

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: \square = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- \square ----- denotes Calculation points
- \square ----- denotes Water Valve
- \diamond ----- denotes Gas Valve
- \odot ----- denotes Manhole
- \odot ----- denotes Tree
- \bullet ----- denotes Power Pole
- \triangle ----- denotes Sign
- \odot ----- denotes Light Standard
- X-X- denotes Fence
- S ----- denotes Sanitary Line
- ST ----- denotes Storm Line
- W ----- denotes Water Line
- G ----- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BC' denotes Back of Curb
 'BOW' denotes Bottom of Wall
 'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

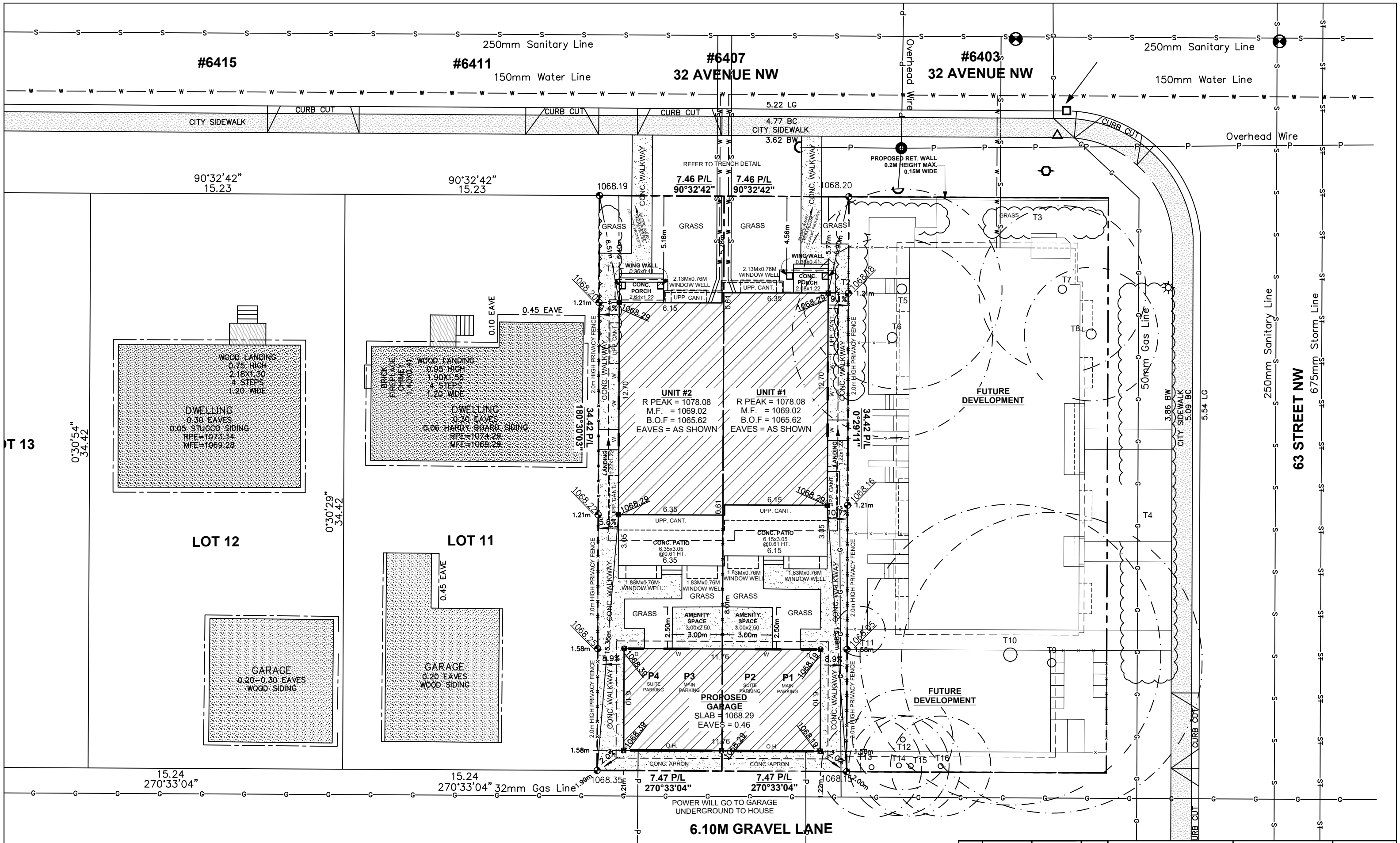
LAND USE: R-CG Residential
 Grade-Oriented Infill
SCALE 1:200
LEGAL DESCRIPTION:
 Lot 20 & 21
 Block 3
 Plan 3239GR
MUNICIPAL ADDRESS:
 6407 32 AVENUE NW
 Calgary, Alberta

LOT COVERAGE DETAIL: (CLUSTER)
 LOT SIZE: 513.601 SQ M
 HOUSE SIZE: 158.833 SQ M
 CANT.: 0.000 SQ M
 COVERED PORCH: 0.000 SQ M
 GARAGE: 71.696 SQ M
 WINGWALL: 0.558 SQ M
DENSITY:
 TOTAL UNITS: 2
 LOT SIZE: 513.601 SQ M (0.0513601 ha)
 DENSITY: 39 UNITS/ha
PARKING:
 PARKING PROVIDED: 4 STALLS
 TOTAL: 231.087/513.601
 = 44.99%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	ROW HOUSE	SCALE:
01.	13/03/2026	DP PLANS	S.W.	6407 32 AVENUE NW Calgary, Alberta		1: 200
02.	--	--	--	Lot 20 & 21 Block 3		
03.	--	--	--	Plan 3239GR		
04.	--	--	--		DATE: DECEMBER 03, 2025	DIVISION NUMBER: S 01

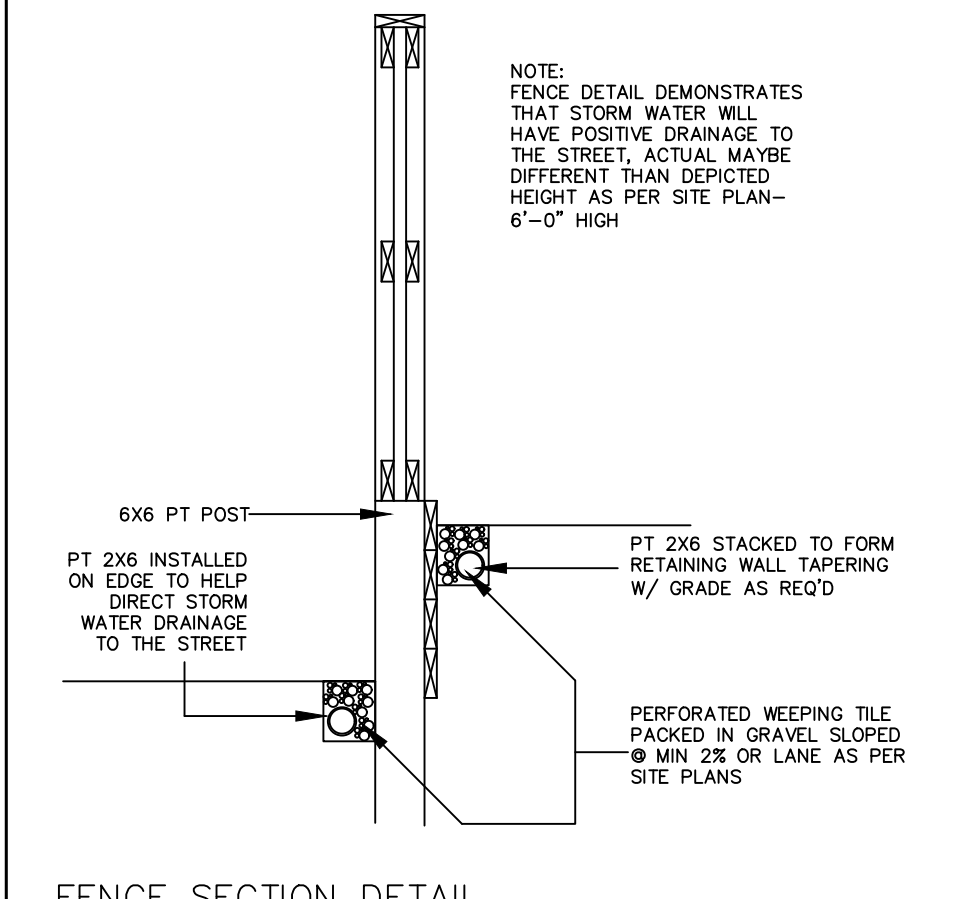
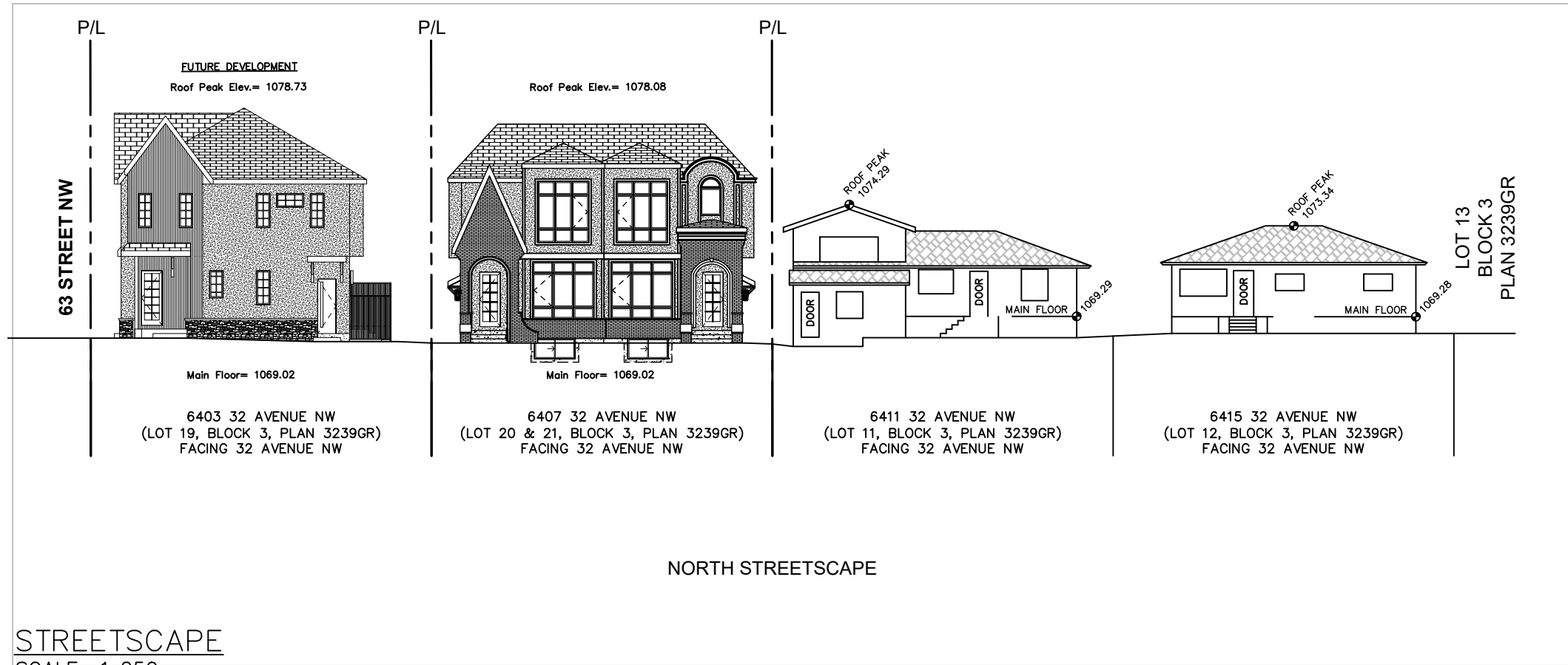
SITE PLAN
 SCALE: 1:200





BLOCK PLAN
SCALE: 1:250

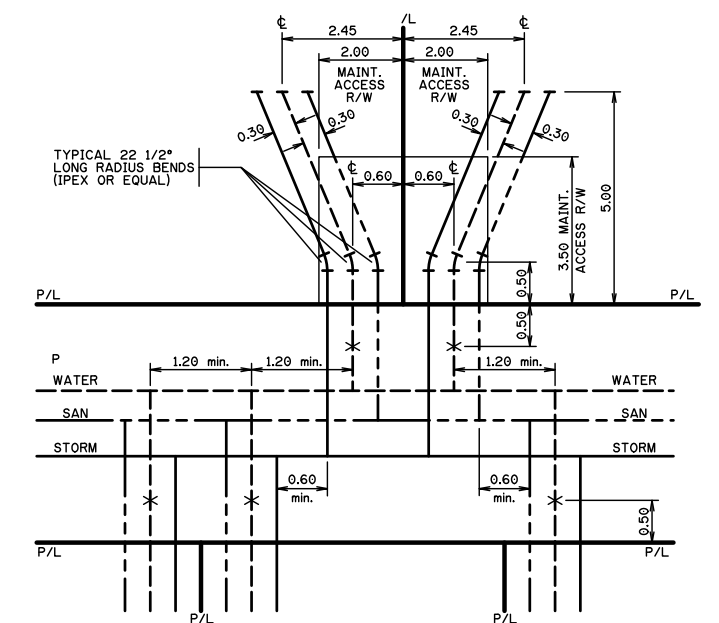
NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS	PROJECT	SCALE
01.	13/03/2026	DP PLANS	S.W.	6407 32 AVENUE NW Calgary, Alberta	ROW HOUSE	1: 200
02.	--	--	--	Lot 20 & 21 Block 3	DATE: DECEMBER 03, 2025	DIVISION NUMBER: S 02
03.	--	--	--	Plan 3239GR		
04.	--	--	--			



EXISTING TREE SCHEDULE

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	DISPOSITION
T1	Bush Line	-	1.00	1.50	In Subject Property	To Be Removed
T2	Bush Line	-	1.50	2.50	In Subject Property	To Be Removed
T3	Bush Line	-	1.50	2.50	In Subject Property	To Be Removed
T4	Bush Line/Coniferous	0.25	3.00	4.00	In City Property	To Be Removed
T5	Coniferous	0.60	12.00	20.00	In Subject Property	To Be Removed
T6	Coniferous	0.60	12.00	20.00	In Subject Property	To Be Removed
T7	Coniferous	0.50	10.00	20.00	In Subject Property	To Be Removed
T8	Deciduous	0.60	8.00	5.00	In Subject Property	To Be Removed
T9	Coniferous	0.50	18.00	20.00	In Subject Property	To Be Removed
T10	Coniferous	0.80	18.00	20.00	In Subject Property	To Be Removed
T11	Bush	-	3.00	3.00	In Subject Property	To Be Removed
T12	Coniferous	0.30	6.00	20.00	In Subject Property	To Be Removed
T13	Coniferous	0.30	6.00	20.00	In Subject Property	To Be Removed
T14	Coniferous	0.30	6.00	20.00	In Subject Property	To Be Removed
T15	Coniferous	0.30	6.00	20.00	In Subject Property	To Be Removed
T16	Coniferous	0.30	6.00	20.00	In Subject Property	To Be Removed

- NOTES:
- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
 - DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
 - SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
 - THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
 - DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
 - WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
 - THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
 - WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



SEMI-DETACHED SQFT.

	UNIT #1	UNIT #2
GARAGE	390.00 SQ FT	390.00 SQ FT
BASEMENT	1059.83 SQ FT	1059.83 SQ FT
MAIN FLOOR	854.83 SQ FT	854.83 SQ FT
UPPER FLOOR	974.17 SQ FT	974.17 SQ FT
TOTAL AREA	1829.00 SQ FT	1829.00 SQ FT

TRENCH DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	13/03/2026	DP PLANS	S.W.	6407 32 AVENUE NW Calgary, Alberta	ROW HOUSE	1: 200
02.	--	--	--	Lot 20 & 21 Block 3	DATE:	DIVISION NUMBER
03.	--	--	--	Plan 3239GR	DECEMBER 03, 2025	S 04
04.	--	--	--			



FLOOR AREA - UNIT #1

BASEMENT = 1059.83 SQ. FT.
 MAIN = 854.83 SQ. FT.
 UPPER = 974.17 SQ. FT.
TOTAL = 1829.00 SQ. FT.

FLOOR AREA - UNIT #2

BASEMENT = 1059.83 SQ. FT.
 MAIN = 854.83 SQ. FT.
 UPPER = 974.17 SQ. FT.
TOTAL = 1829.00 SQ. FT.

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	17/03/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

PRINTED: 2026-03-19 3:05:51 PM

PROJECT NAME:
 6407 32 Ave NW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 173-26

SCALE: AS SHOWN SHEET: A-0.0



EXTERIOR FINISHES:

- | | | | |
|---|----------------------|---|----------------------------|
| 1 | ASPHALT SHINGLES | 5 | SMART BOARD SIDING - BLACK |
| 2 | 6" ALUMINUM FASCIA | 6 | CAST IN PLACE CONCRETE |
| 3 | STUCCO - BLACK | 7 | CONC. PAVING |
| 4 | BRICK FINISH - WHITE | | |

NOTE*
 -SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

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04.	--	--	--
05.	--	--	--



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STATUS: -

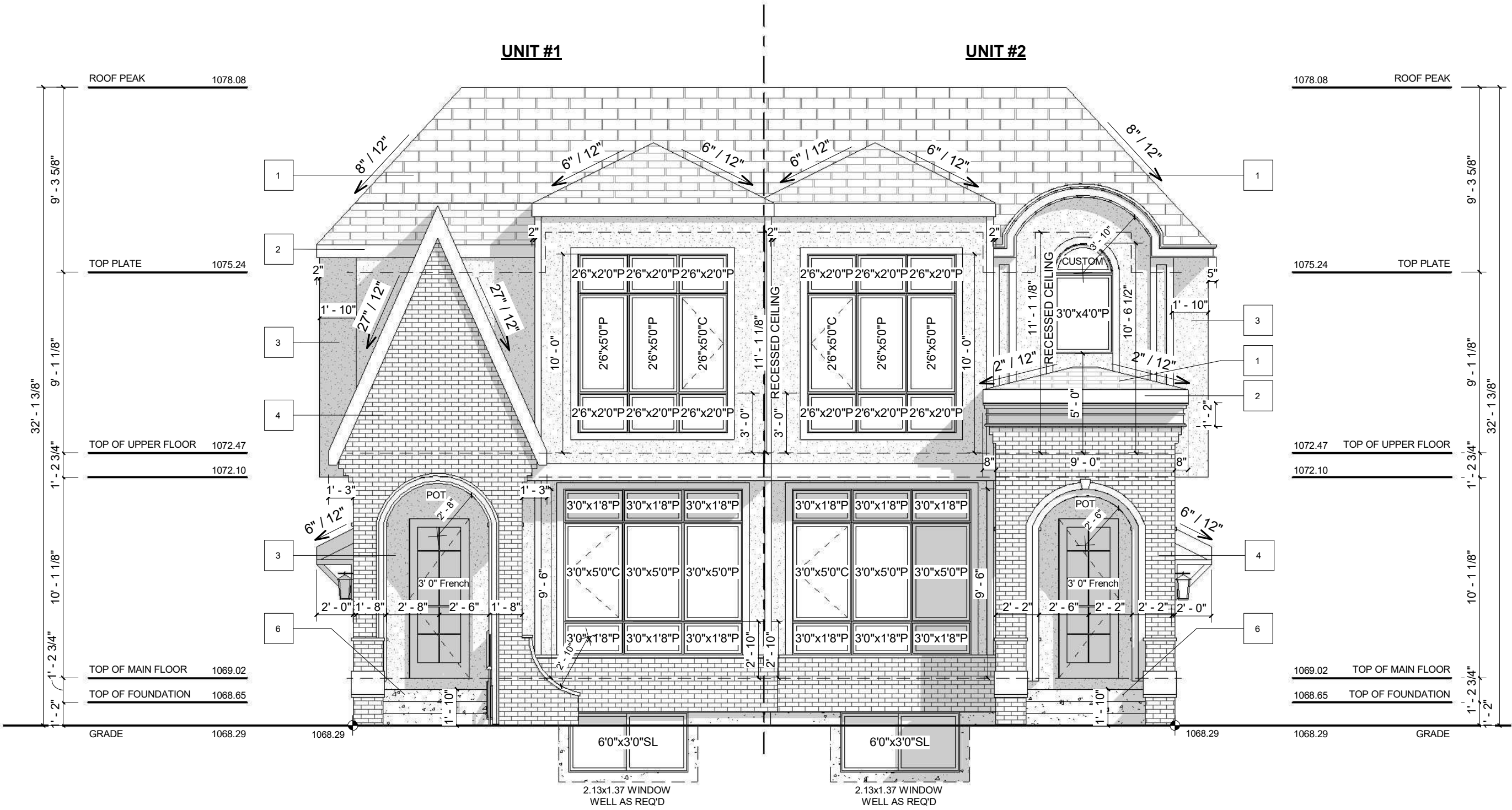
SIGNATURES:
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PRINTED: 2026-03-19 3:05:57 PM

PROJECT NAME:
 6407 32 Ave NW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 173-26

SCALE: AS SHOWN SHEET: A-2.0



FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | | | |
|---|----------------------|---|----------------------------|
| 1 | ASPHALT SHINGLES | 5 | SMART BOARD SIDING - BLACK |
| 2 | 6" ALUMINUM FASCIA | 6 | CAST IN PLACE CONCRETE |
| 3 | STUCCO - BLACK | 7 | CONC. PARGING |
| 4 | BRICK FINISH - WHITE | | |

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

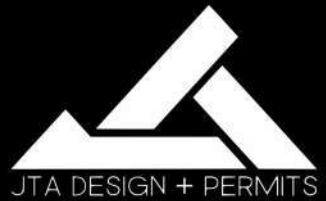
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03.	--	--	--
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PROJECT: **SEMI DETACHED**

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-03-19 3:05:57 PM

PROJECT NAME:
6407 32 Ave NW
CALGARY, ALBERTA

DESIGNER: JT JOB #: 173-26

SCALE: AS SHOWN SHEET: A-2.1



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | |
|------------------------|------------------------------|
| 1 ASPHALT SHINGLES | 5 SMART BOARD SIDING - BLACK |
| 2 6" ALUMINUM FASCIA | 6 CAST IN PLACE CONCRETE |
| 3 STUCCO - BLACK | 7 CONC. PARGING |
| 4 BRICK FINISH - WHITE | |

WINDOW CALCULATION
 WALL AREA = 984.73 SQ. FT.
 WINDOW AREA = 63.51 SQ. FT.
 TOTAL: 63.51 / 984.73 = 6.45%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

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03.	--	--	--
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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

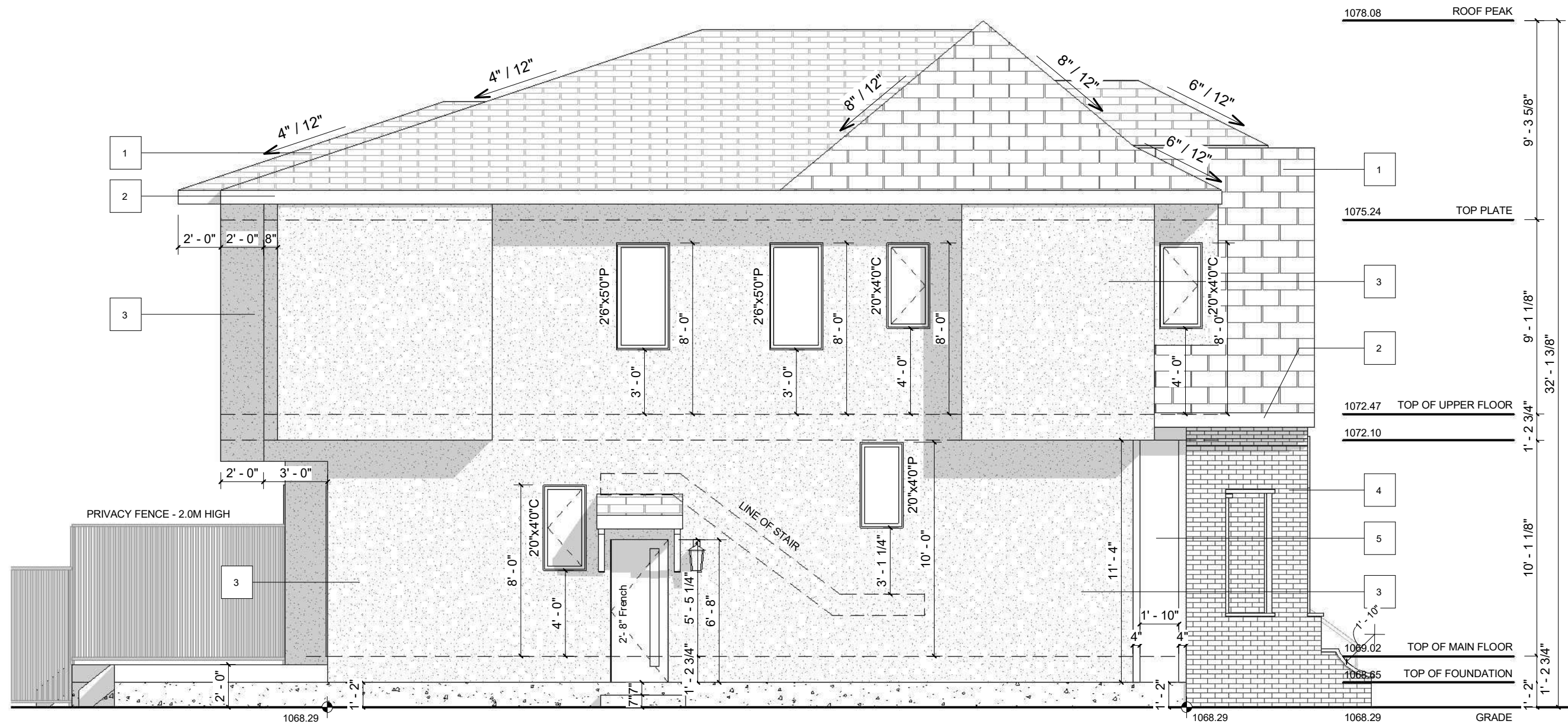
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PROJECT NAME:
 6407 32 Ave NW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 173-26

SCALE: AS SHOWN SHEET: A-2.2

UNIT #1



LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | |
|------------------------|------------------------------|
| 1 ASPHALT SHINGLES | 5 SMART BOARD SIDING - BLACK |
| 2 6" ALUMINUM FASCIA | 6 CAST IN PLACE CONCRETE |
| 3 STUCCO - BLACK | 7 CONC. PAVING |
| 4 BRICK FINISH - WHITE | |

WINDOW CALCULATION
 WALL AREA = 984.73 SQ. FT.
 WINDOW AREA = 54.96 SQ. FT.
 TOTAL: 54.96 / 984.73 = 5.58%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
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PROJECT: **SEMI DETACHED**

STATUS: -

SIGNATURES:
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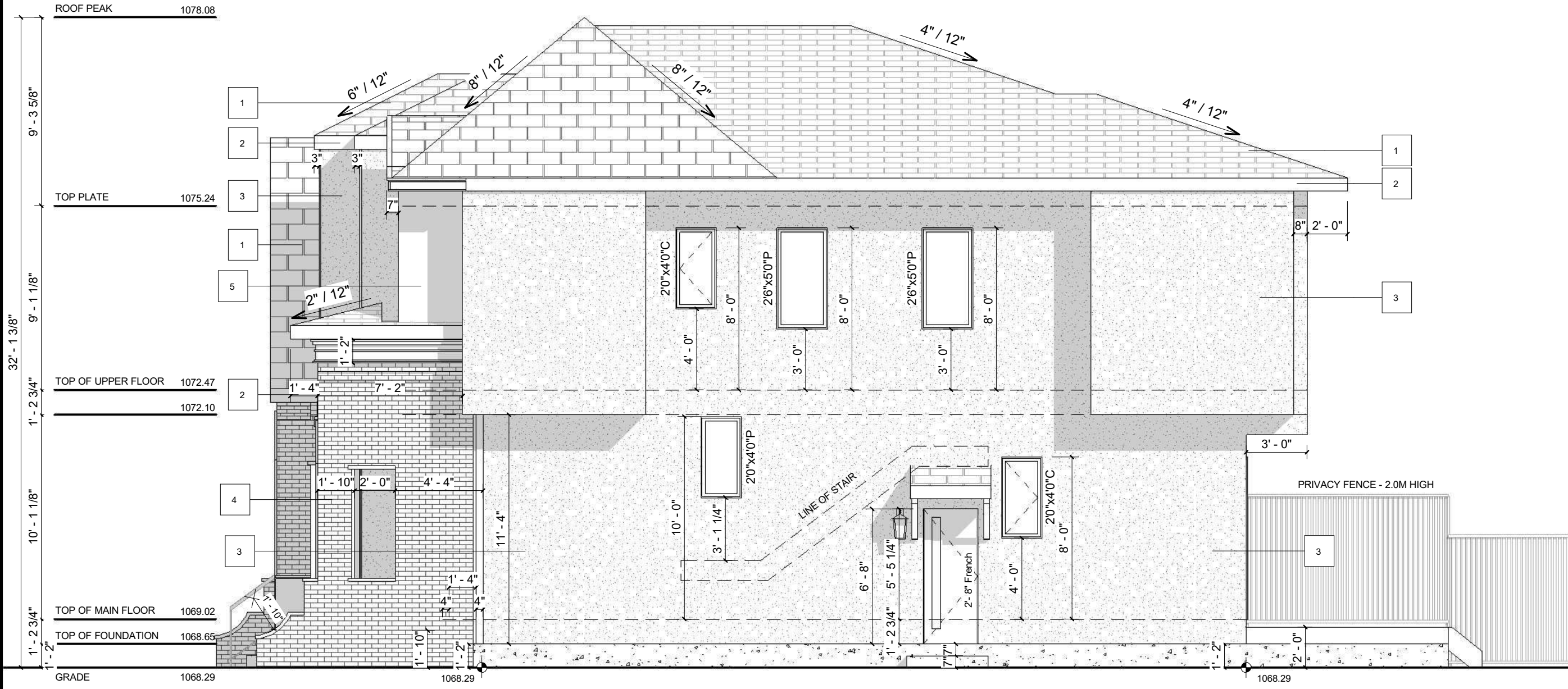
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PROJECT NAME:
 6407 32 Ave NW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 173-26

SCALE: AS SHOWN SHEET: A-2.3

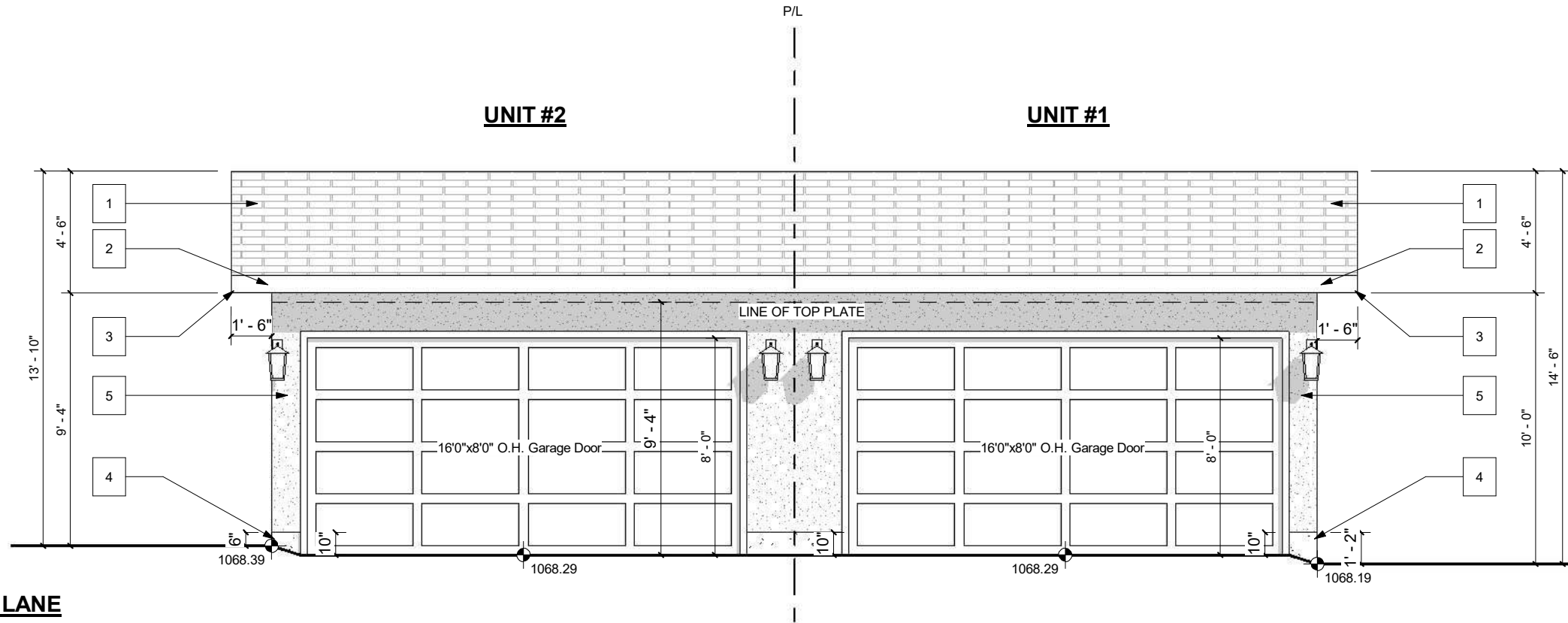
UNIT #2



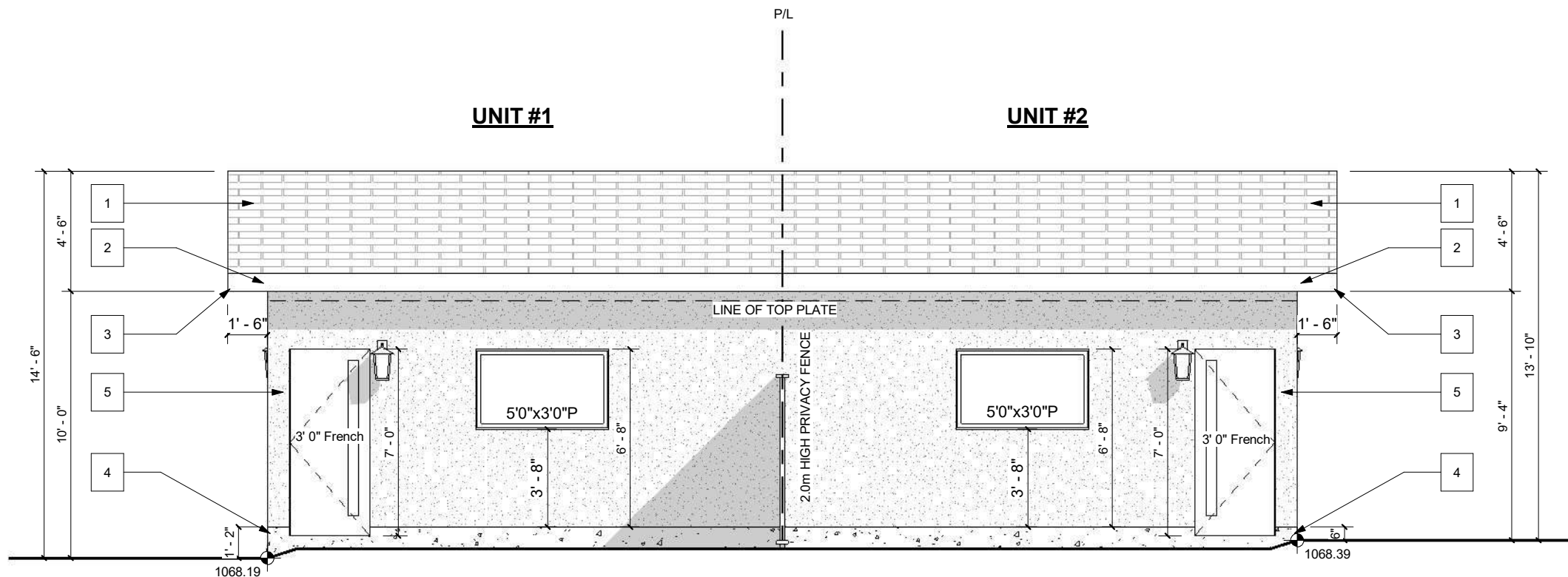
RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO SIDING



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-03-19 3:06:00 PM

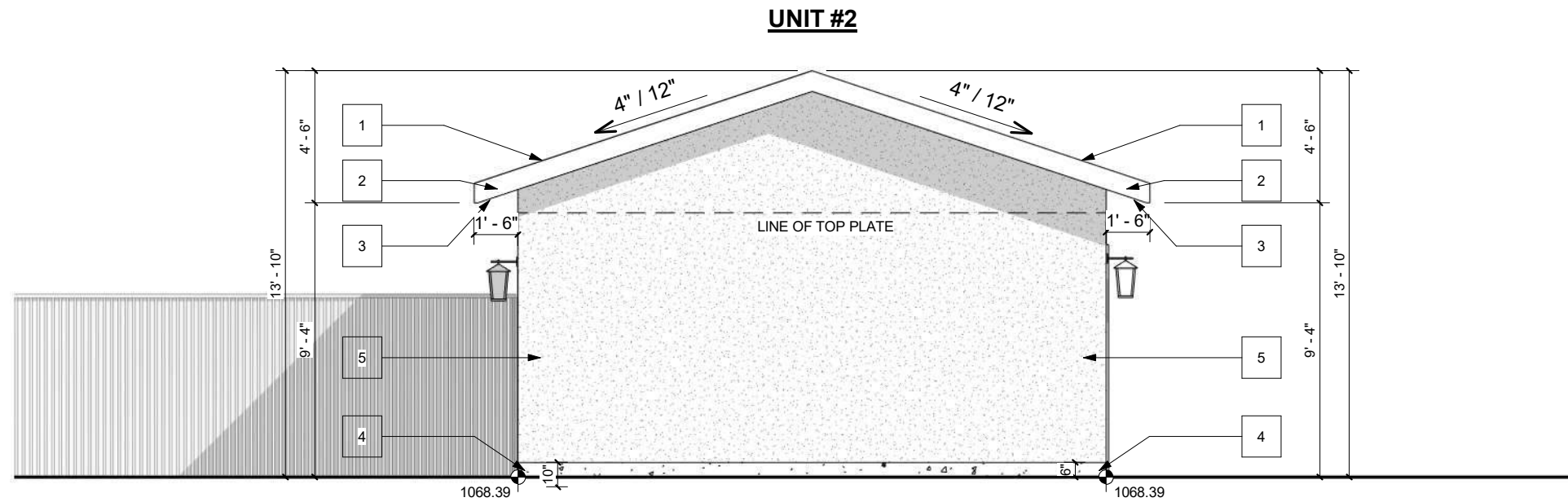
PROJECT NAME:
6407 32 Ave NW
CALGARY, ALBERTA

DESIGNER: JT JOB #: 173-26

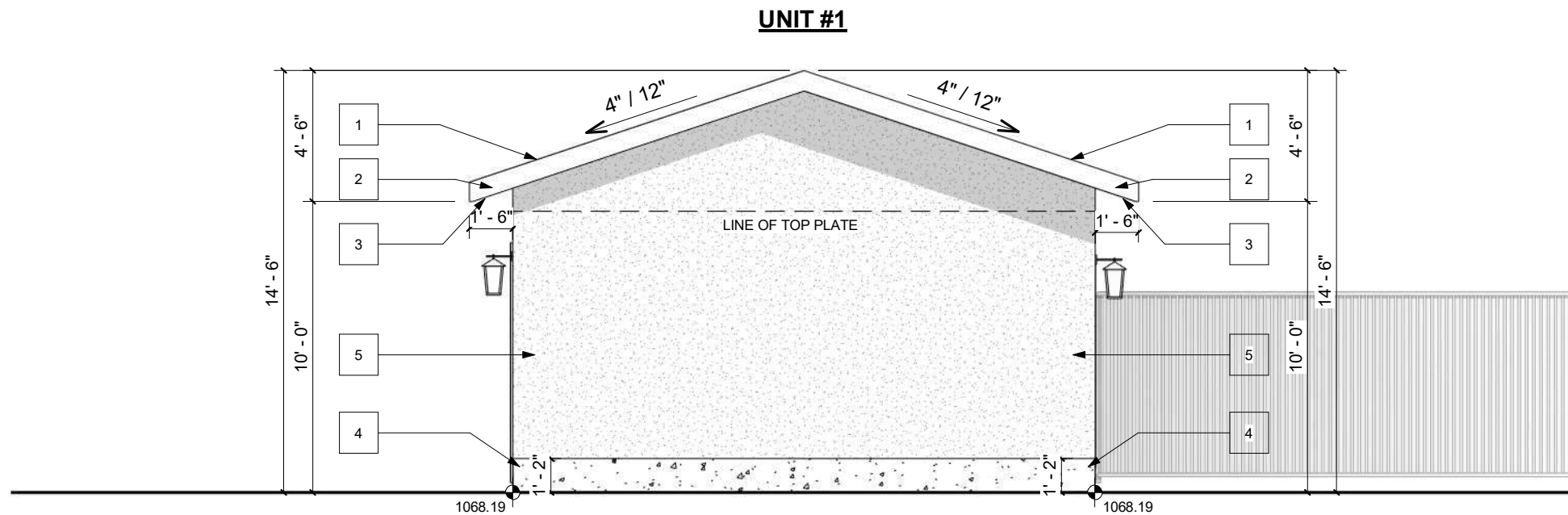
SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO SIDING



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

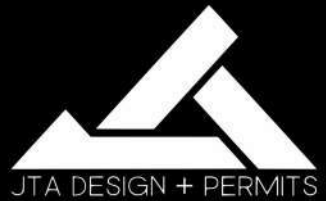
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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	17/03/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-03-19 3:06:01 PM

PROJECT NAME:
6407 32 Ave NW
CALGARY, ALBERTA

DESIGNER: JT JOB #: 173-26

SCALE: AS SHOWN SHEET: A-3.2