

5_PLEX
4648 - 29 Avenue N.W.,
CALGARY, ALBERTA
Plan 485 GR, Block 1, Lot 10



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-03-19
REVISION DATE : 2026-06-24



#202 - 4216 10TH STREET NE,
 CALGARY, AB.
 T2E 6K3
 P:403.203.1970 F:403.203.1990
 info@tricordg.ca
 www.tricordesigns.com

LIST OF DRAWINGS:

- | | |
|--|---|
| G-001 : GENERAL NOTES | A-101 : PROPOSED LEGAL SUITE FLOOR PLAN |
| G-002 : 3D SHOTS | A-102 : PROPOSED MAIN FLOOR PLAN |
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| A-002 : PROPOSED & EXISTING SITE PLAN | A-104 : PROPOSED LOFT FLOOR PLAN |
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| A-005 : STREETSCAPE | A-201 : PROPOSED FRONT & REAR ELEVATIONS |
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| A-010 : BOULEVARD&APRON SECTIONS | |
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UNIT 1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	681.51	63.31
	UPPER FLOOR	734.21	68.21
	LOFT FLOOR	552.69	51.35
	TOTAL	1968.41	182.87
	LEGAL SUITE FLOOR	531.86	49.41
	GRAND TOTAL	2500.27	232.28

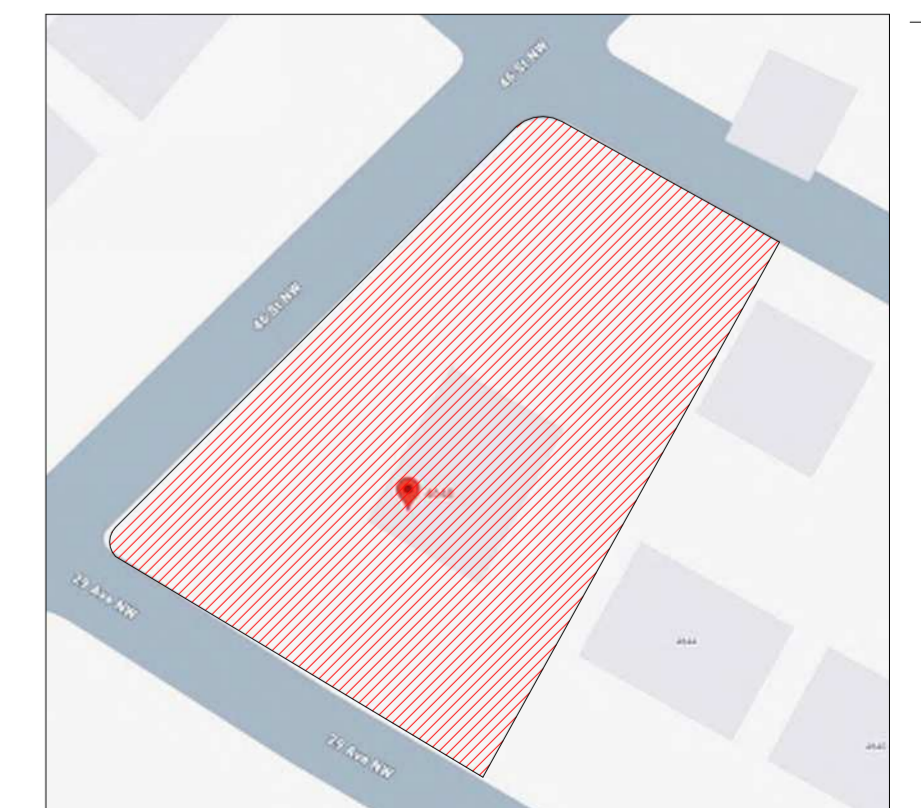
UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	689.67	64.07
	UPPER FLOOR	743.53	69.06
	LOFT FLOOR	560.52	52.07
	TOTAL	1993.72	185.22
	LEGAL SUITE FLOOR	559.38	51.97
	GRAND TOTAL	2553.10	237.19

UNIT 3			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	694.67	64.54
	UPPER FLOOR	743.80	69.10
	LOFT FLOOR	565.30	52.52
	TOTAL	2003.77	186.16
	LEGAL SUITE FLOOR	564.53	52.45
	GRAND TOTAL	2568.30	238.60

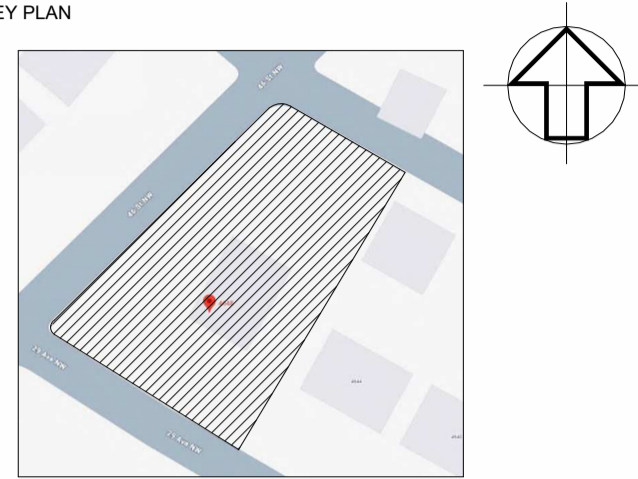
UNIT 5			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	606.55	56.35
	UPPER FLOOR	605.26	56.23
	LOFT FLOOR	491.82	45.69
	TOTAL	1703.63	158.27
	LEGAL SUITE FLOOR	487.01	45.24
	GRAND TOTAL	2190.64	203.52

UNIT 4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	606.55	56.35
	UPPER FLOOR	605.26	56.23
	LOFT FLOOR	491.82	45.69
	TOTAL	1703.63	158.27
	LEGAL SUITE FLOOR	487.01	45.24
	GRAND TOTAL	2190.64	203.52

KEY PLAN :



PROJECT NO. : 26-1037



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-06-24	DTR	N.F.	T.J.
02				
03				
04				
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ISSUES:

NO.	DATE	DESCRIPTION	DEVELOPMENT PERMIT SET	S.A / R.N / A.M	CHKD BY
01	2026-03-18	DEVELOPMENT PERMIT SET			
02					
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THE CLIENT : **SK ARCHITECT LTD**

PROJECT : **5_PLEX**

ADDRESS : **4648 - 29 Avenue N.W.,
CALGARY, ALBERTA
Plan 485 GR, Block 1, Lot 10**

DRAWING SET : **DEVELOPMENT PERMIT SET**

DRAWING TITLE : **3D SHOTS**

DRAWING NO. : **G-002**

PROJECT NO. : 26-1037	CHECKED BY : E.Z.	DATE: 2026-06-24
	DRAWN BY : S.A / R.N / A.M	SCALE:

SITE - PLAN

SURVEY INFORMATION :-

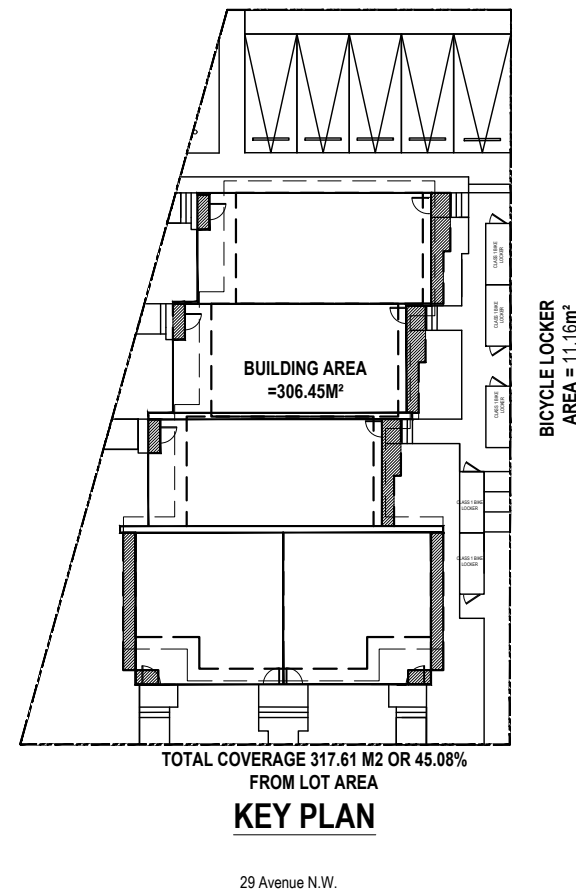
MUNICIPAL ADDRESS:-
4648 29 AVENUE N.W. , CALGARY, ALBERTA
ZONING : R-CG
LEGAL ADDRESS:-
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NOTES:
Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate.
Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:
LOT AREA = 703.44 m²
THE MAXIMUM COVERAGE AREA (60%) = 421.88
MAXIMUM ALLOWABLE COVERAGE 421.88-105 =316.88 M²
PROPOSED BUILDING COVERAGE =306.45 m²
PROPOSED BICYCLE LOCKER COVERAGE = 11.16m²
TOTAL PROPOSED COVERAGE = 317.61 M2 OR 45.08% FROM LOT AREA

PROJECT SETBACK REQUIREMENTS:
1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES:
(WINDOW WELLS AND EAVES MAY PROJECT A MAX. OF 0.80M & 0.60m IN ORDER INTO ANY SETBACK AREA)
2. MINIMUM SETBACK FROM A PROPERTY LINE SHARED WITH A LANE IS 1.2 METRES.
3. MINIMUM SETBACK FROM A PROPERTY LINE SHARED WITH ANOTHER PARCEL IS 1.2 METRES.

NOTE:
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

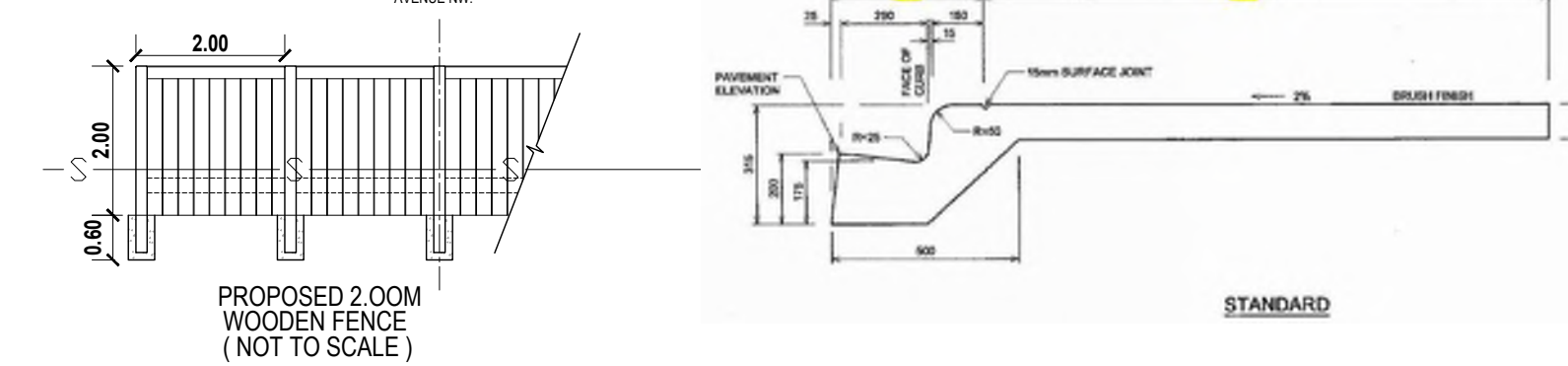
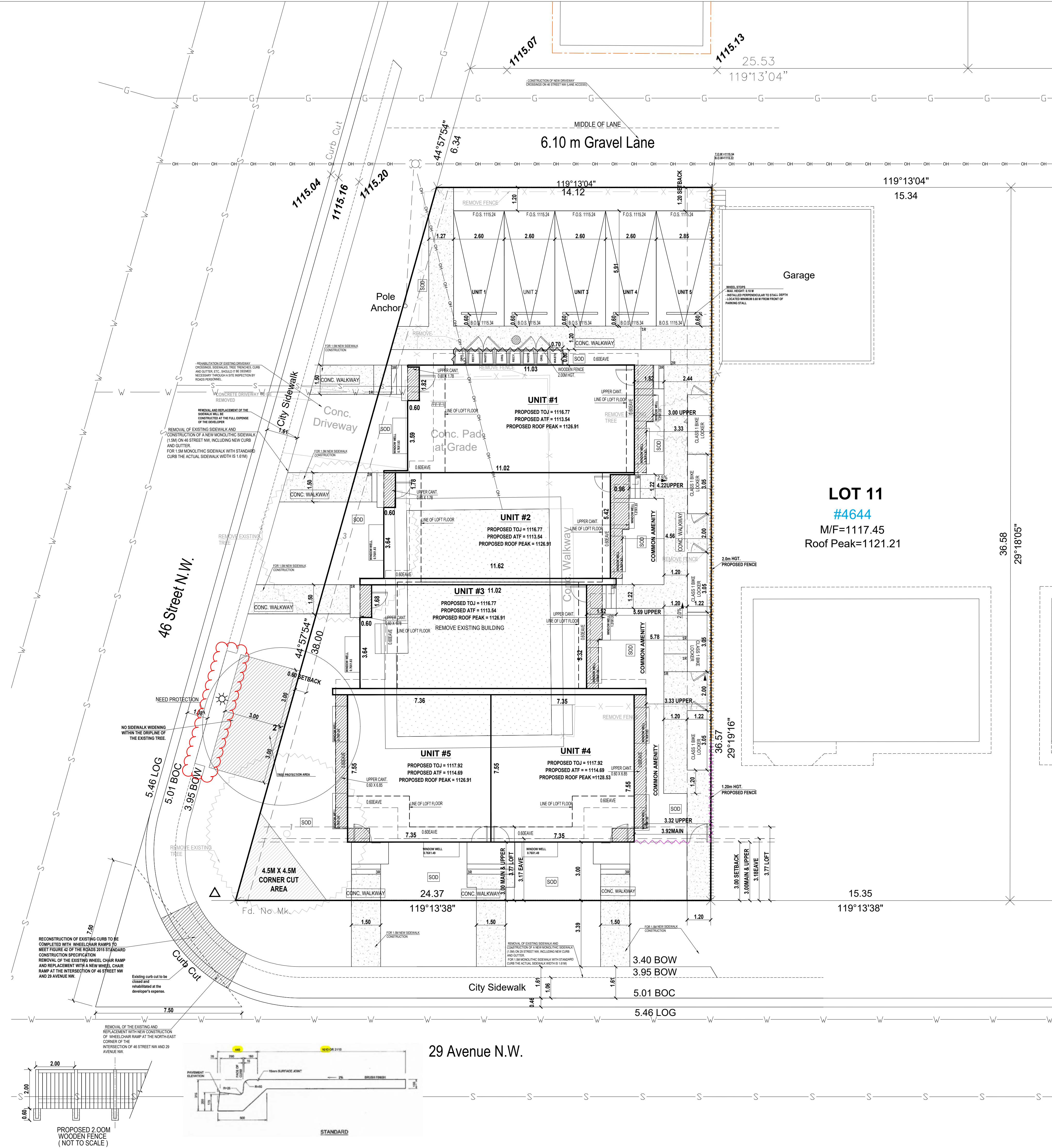


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	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE SCHEDULE:

Tree No.	Tree Type	Location	Trunk Dia.	Canopy Dia.	Height	CASE
1	Coniferous	In Subject Property	0.45	8.00	12.00	REMOVED
2	WHITE SPRUCE	In City Property	0.50	8.00	11.00	RETAINED
3	Coniferous	In Subject Property	0.60	8.00	13.00	REMOVED
4	Bush	In Subject Property	---	1.50	1.50	REMOVED

NOTES:
- BUILDING READY FOR SOLAR PANEL INSTALLATION.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.
- FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
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KEY PLAN

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01	2026-05-24	DTR	N.F	T.J
02				
03				
04				
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01	2026-03-18	DEVELOPMENT PERMIT SET	S.AIR.NI.A.M	
02				
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THE CLIENT:
PROJECT:
5- PLEX BUILDING
ADDRESS:
**4648 29 Avenue N.W.
CALGARY, ALBERTA
Plan 485 GR,Block 1, Lot 10**
DRAWING SET:
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DRAWING TITLE:
**PROPOSED & EXISTING
SITE PLAN**
DRAWING NO.
A-002
PROJECT NO.:
26-1037
CHECKED BY:
TJ
DATE:
2026-05-25
DRAWN BY:
NF
SCALE:
1:100

SITE - PLAN

SURVEY INFORMATION :-

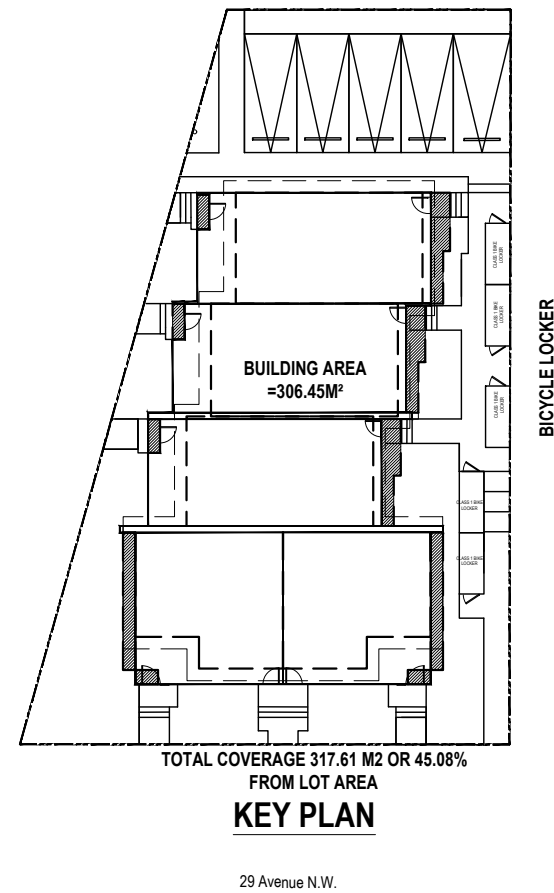
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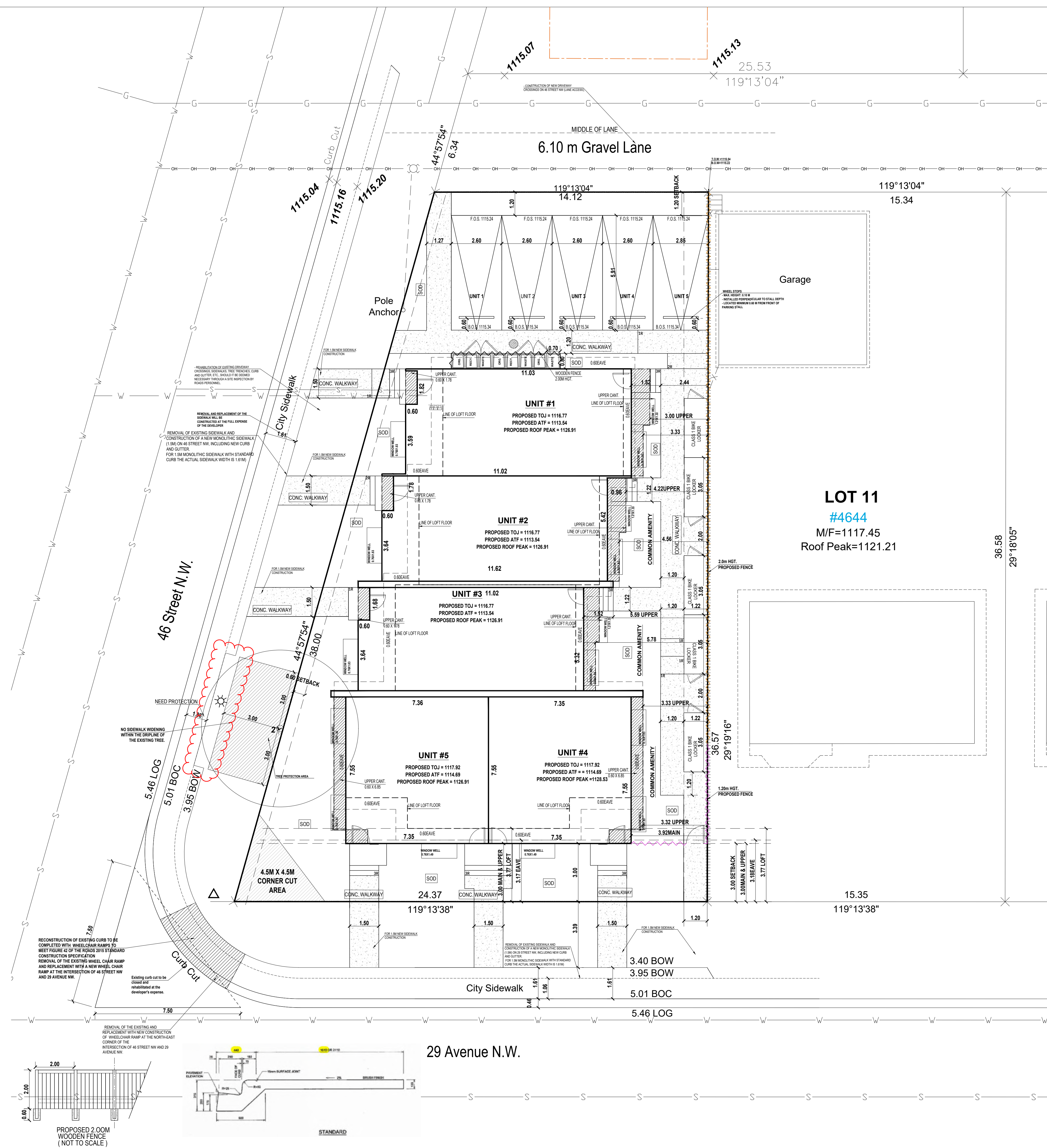


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KEY PLAN

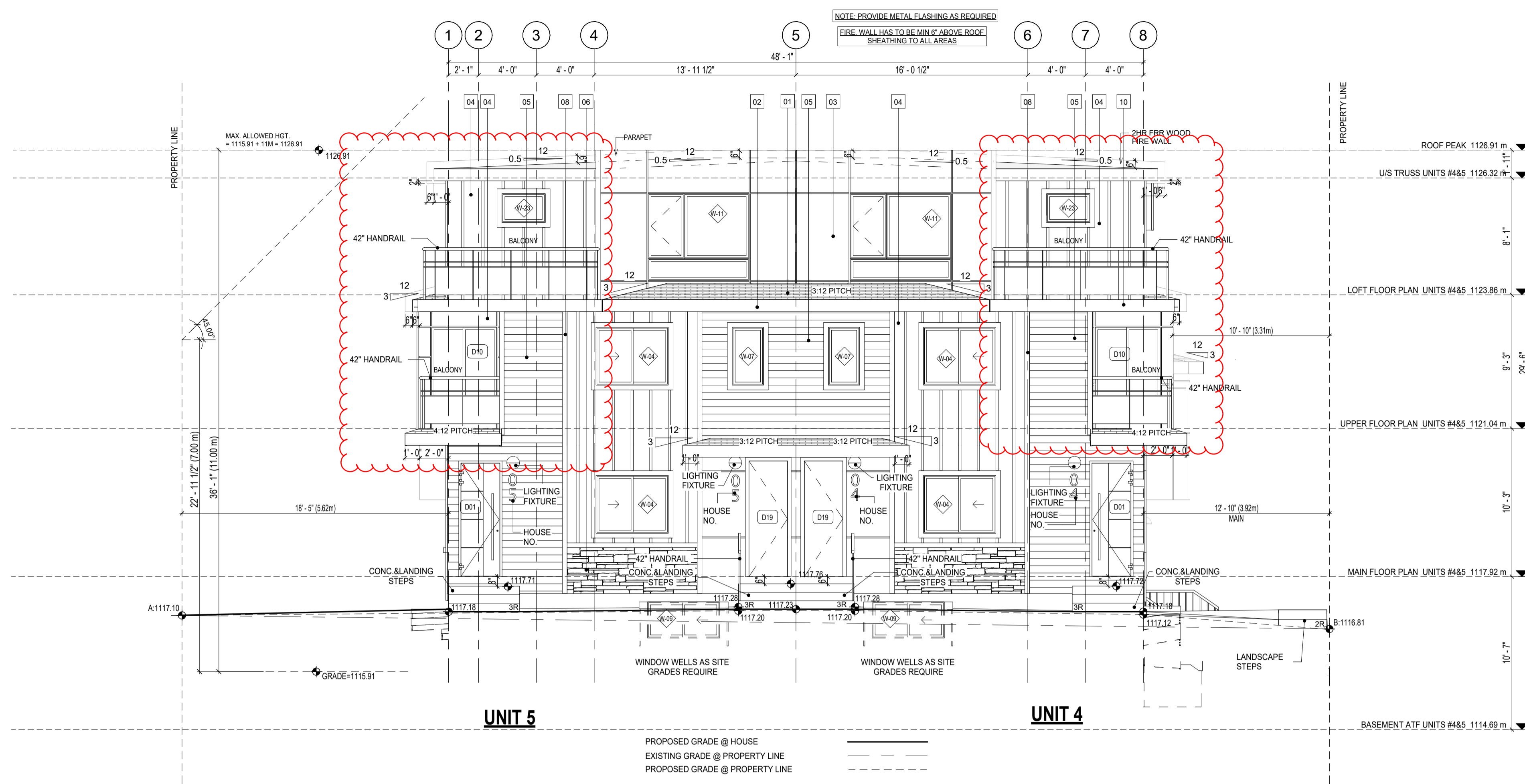
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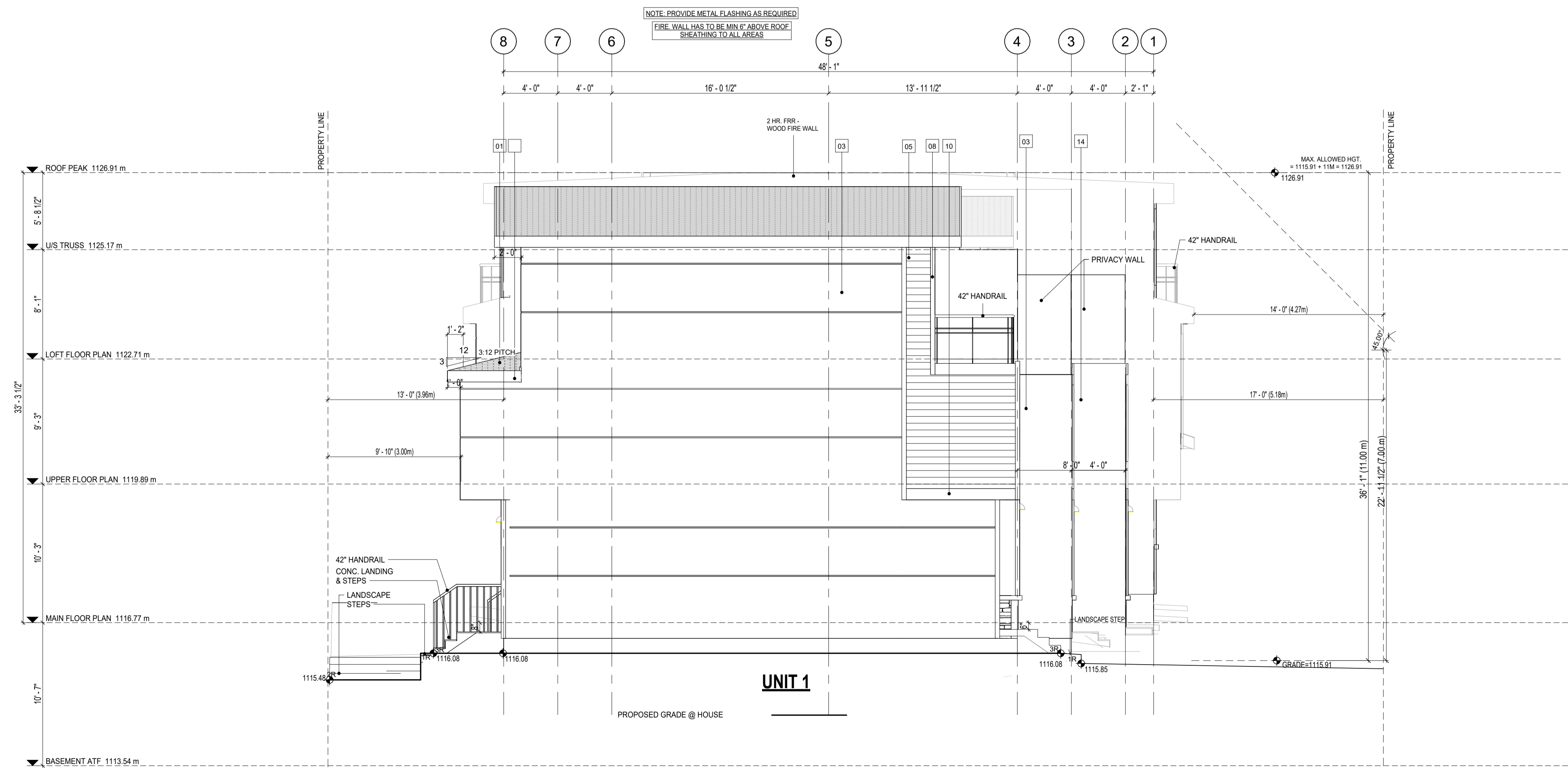
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Plan 485 GR,Block 1, Lot 10**
DRAWING SET:
DEVELOPMENT PERMIT SET
DRAWING TITLE:
PROPOSED SITE PLAN
DRAWING NO.
A-003
PROJECT NO.:
26-1037
CHECKED BY:
TJ
DATE:
2025-05-25
DRAWN BY:
NF
SCALE:
1:100

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
03	STUCCO CLADDING LIGHT GRAY WITH GROOVES
04	BOARD AND BATTEN LIGHT GRAY
05	HORIZONTAL SIDING - HARDIE (LUX PANELS)
06	EXTERIOR MANUFACTURED STONE VENEER
08	CORNER BOARD LIGHT GRAY
09	4" STONE CAP
10	SHADOW BOARD 10"



1 PROPOSED FRONT (SOUTH WEST) ELEVATION
3/16" = 1'-0"

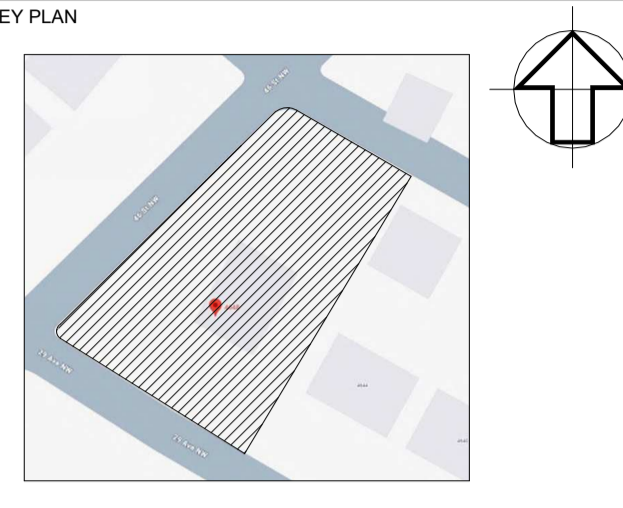


2 PROPOSED REAR (NORTH EAST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL

tricordesigns.com
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THE CLIENT: **SK ARCHITECT LTD**

PROJECT: **5_PLEX**

ADDRESS: **4648 - 29 Avenue N.W., CALGARY, ALBERTA Plan 485 GR, Block 1, Lot 10**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **PROPOSED FRONT & REAR ELEVATIONS**

DRAWING NO.: **A-201**

PROJECT NO.:	CHECKED BY:	DATE:
26-1037	E.Z.	2026-06-24
	DRAWN BY:	SCALE:
	S.A / R.N / A.M	3/16" = 1'-0"

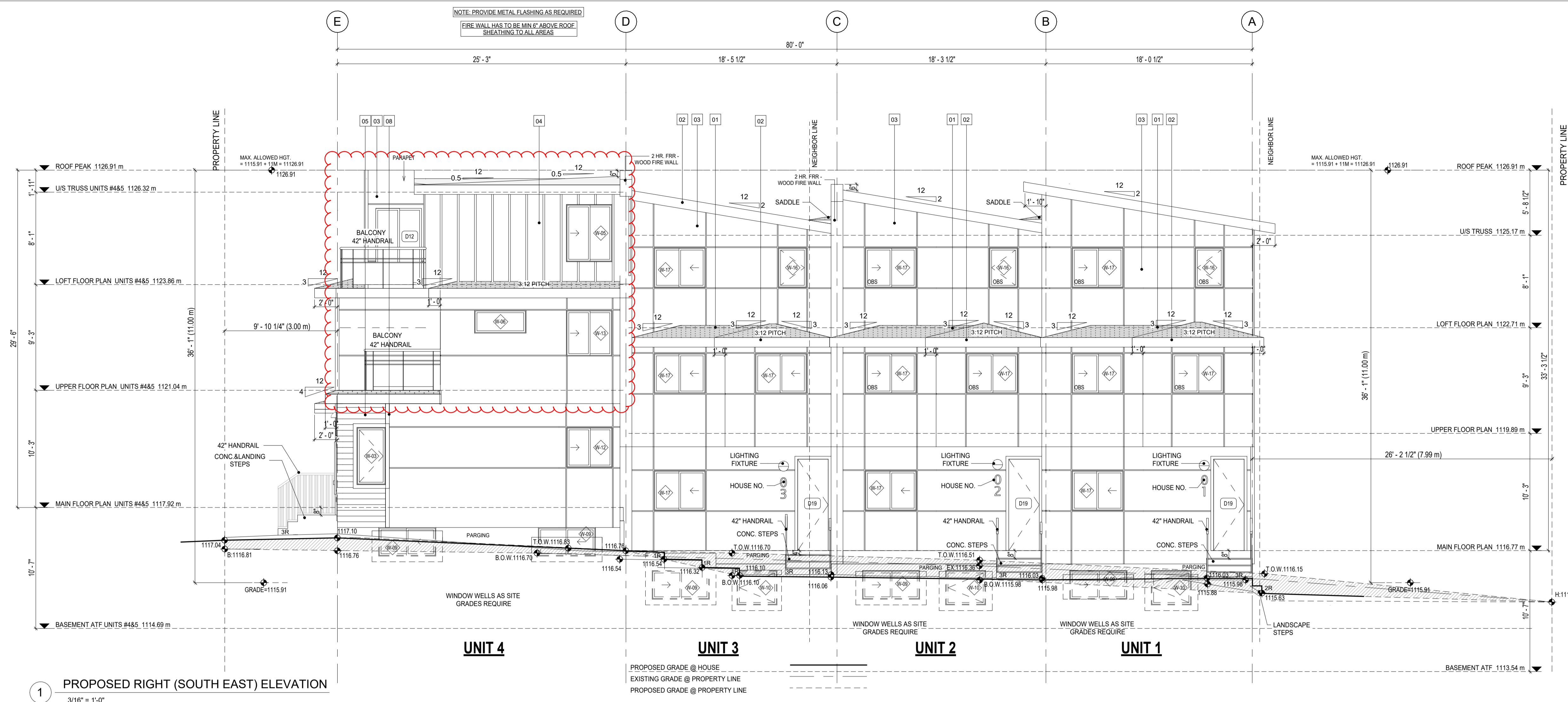
ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	FIRE-FINISHED METAL FASCIA
03	STUCCO CLADDING LIGHT GRAY WITH GROOVES
04	BOARD AND BATTEN LIGHT GRAY
05	HORIZONTAL SIDING - HARDIE LUX PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
08	CORNER BOARD LIGHT GRAY
09	4" STONE CAP
10	SHADOW BOARD 10"

UNPROTECTED OPENINGS REAR ELE. UNIT 1 (INC. DOORS)	
CODE CHECK	
EXPOSED BUILDING FACE	542.75 SQ. FT. 50.42 SQ.M ²
MINIMUM SETBACK	9' 10" 3.00 M
PERCENTAGE OF ALLOWED OPENINGS	18%
SQ. FTG. OF ALLOWED OPENINGS	97.68 SQ. FT. 23.84 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	93.08 SQ. FT. 8.64 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	48.54 SQ. FT. 11.92 SQ.M ²

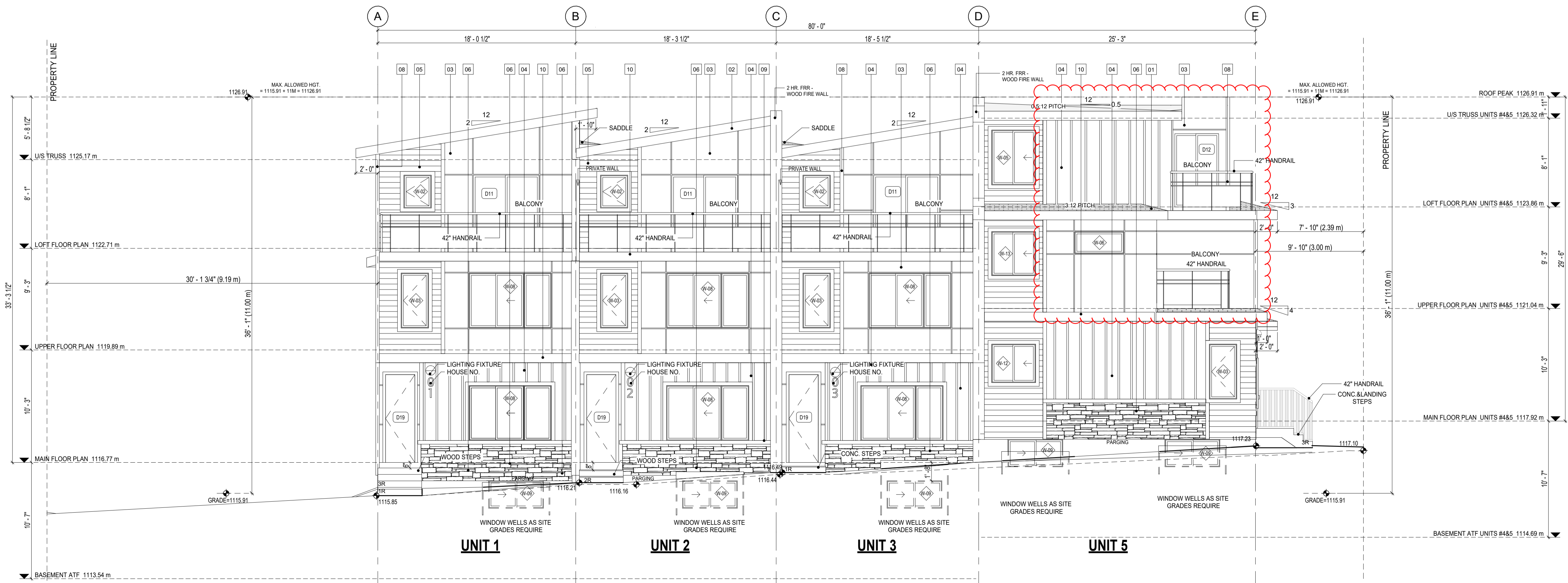
UNPROTECTED OPENINGS REAR ELE. UNIT 2 (INC. DOORS)	
CODE CHECK	
EXPOSED BUILDING FACE	546.60 SQ. FT. 50.7 SQ.M ²
MINIMUM SETBACK	10' 3" 3.13 M
PERCENTAGE OF ALLOWED OPENINGS	30.9%
SQ. FTG. OF ALLOWED OPENINGS	169.89 SQ. FT. 15.69 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	93.08 SQ. FT. 8.64 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	84.44 SQ. FT. 7.84 SQ.M ²

UNPROTECTED OPENINGS REAR ELE. UNIT 3 (INC. DOORS)	
CODE CHECK	
EXPOSED BUILDING FACE	515.87 SQ. FT. 47.9 SQ.M ²
MINIMUM SETBACK	10' 3" 3.13 M
PERCENTAGE OF ALLOWED OPENINGS	49.75%
SQ. FTG. OF ALLOWED OPENINGS	256.64 SQ. FT. 23.84 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	93.08 SQ. FT. 8.64 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	128.32 SQ. FT. 11.92 SQ.M ²

UNPROTECTED OPENINGS REAR ELE. UNIT 5 (INC. DOORS)	
CODE CHECK	
EXPOSED BUILDING FACE	705.19 SQ. FT. 65.51 SQ.M ²
MINIMUM SETBACK	10' 3" 3.13 M
PERCENTAGE OF ALLOWED OPENINGS	14.8%
SQ. FTG. OF ALLOWED OPENINGS	104.38 SQ. FT. 9.69 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	77.14 SQ. FT. 7.16 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	52.18 SQ. FT. 4.84 SQ.M ²



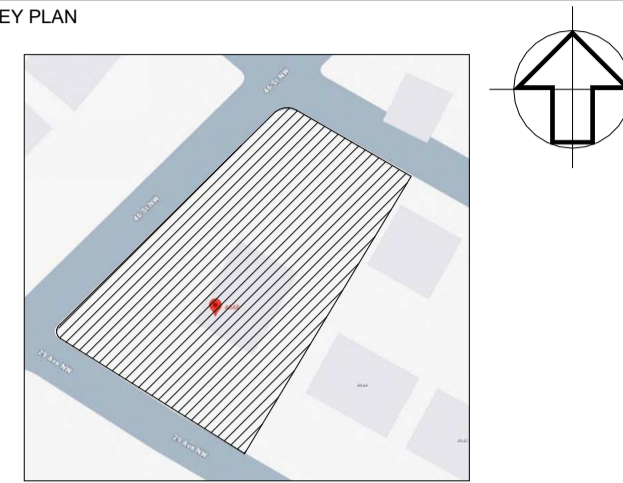
1 PROPOSED RIGHT (SOUTH EAST) ELEVATION
3/16" = 1'-0"



2 PROPOSED LEFT (NORTH WEST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
 tricordesigns.com
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NOTES

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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY CHK'D BY	
01	2026-06-24	DTR	N.F.	T.J.
02				
03				
04				
05				

ISSUES:					
NO.	DATE	DESCRIPTION	DEVELOPMENT PERMIT SET	S.A / R.N / A.M	DRAWN BY CHK'D BY
01	2026-03-18				
02					
03					
04					
05					

THE CLIENT: **SK ARCHITECT LTD**

PROJECT: **5_PLEX**

ADDRESS: **4648 - 29 Avenue N.W., CALGARY, ALBERTA Plan 485 GR, Block 1, Lot 10**

DRAWING SET: **DEVELOPMENT PERMIT SET**

DRAWING TITLE: **PROPOSED RIGHT & LEFT ELEVATIONS**

DRAWING NO. **A-202**

PROJECT NO.:	CHECKED BY:	DATE:
26-1037	E.Z.	2026-06-24
	DRAWN BY:	SCALE:
	S.A / R.N / A.M	3/16" = 1'-0"