

# PROPOSED SEMI-DETACHED DWELLING DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT



BUILDING UNIT AREAS		
NAME	SQ.FT	SQ.M
<b>UNIT A</b>		
SECOND FLOOR	900.75	83.68
MAIN FLOOR	785.36	72.96
TOTAL AREA	1686.11	156.64
<b>SUITE A</b>		
BASEMENT	785.36	72.96
<b>UNIT B</b>		
SECOND FLOOR	900.75	83.68
MAIN FLOOR	785.36	72.96
TOTAL AREA	1686.11	156.64
<b>SUITE B</b>		
BASEMENT	785.36	72.96
<b>ABOVE GRADE</b>		
	3372.22	313.29
<b>BELOW GRADE</b>		
	1570.72	145.92
<b>BACKYARD SUITE A</b>		
SUITE AREA	543.63	50.50
<b>BACKYARD SUITE B</b>		
SUITE AREA	425.00	39.48
<b>GARAGE A</b>		
	525.0	48.77
<b>GARAGE B</b>		
	525.0	48.77

**MUNICIPAL ADDRESS**  
16 Rossmere Rd SW, Calgary, AB

**LEGAL DESCRIPTION**  
Plan:7856HD;Block:1;Lot:16

**LAND USE DESIGNATION**  
R-CG  
Residential - Grade-Oriented Infill

**PARCEL AREA**  
5997.16 ft<sup>2</sup> / 557.15 m<sup>2</sup>

**PROPOSED DENSITY**  
2 units / 0.0557 Ha = 35.89 U/Ha

**PROPOSED COVERAGE**  
2/0.055715=35.89 Unit/Ha 45%max  
Proposed 44.97% (2697.5ft<sup>2</sup>/5997.16ft<sup>2</sup>)

May 20	1	DR	
DATE	No.	REVISION	BY

## Proposed Semi-Detached Dwelling Development

16 Rossmere Rd SW, Calgary, AB

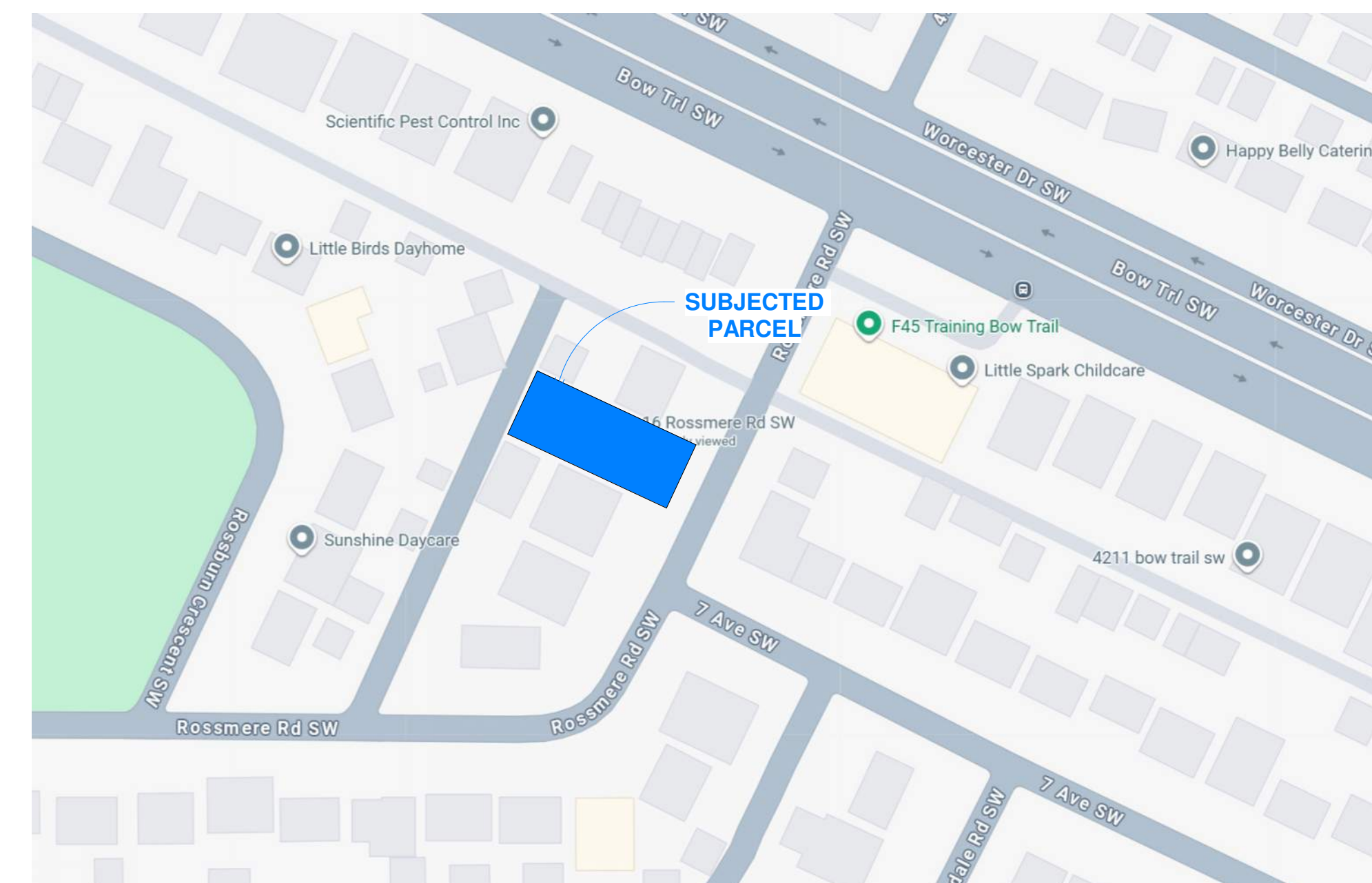
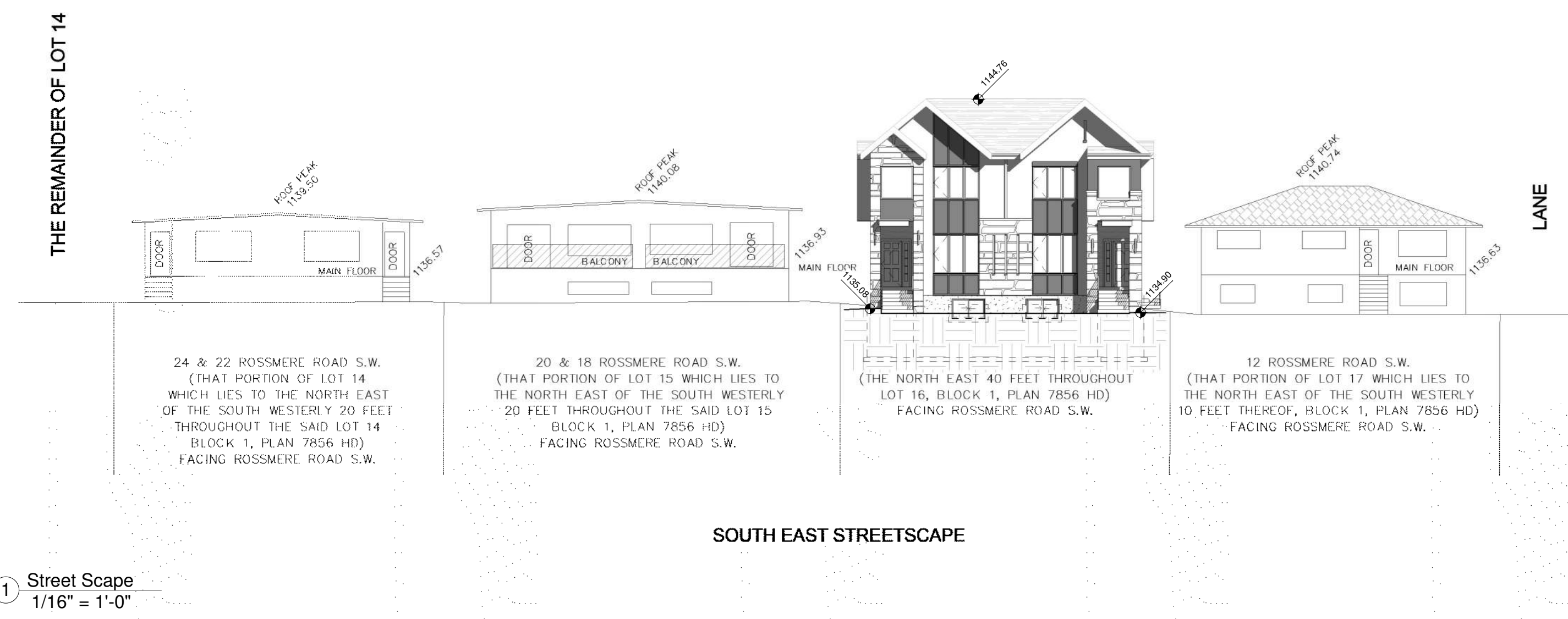
PROJECT

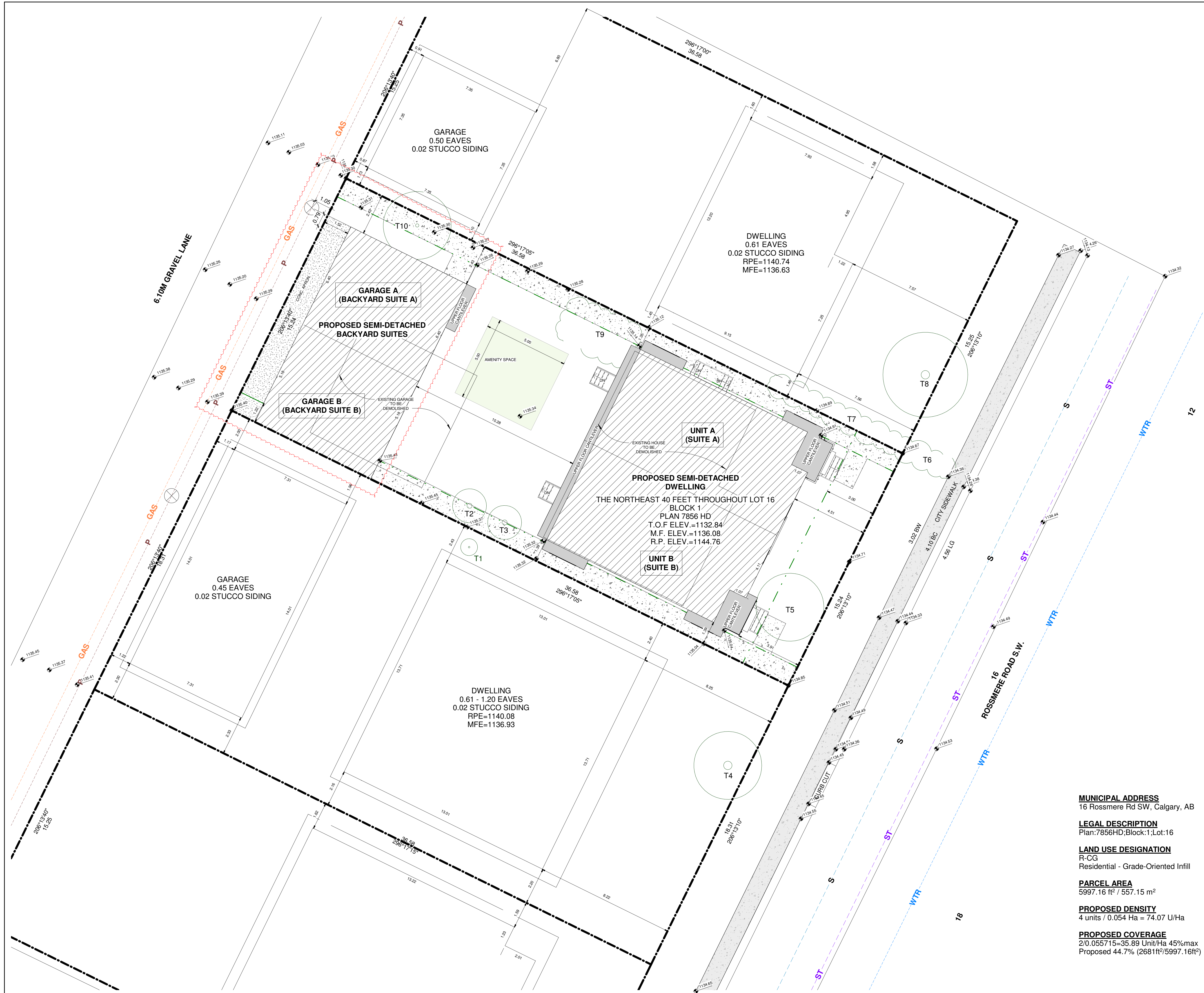
CLIENT  
Owner

PROGRESS	DP		
SCALE	As indicated		
DRAWN	JP	CHECKED	TB
FILE	20260304		
DATE	5/20/2026 12:03:22 PM		

Title Page

A001





May 20	1	DR	
DATE	No.	REVISION	BY

# Proposed Semi-Detached Dwelling Development

16 Rossmere Rd SW, Calgary, AB

PROJECT

CLIENT  
Owner

PROGRESS	DP		
SCALE	1 : 100		
DRAWN	JP	CHECKED	TB
FILE	20260304		
DATE	5/20/2026 12:03:23 PM		

**MUNICIPAL ADDRESS**  
16 Rossmere Rd SW, Calgary, AB

**LEGAL DESCRIPTION**  
Plan:7856HD;Block:1;Lot:16

**LAND USE DESIGNATION**  
R-CG  
Residential - Grade-Oriented Infill

**PARCEL AREA**  
5997.16 ft<sup>2</sup> / 557.15 m<sup>2</sup>

**PROPOSED DENSITY**  
4 units / 0.054 Ha = 74.07 U/Ha

**PROPOSED COVERAGE**  
2/0.055715=35.89 Unit/Ha 45%max  
Proposed 44.7% (2681ft<sup>2</sup>/5997.16ft<sup>2</sup>)

Site / Block Plan

A002

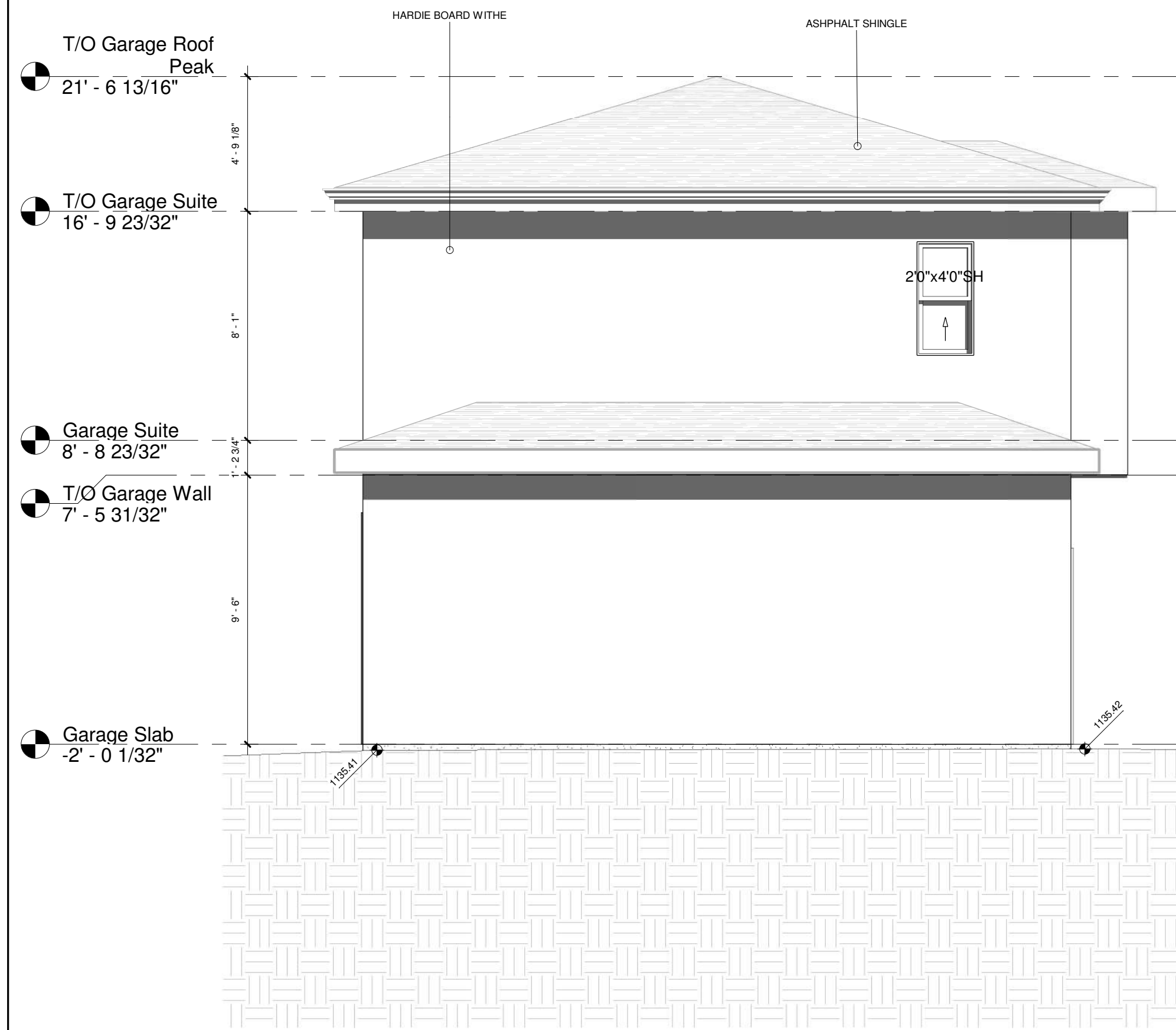


DATE	No.	REVISION	BY

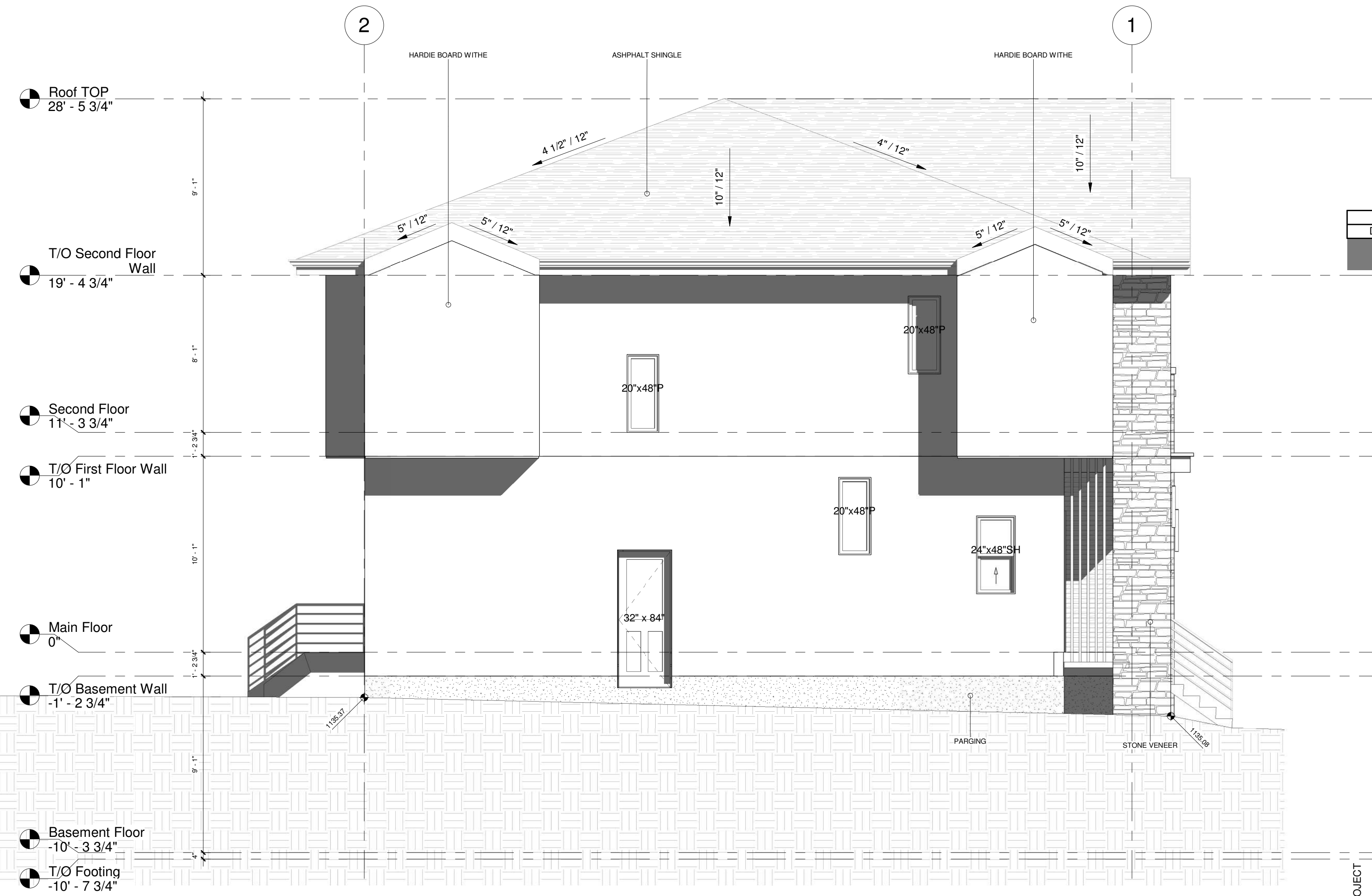
PROJECT  
**Proposed Semi-Detached Dwelling Development**  
 16 Rossmere Rd SW, Calgary, AB

CLIENT	Owner		
PROGRESS	DP		
SCALE	1/4" = 1'-0"		
DRAWN	Author	CHECKED	Checker
FILE	20260304		
DATE	5/20/2026 12:03:28 PM		

East & West Elevations  
 A201



① South Elevation  
1/4" = 1'-0"



DATE	No.	REVISION	BY

PROJECT  
**Proposed Semi-Detached Dwelling Development**

16 Rossmere Rd SW, Calgary, AB

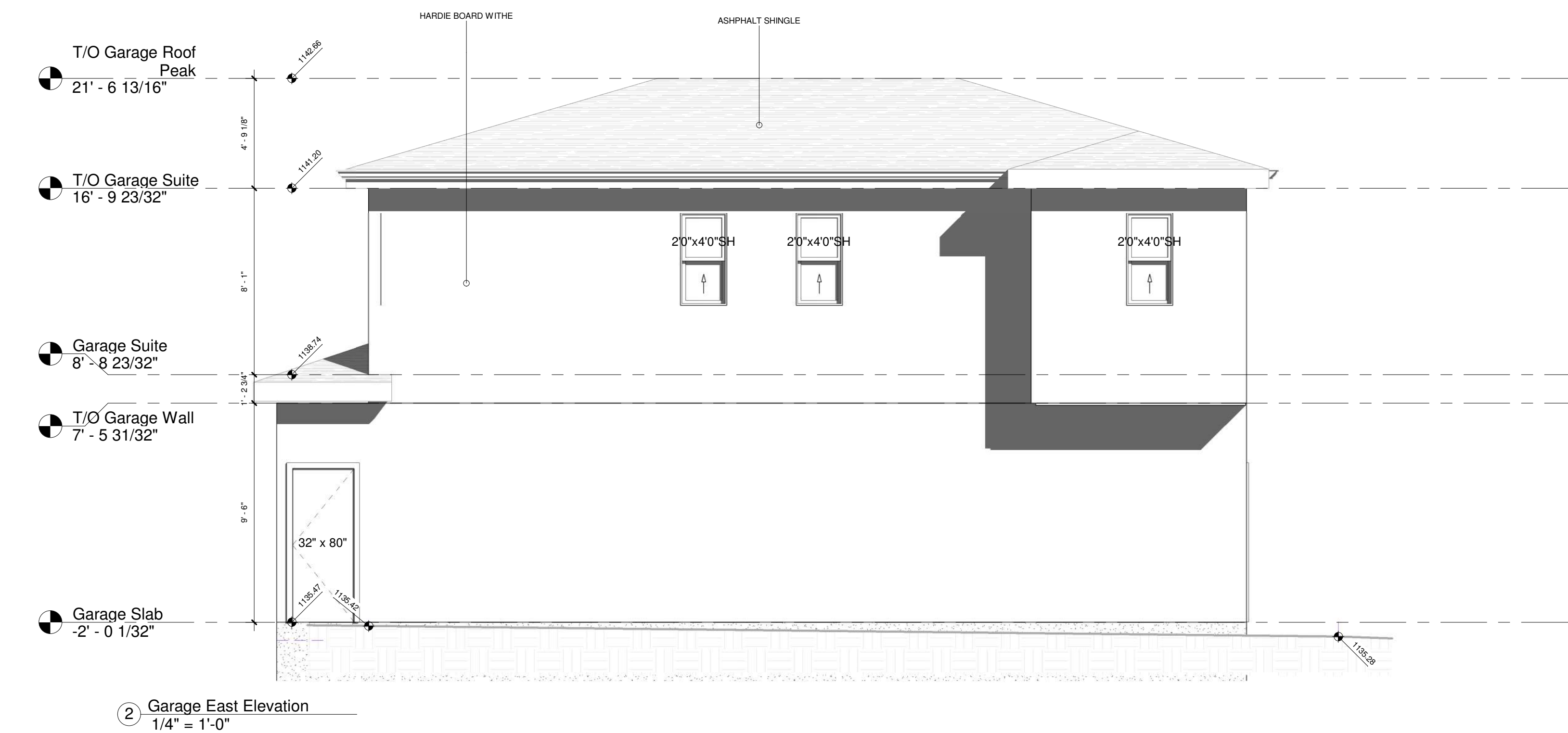
CLIENT  
 Owner

PROGRESS	DP
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DRAWN	JP
FILE	20260304
DATE	5/20/2026 12:03:29 PM

South Elevation

A202





DATE	No.	REVISION	BY

PROJECT  
**Proposed Semi-Detached Dwelling Development**

16 Rossmere Rd SW, Calgary, AB

CLIENT  
 Owner

PROGRESS	DP
SCALE	1/4" = 1'-0"
DRAWN	JP
FILE	20260304
DATE	5/20/2026 12:03:32 PM

Garage West &  
 East Elevations  
 A204