


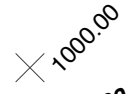
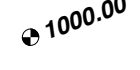


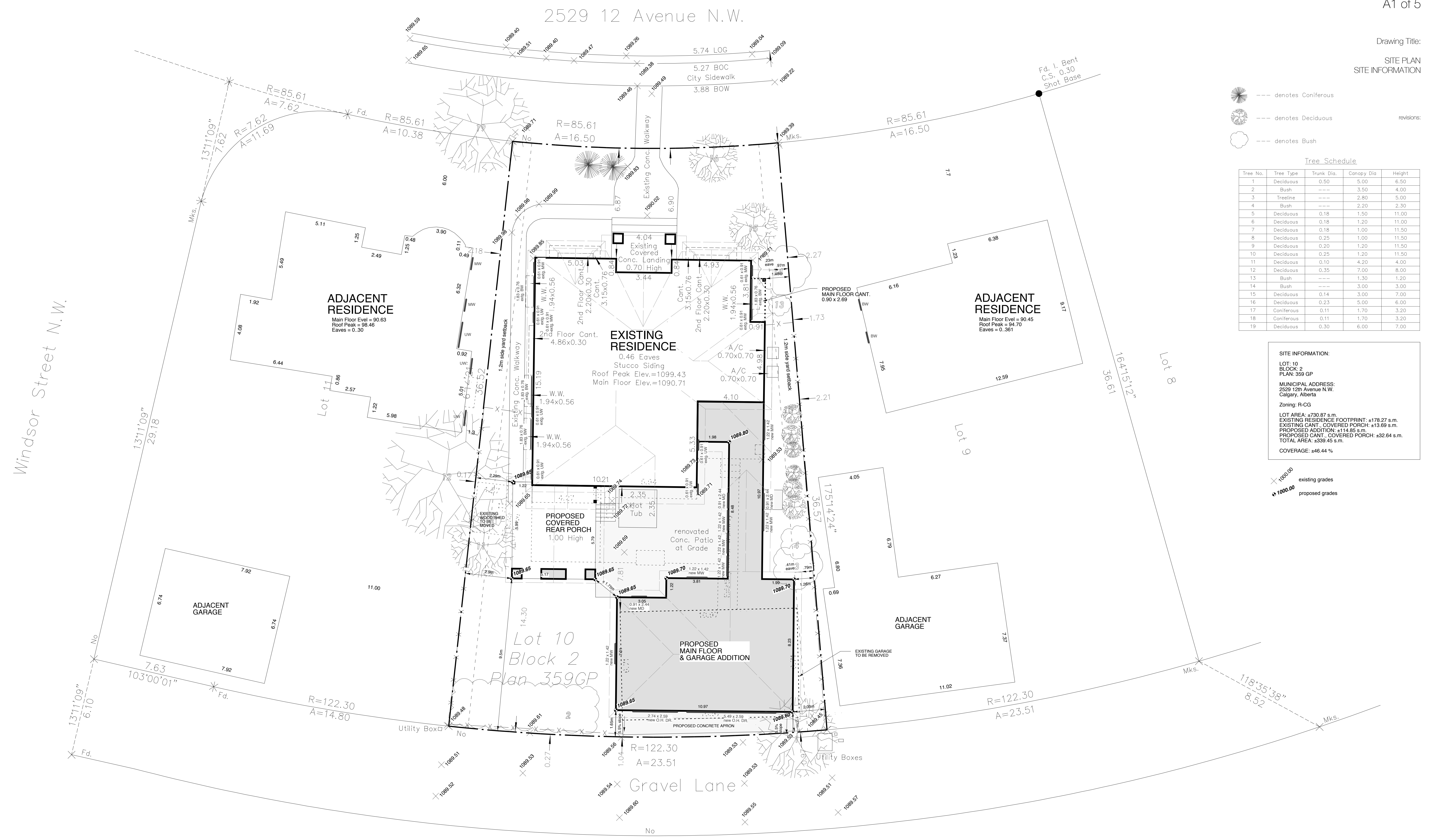
-  --- denotes Coniferous
-  --- denotes Deciduous
-  --- denotes Bush

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.50	5.00	6.50
2	Bush	---	3.50	4.00
3	Treeline	---	2.80	5.00
4	Bush	---	2.20	2.30
5	Deciduous	0.18	1.50	11.00
6	Deciduous	0.18	1.20	11.00
7	Deciduous	0.18	1.00	11.50
8	Deciduous	0.25	1.00	11.50
9	Deciduous	0.20	1.20	11.50
10	Deciduous	0.25	1.20	11.50
11	Deciduous	0.10	4.20	4.00
12	Deciduous	0.35	7.00	8.00
13	Bush	---	1.30	1.20
14	Bush	---	3.00	3.00
15	Deciduous	0.14	3.00	7.00
16	Deciduous	0.23	5.00	6.00
17	Coniferous	0.11	1.70	3.20
18	Coniferous	0.11	1.70	3.20
19	Deciduous	0.30	6.00	7.00

**SITE INFORMATION:**  
 LOT: 10  
 BLOCK: 2  
 PLAN: 359 GP  
 MUNICIPAL ADDRESS:  
 2529 12th Avenue N.W.  
 Calgary, Alberta  
 Zoning: R-CG  
 LOT AREA: ±730.87 s.m.  
 EXISTING RESIDENCE FOOTPRINT: ±178.27 s.m.  
 EXISTING CANT., COVERED PORCH: ±13.69 s.m.  
 PROPOSED ADDITION: ±114.85 s.m.  
 PROPOSED CANT., COVERED PORCH: ±32.64 s.m.  
 TOTAL AREA: ±539.45 s.m.  
 COVERAGE: ±46.44 %

 1000.00 existing grades  
 1000.00 proposed grades

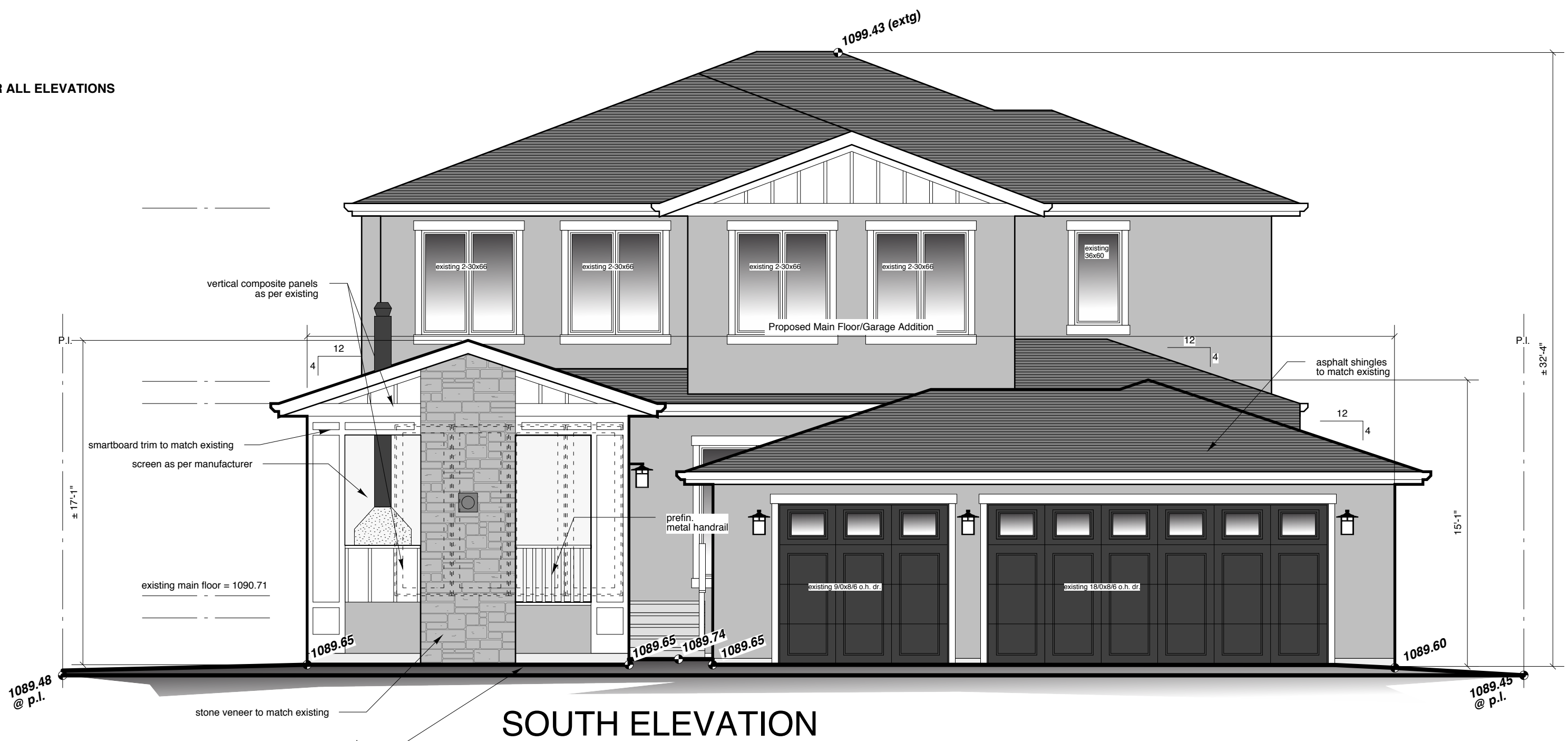


NOTE: MATERIALS SIMILAR ALL ELEVATIONS



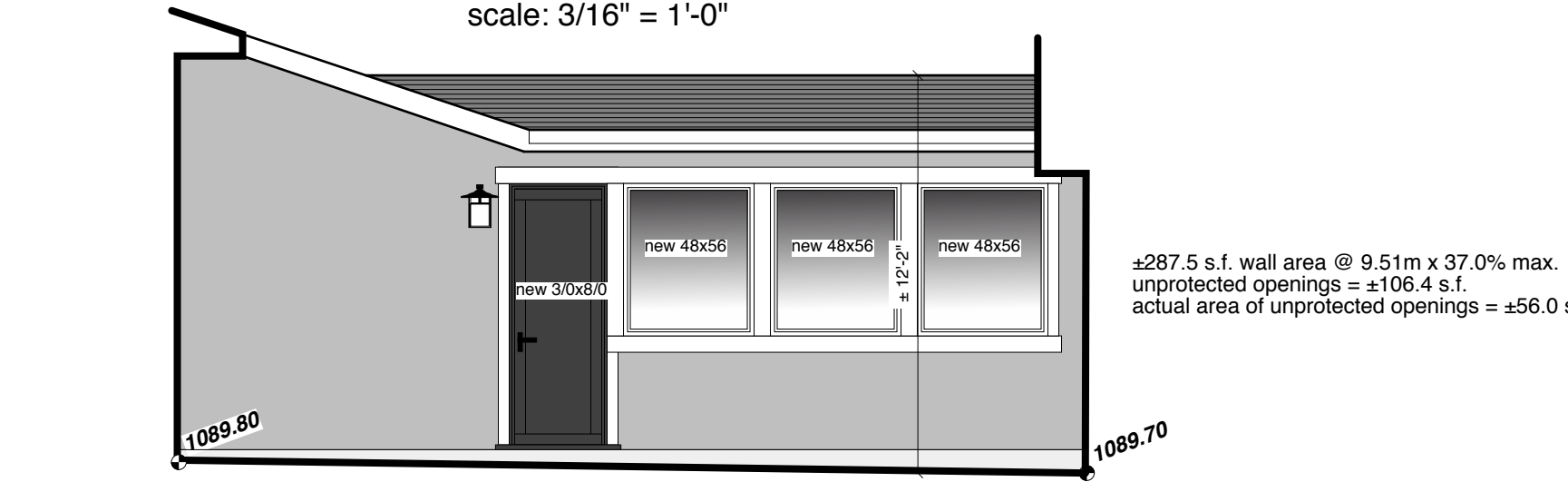
**NORTH ELEVATION**

scale: 3/16" = 1'-0"



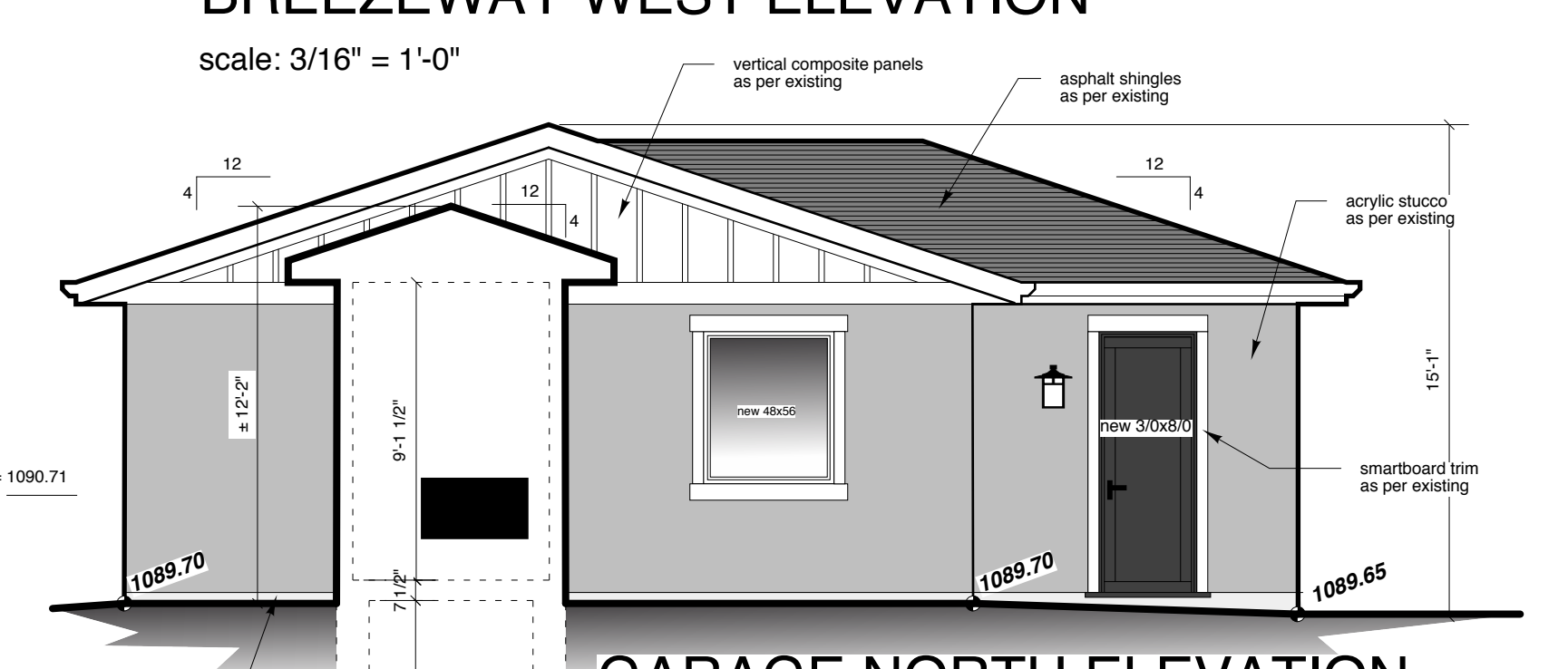
**SOUTH ELEVATION**

scale: 3/16" = 1'-0"



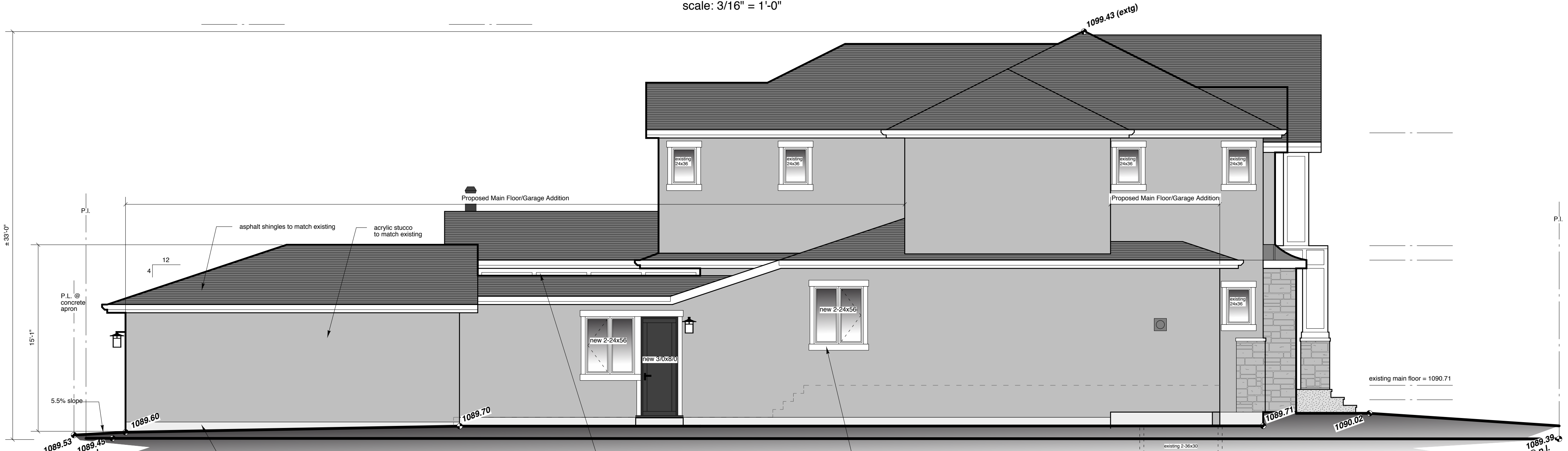
**BREEZEWAY WEST ELEVATION**

scale: 3/16" = 1'-0"



**GARAGE NORTH ELEVATION**

scale: 3/16" = 1'-0"



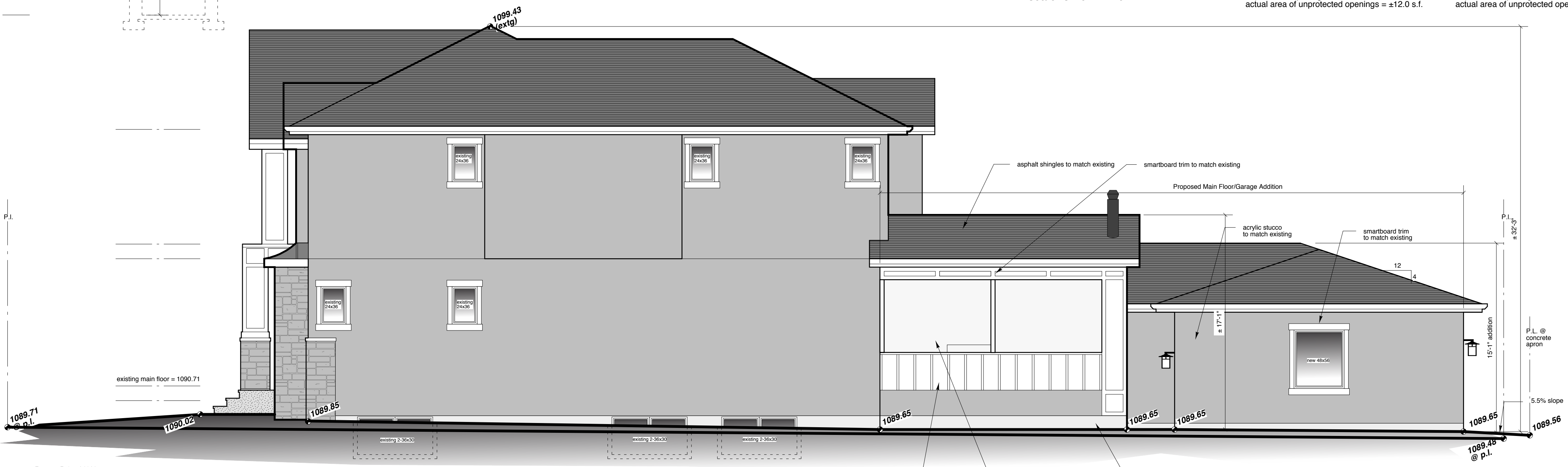
**EAST ELEVATION**

scale: 3/16" = 1'-0"

±196.6 s.f. wall area @ 6.27m x 19% max. unprotected openings = ±37.4 s.f. actual area of unprotected openings = ±12.0 s.f.

±539.9 s.f. wall area @ 1.48/3.24m x 7% max. unprotected openings = ±55.6 s.f. actual area of unprotected openings = ±37.3 s.f.

±200.2 s.f. wall area @ 2.27/2.64m x 8% max. unprotected openings = ±18.0 s.f. actual area of unprotected openings = ±18.0 s.f.

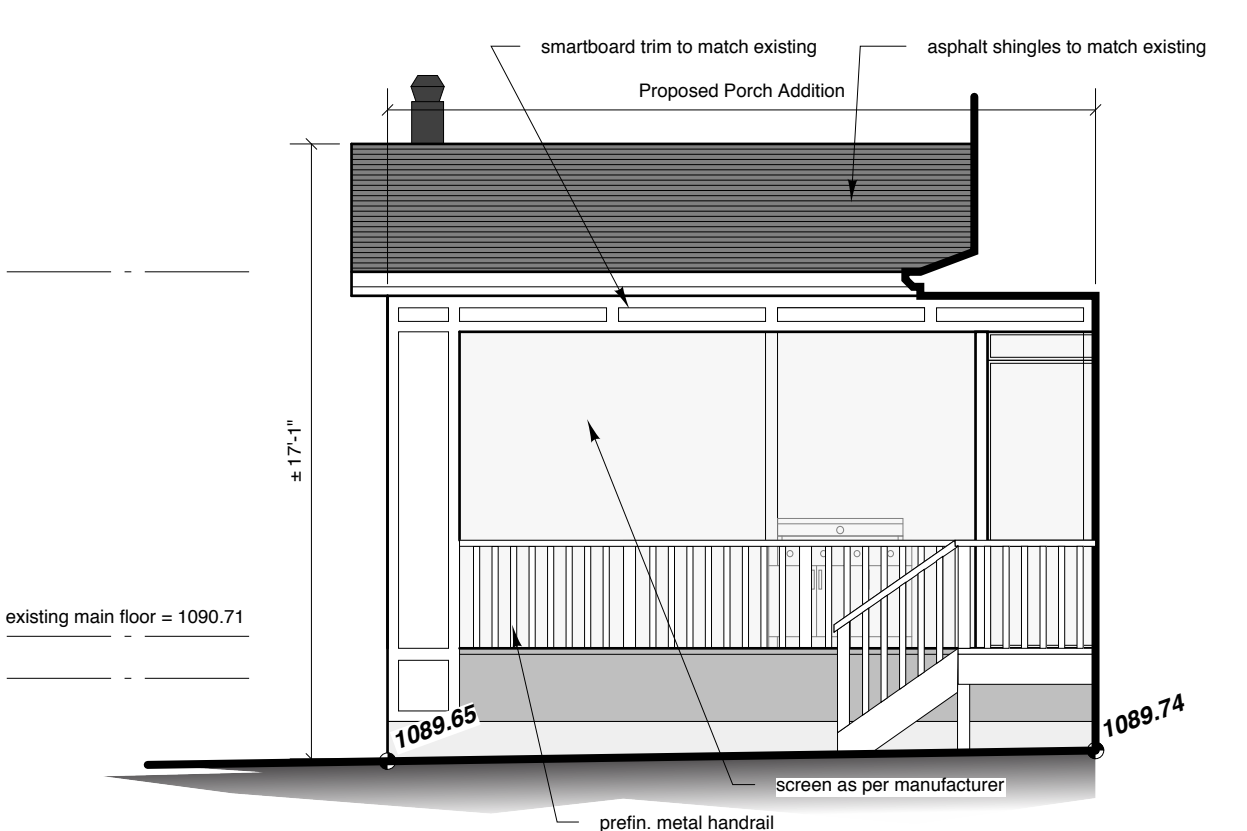


**WEST ELEVATION**

scale: 3/16" = 1'-0"

±1132.1 s.f. wall area @ 2.58/3.51m x 8%+ max. unprotected openings = ±90.6 s.f. actual area of unprotected openings = ±42.6 s.f.

±226.2 s.f. wall area @ 6.10m x 19.0% max. unprotected openings = ±44.9 s.f. actual area of unprotected openings = ±18.7 s.f.



**PORCH EAST ELEVATION**

scale: 3/16" = 1'-0"

**PROPOSED RESIDENCE ADDITION/RENOVATION**

for Lot 10, Block 2, Plan 359 GP

2529 12th Avenue N.W., Calgary, Alberta