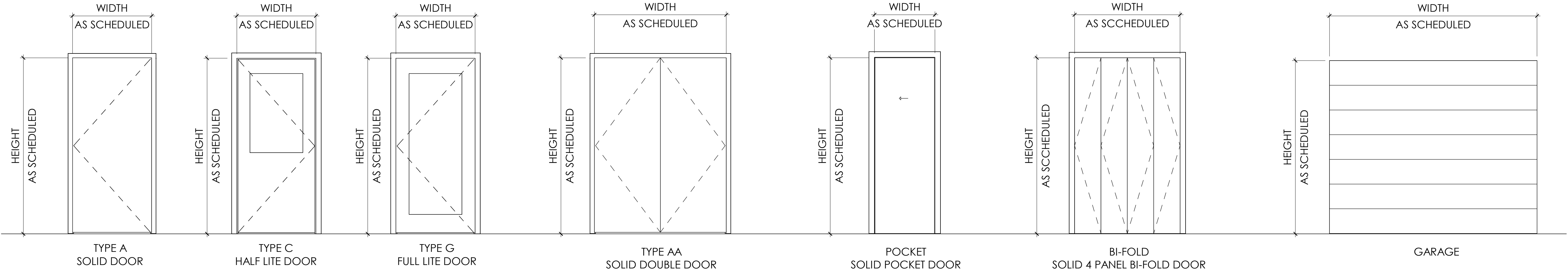
Drawing Title
ASSEMBLIES

WALL & PARTITION ASSEMBLY NOTES:

- REPLACE GYPSUM BOARD WITH MOULD RESISTANCE GYPSUM BOARD OR CEMENT BOARD SHEATHING C/W WATER PROOF MEMBRANE FOR ALL SHOWERS, BATHTUBS AND WALLS WITH TILE FINISH.
- REPLACE GYPSUM BOARD WITH MOULD RESISTANCE GYPSUM BOARD IN BATHROOMS.
- SOUND-ABSORBING MATERIAL, SUCH AS BATT INSULATION, IS TO BE INSTALLED IN ALL JOIST SPACES AND WALLS SEPARATING THE BASEMENT SECONDARY SUITE FROM THE PRIMARY UNIT AND MECHANICAL ROOM.

Drawing info	Project Number
Scale	As indicated
Date	2026-03-20
Drawn	JU
Checked	
Partner	
	Drawing Number
	A004

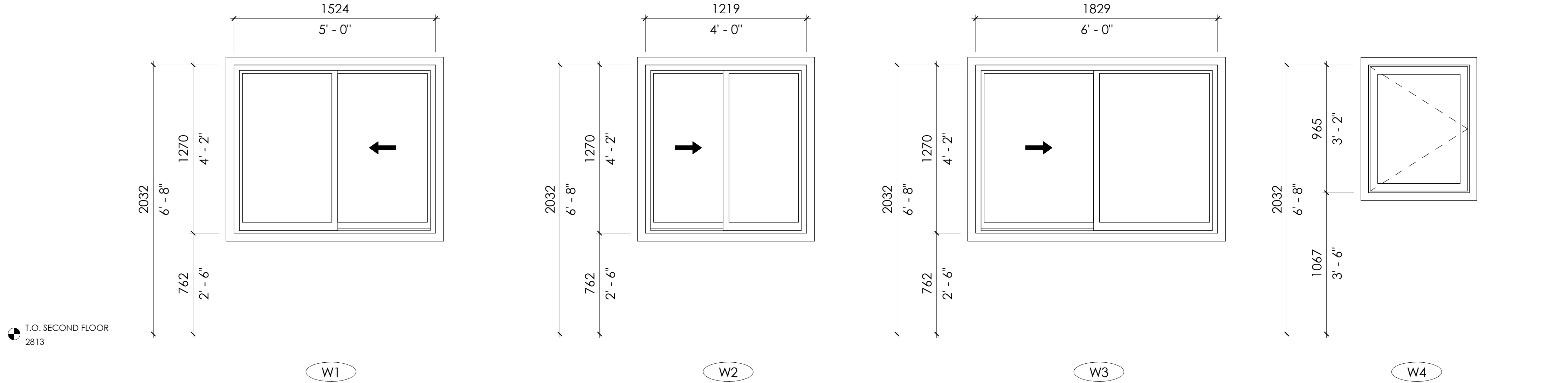
DOOR SCHEDULE								
FLOOR	DOOR							NOTES
	NUMBER	TYPE	SIZE				FIRE RATING	
			WIDTH (mm)	HEIGHT (mm)	WIDTH (Inches)	HEIGHT (Inches)		
T.O. MAIN FLOOR	D1.A	TYPE C	915	2032	36	80	-	
T.O. MAIN FLOOR	D1.B	GARAGE	4877	2134	192	84	-	
T.O. MAIN FLOOR	D2.A	TYPE AA	1830	2032	72	80	45 min	REQUIRES CLOSER
T.O. SECOND FLOOR	D1.C	TYPE G	915	2032	36	80	-	MAXIMUM U-VALUE = 1.61 W/m2xK PER ABC2023 9.36.2.7.
T.O. SECOND FLOOR	D1.D	TYPE A	610	2032	24	80	-	
T.O. SECOND FLOOR	D5.A	TYPE A	762	2032	30	80	-	
T.O. SECOND FLOOR	D5.B	BI-FOLD	1219	2032	48	80	-	



DOOR ELEVATIONS
1 : 25

WINDOW SCHEDULE							
FLOOR	WINDOW	TYPE	WINDOW				NOTES
			SIZE				
			WIDTH (mm)	HEIGHT (mm)	WIDTH (INCHES)	HEIGHT (INCHES)	
T.O. SECOND FLOOR	W1	SLIDING	1524	1270	5' - 0"	4' - 2"	
T.O. SECOND FLOOR	W2	SLIDING	1219	1270	4' - 0"	4' - 2"	
T.O. SECOND FLOOR	W3	SLIDING	1829	1270	6' - 0"	4' - 2"	
T.O. SECOND FLOOR	W4	FIXED	762	965	2' - 6"	3' - 2"	
T.O. SECOND FLOOR	W4	FIXED	762	965	2' - 6"	3' - 2"	
T.O. SECOND FLOOR	W5	FIXED	762	965	2' - 6"	3' - 2"	

ALL WINDOWS TO HAVE A MAXIMUM U-VALUE OF 1.61 W/m2xK PER ABC2023 9.36.2.7.



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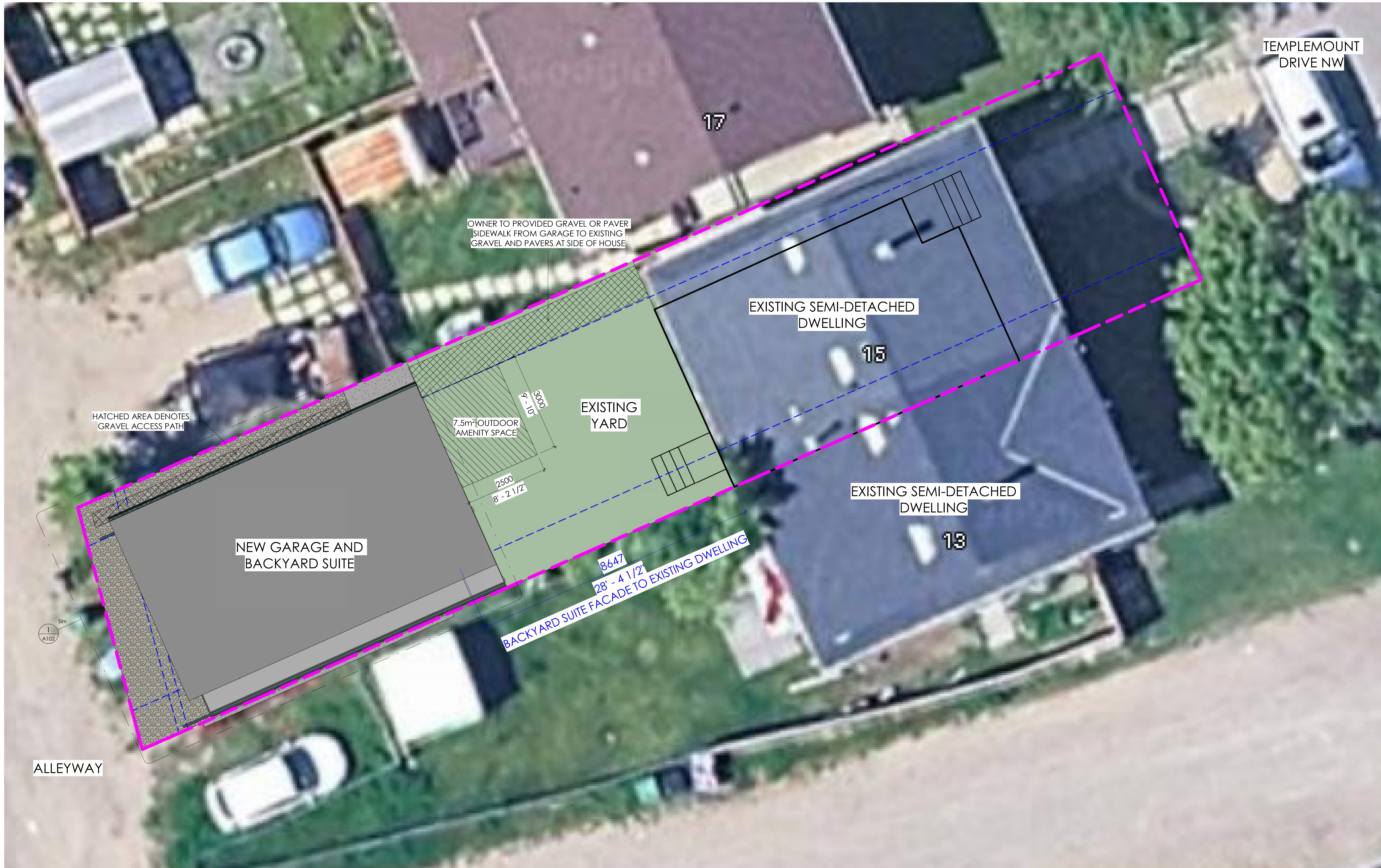
Seal

Client

Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

Drawing Title
DOOR AND WINDOW
SCHEDULE

Drawing info		Project Number
Scale	As indicated	2026-001
Date	2026-03-20	Drawing Number A005
Drawn	JU	
Checked		
Partner		



TEMPLEMOUNT
DRIVE NW

17

15

13

OWNER TO PROVIDED GRAVEL OR PAVER
SIDEWALK FROM GARAGE TO EXISTING
GRAVEL AND PAVERS AT SIDE OF HOUSE

EXISTING SEMI-DETACHED
DWELLING

EXISTING SEMI-DETACHED
DWELLING

EXISTING
YARD

NEW GARAGE AND
BACKYARD SUITE

7.5m² OUTDOOR
AMENITY SPACE

2500
8' - 2 1/2"

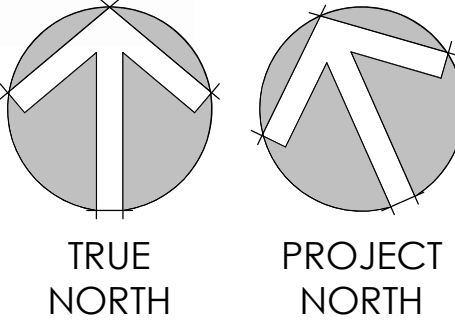
8647
28' - 4 1/2"
BACKYARD SUITE FACADE TO EXISTING DWELLING

HATCHED AREA DENOTES
GRAVEL ACCESS PATH

1
A102

ALLEYWAY

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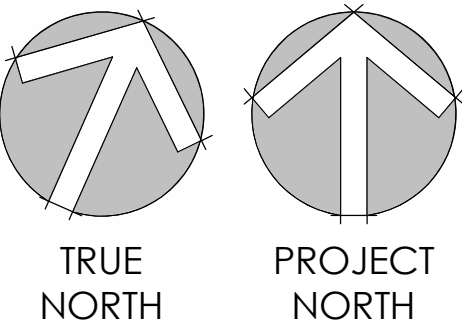
Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

Drawing Title
SITE PLAN

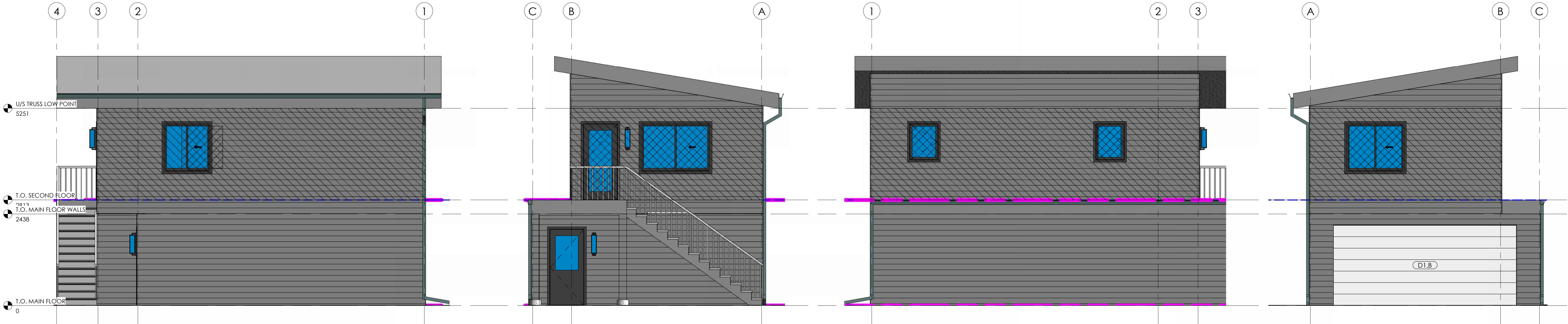
Drawing info		Project Number
Scale	As indicated	2026-001
Date	2026-03-20	Drawing Number A101
Drawn	JU	
Checked		
Partner		



SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS								
BACKYARD SUITE CALCULATIONS								
WALL	AREA OF EBF (m²)	L.D. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	REQUIRED CONSTRUCTION TYPE	REQUIRED CLADDING TYPE
NORTH	21.38	1.20	N/A	7	5.8	-	COMBUSTIBLE OR NON-COMBUSTIBLE	COMBUSTIBLE OR NON-COMBUSTIBLE
EAST	12.52	4.34	N/A	47	23.2	-		
SOUTH	21.38	1.20	N/A	7	4.8	-		
WEST	12.52	5.93	N/A	86	12.5	-		
EXISTING SEMI-DETACHED DWELLING - WEST ELEVATION CALCULATIONS								
WALL	AREA OF EBF (m²)	L.D. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	EXISTING % OF OPENINGS	FRR (HOURS)	REQUIRED CONSTRUCTION TYPE	REQUIRED CLADDING TYPE
WEST	34.7	4.34	N/A	29	21.61	-	COMBUSTIBLE OR NON-COMBUSTIBLE	
9.10.15. SPATIAL SEPARATION BETWEEN HOUSES REFERENCE 9.10.15.5 CONSTRUCTION OF EXPOSING BUILDING FACE OF HOUSES AS REQUIRED								



1 SITE PLAN - REAR YARD
1 : 50

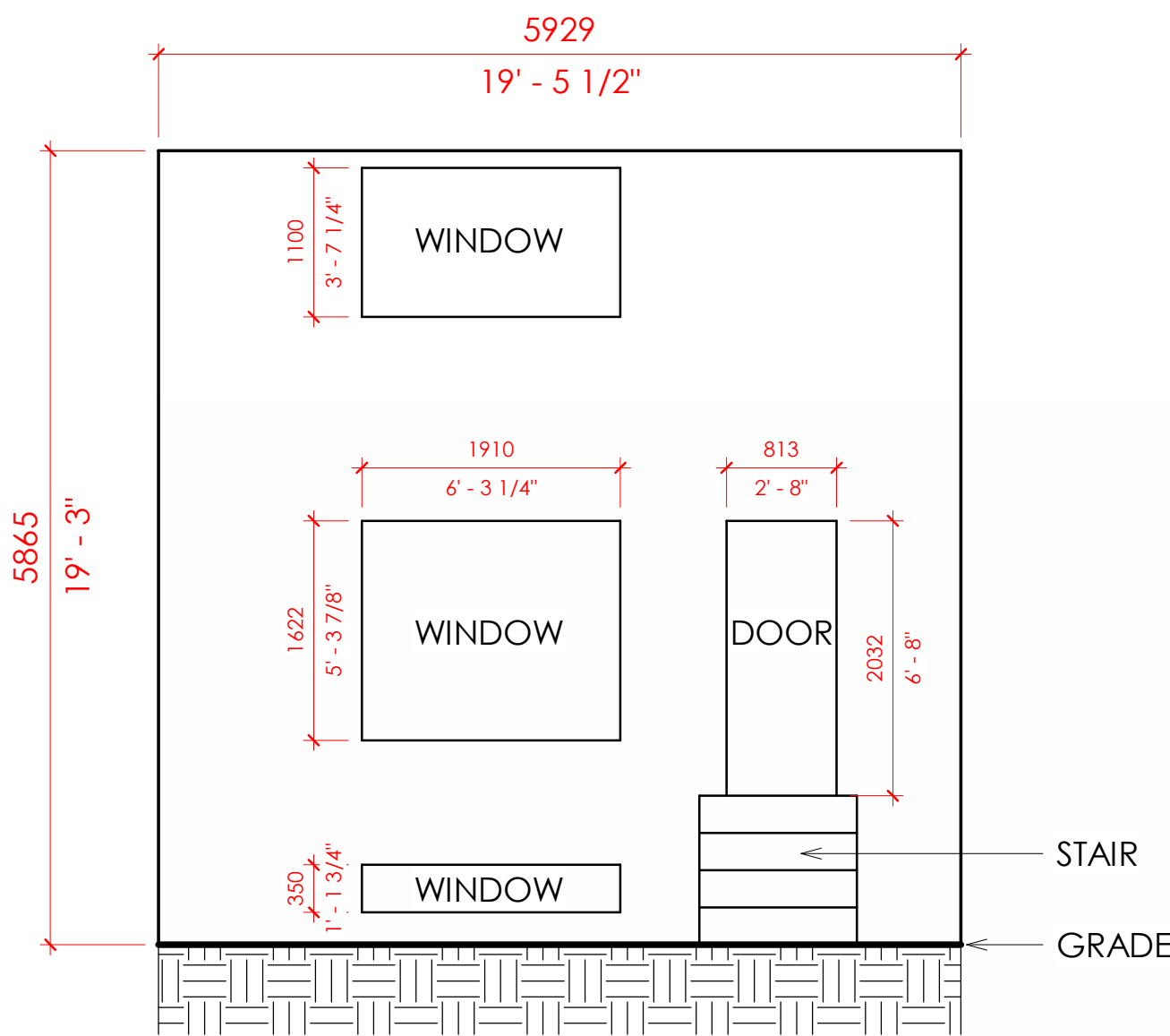


2 NORTH ELEVATION
1 : 50

3 EAST ELEVATION
1 : 50

4 SOUTH ELEVATION
1 : 50

5 WEST ELEVATION
1 : 50



6 EXISTING HOUSE - EAST ELEVATION
1 : 50



EXISTING SEMI-DETACHED DWELLING

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ISSUES/REVISIONS

DATE	DESCRIPTION	#
2026-03-20	ISSUED FOR DP	1
2026-03-22	ISSUED FOR DP Rev1 + BP	2
2026-04-19	ISSUED FOR DP Rev2	3
2026-05-26	ISSUED FOR DP Rev3	4
2026-06-11	ISSUED FOR DP Rev4	5

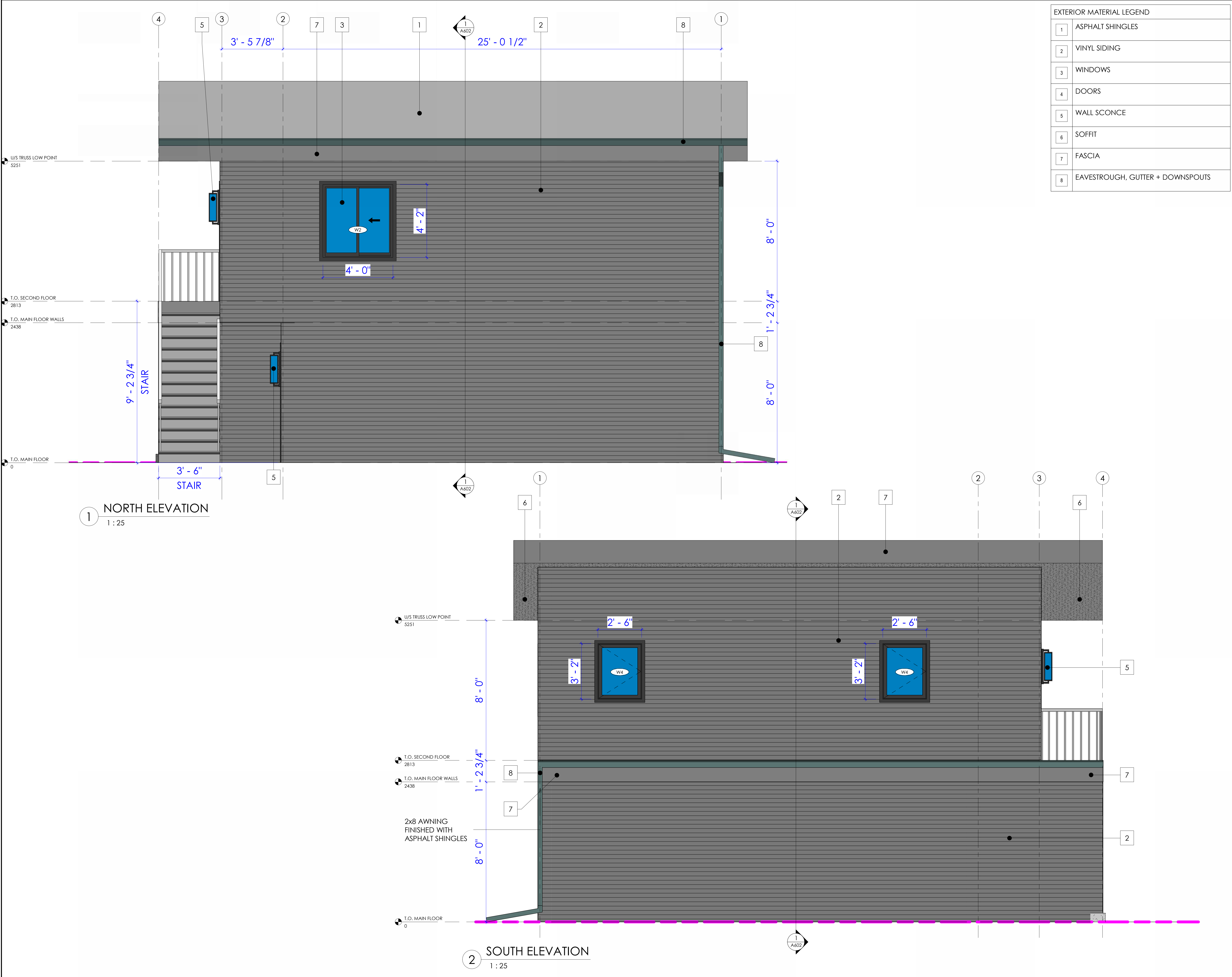
Seal

Client

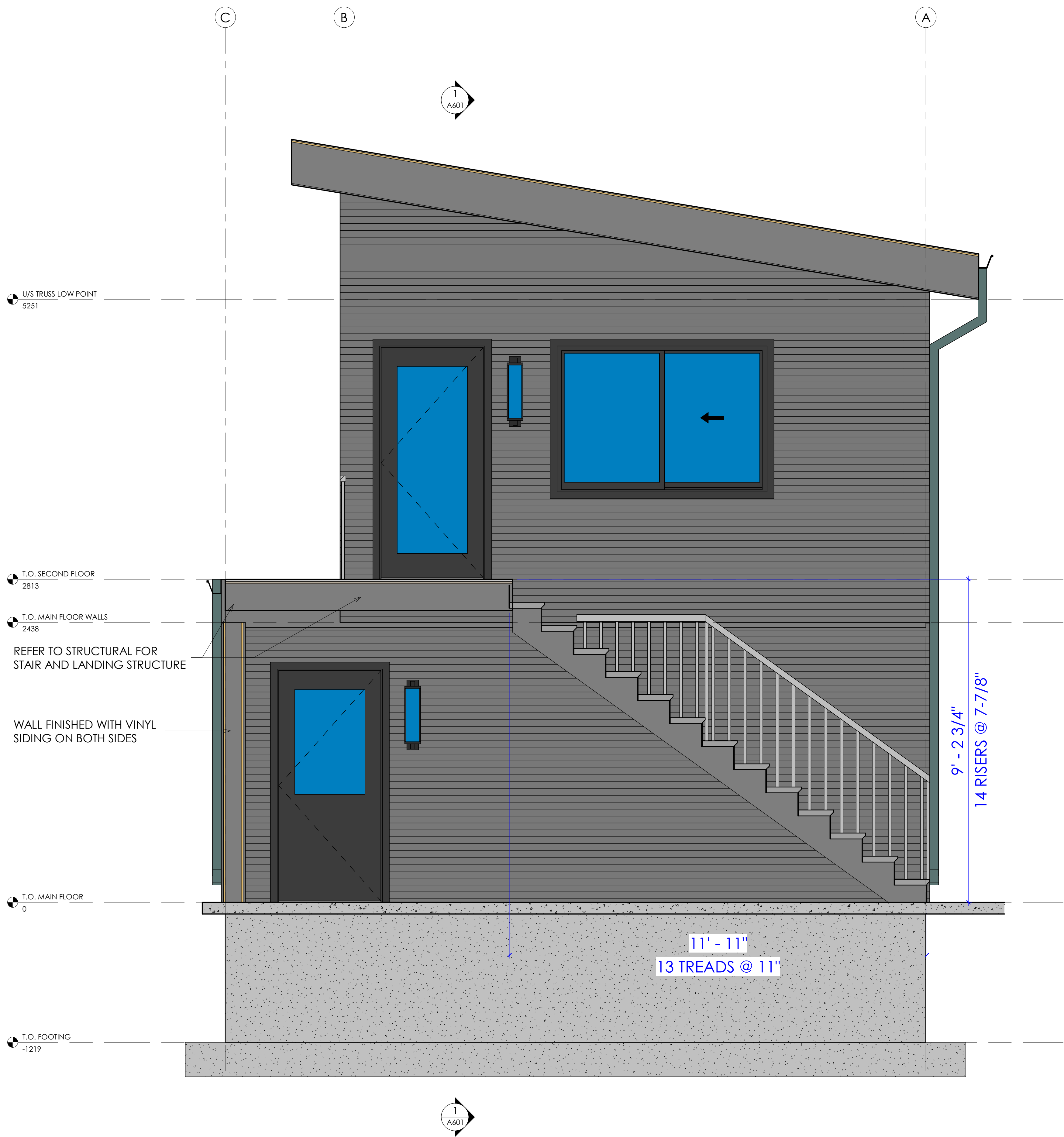
Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

Drawing Title
SPATIAL SEPARATION
CALCULATIONS

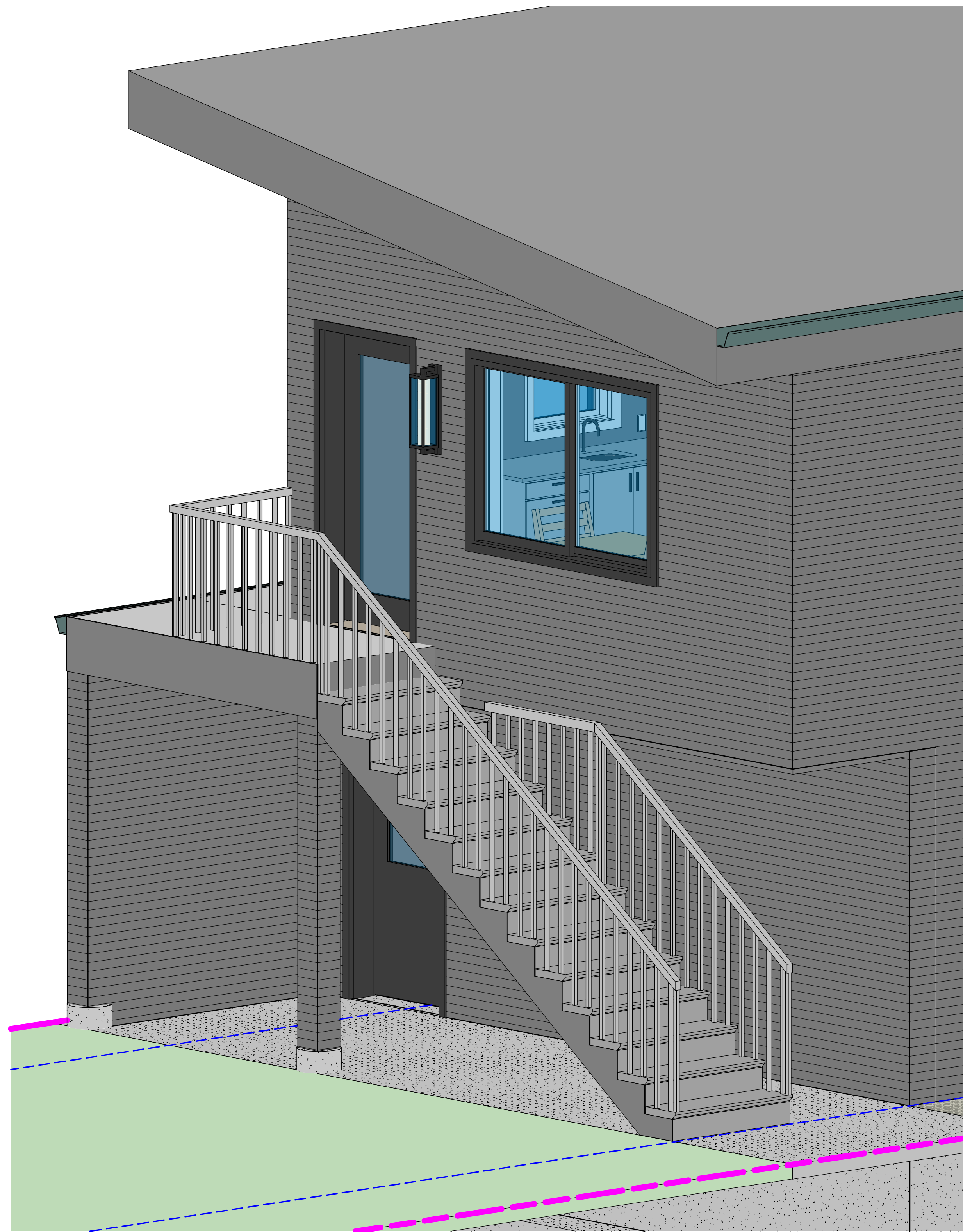
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Scale	As indicated	2026-001
Date	2026-03-20	Drawing Number A103
Drawn	JU	
Checked		
Partner		



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ISSUES/REVISIONS		
DATE	DESCRIPTION	#
2026-03-20	ISSUED FOR DP	1
2026-03-22	ISSUED FOR DP Rev1 + BP	2
2026-04-19	ISSUED FOR DP Rev2	3
2026-05-26	ISSUED FOR DP Rev3	4
2026-06-11	ISSUED FOR DP Rev4	5
Seal		
Client		
Project Title N BACKYARD SUITE 15 TEMPLEMONT DR NE		
Drawing Title EXTERIOR ELEVATIONS		
Drawing info		Project Number 2026-001
Scale	As indicated	Drawing Number A502
Date	2026-03-20	
Drawn	JU	
Checked		
Partner		



1 BUILDING SECTION - STAIR
1 : 20



2 EXTERIOR 3D -STAIR
1 : 20

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ISSUES/REVISIONS		
DATE	DESCRIPTION	#
2026-06-11	ISSUED FOR DP Rev4	5

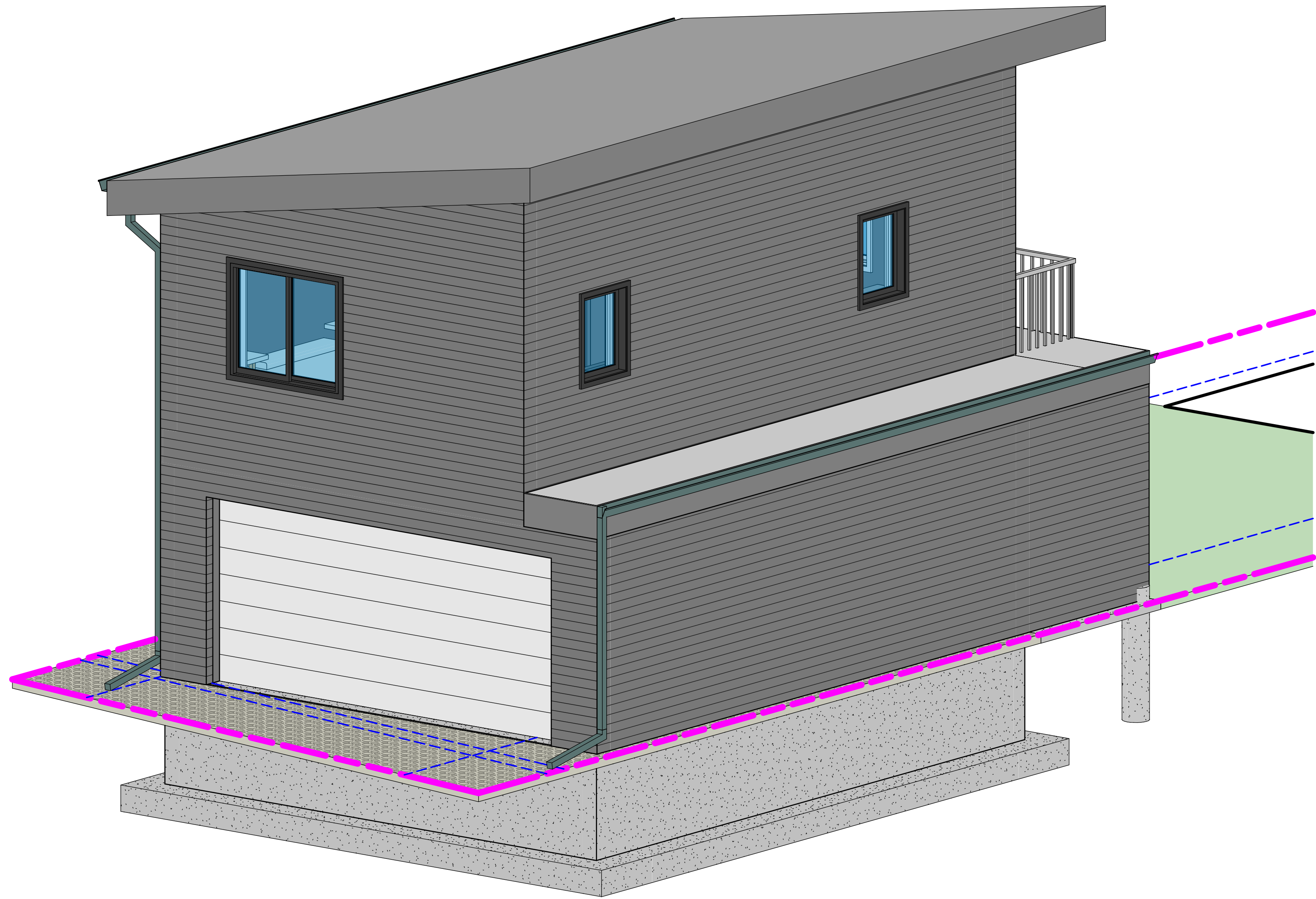
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Client

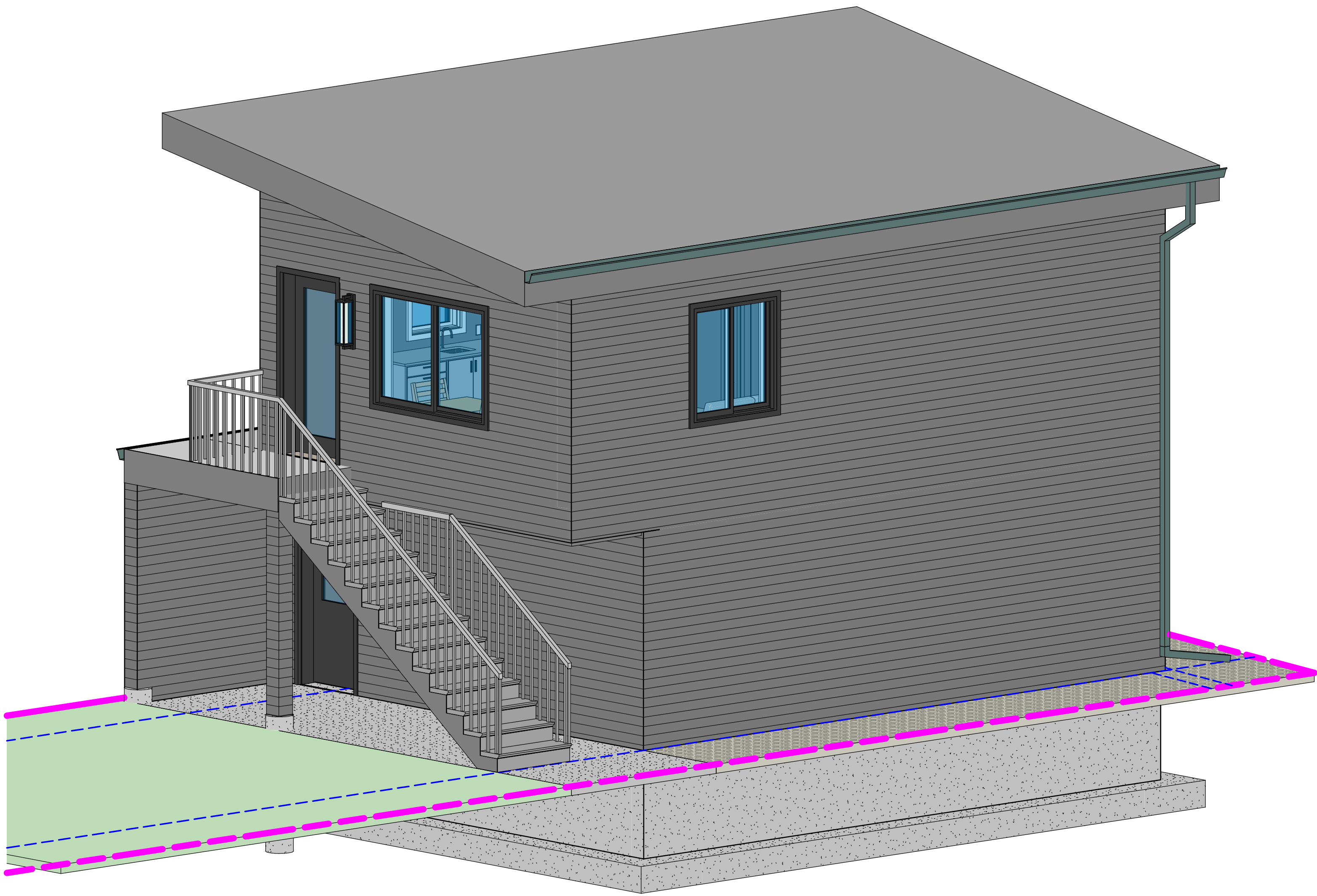
Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

Drawing Title
BUILDING SECTIONS

Drawing info		Project Number
Scale	1 : 20	2026-001
Date	2026-03-20	Drawing Number A603
Drawn	JU	
Checked		
Partner		



1 EXTERIOR 3D - IMAGE 1



2 EXTERIOR 3D - IMAGE 2

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ISSUES/REVISIONS		
DATE	DESCRIPTION	#
2026-03-20	ISSUED FOR DP	1
2026-03-22	ISSUED FOR DP Rev1 + BP	2
2026-06-11	ISSUED FOR DP Rev4	5

Seal

Client

Project Title
N BACKYARD SUITE
15 TEMPLEMONT DR NE

Drawing Title
3D VIEWS

Drawing info		Project Number
Scale		2026-001
Date	2026-03-20	Drawing Number A1601
Drawn	JU	
Checked		
Partner		