

LIST OF DRAWINGS

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FLOOR AREA - UNIT #1B

BASEMENT = 977.17 SQ. FT.

FLOOR AREA - UNIT #1

MAIN = 977.17 SQ. FT.
 UPPER = 1072.25 SQ. FT.
 LOFT = 888.00 SQ. FT.
 TOTAL = 2937.42 SQ. FT.

FLOOR AREA - UNIT #2B

BASEMENT = 977.17 SQ. FT.

FLOOR AREA - UNIT #2

MAIN = 977.17 SQ. FT.
 UPPER = 1072.25 SQ. FT.
 LOFT = 888.00 SQ. FT.
 TOTAL = 2937.42 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
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 CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	12/03/2026	DP PLAN	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

PRINTED: 2026-03-12 11:52:31 AM

PROJECT NAME:
 2211 29 Ave SW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 158 - 26

SCALE: AS SHOWN SHEET: A-0.0



- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA
 - 3 STUCCO FINISH - GREY
 - 4 SMOOTH STUCCO FINISH - DARK GREY
 - 5 BRICK FINISH AS SPEC'D.
 - 6 CONC. PARGING
 - 7 CAST IN PLACE CONCRETE
 - 8 TORCH ON ROOF

NOTE:
 -SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

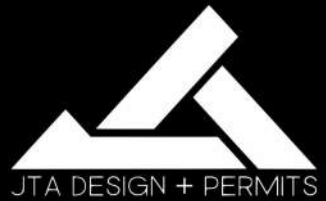
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03.	--	--	--
04.	--	--	--
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STATUS: -

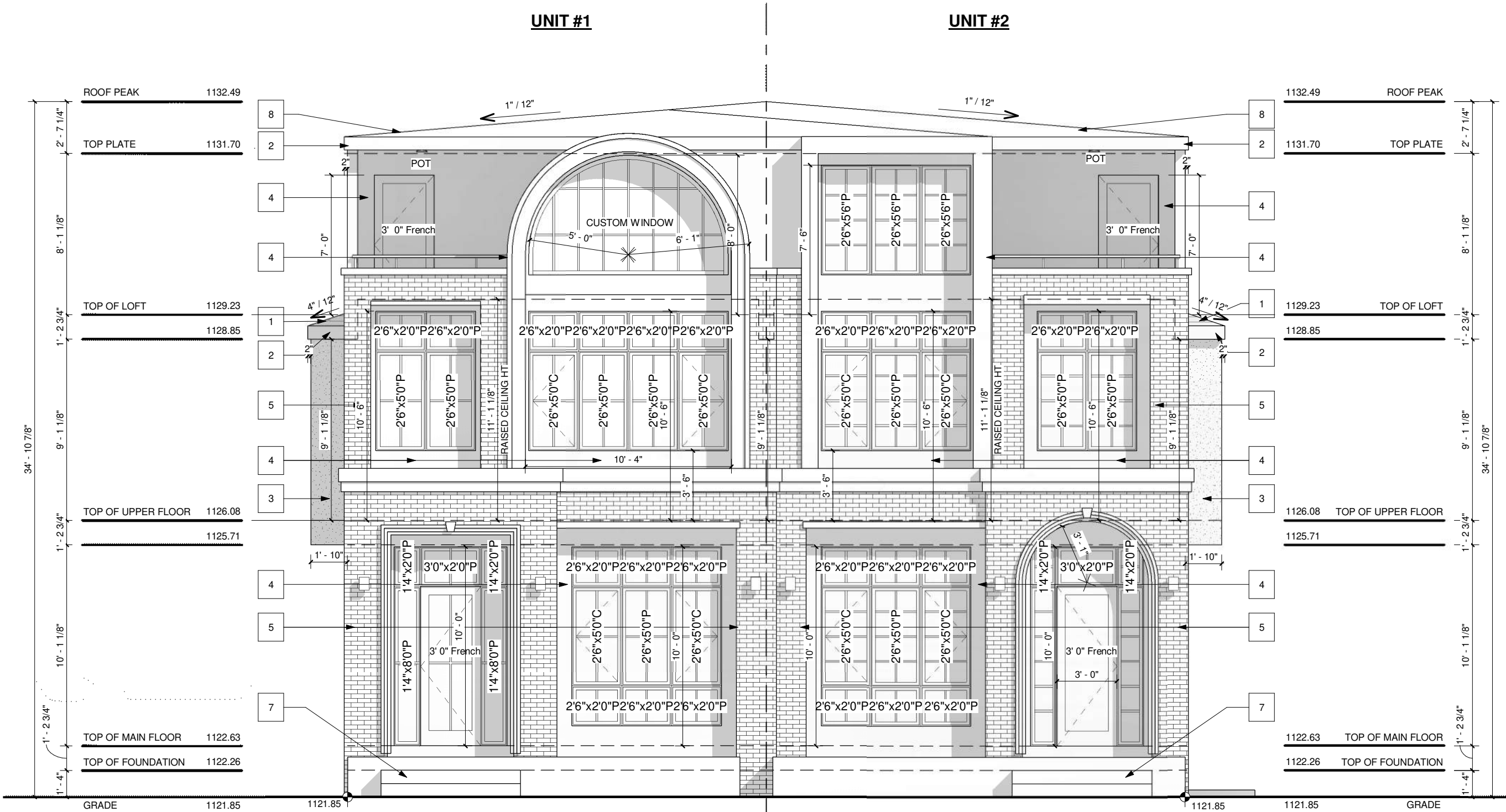
SIGNATURES:
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PRINTED: 2026-03-12 11:52:35 AM

PROJECT NAME:
 2211 29 Ave SW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 158 - 26

SCALE: AS SHOWN SHEET: A-2.0



FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | | | |
|---|----------------------------------|---|-------------------------|
| 1 | ASPHALT SHINGLES | 5 | BRICK FINISH AS SPEC'D. |
| 2 | 6" ALUMINUM FASCIA | 6 | CONC. PAVING |
| 3 | STUCCO FINISH - GREY | 7 | CAST IN PLACE CONCRETE |
| 4 | SMOOTH STUCCO FINISH - DARK GREY | 8 | TORCH ON ROOF |

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

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PROJECT: SEMI DETACHED

STATUS: -

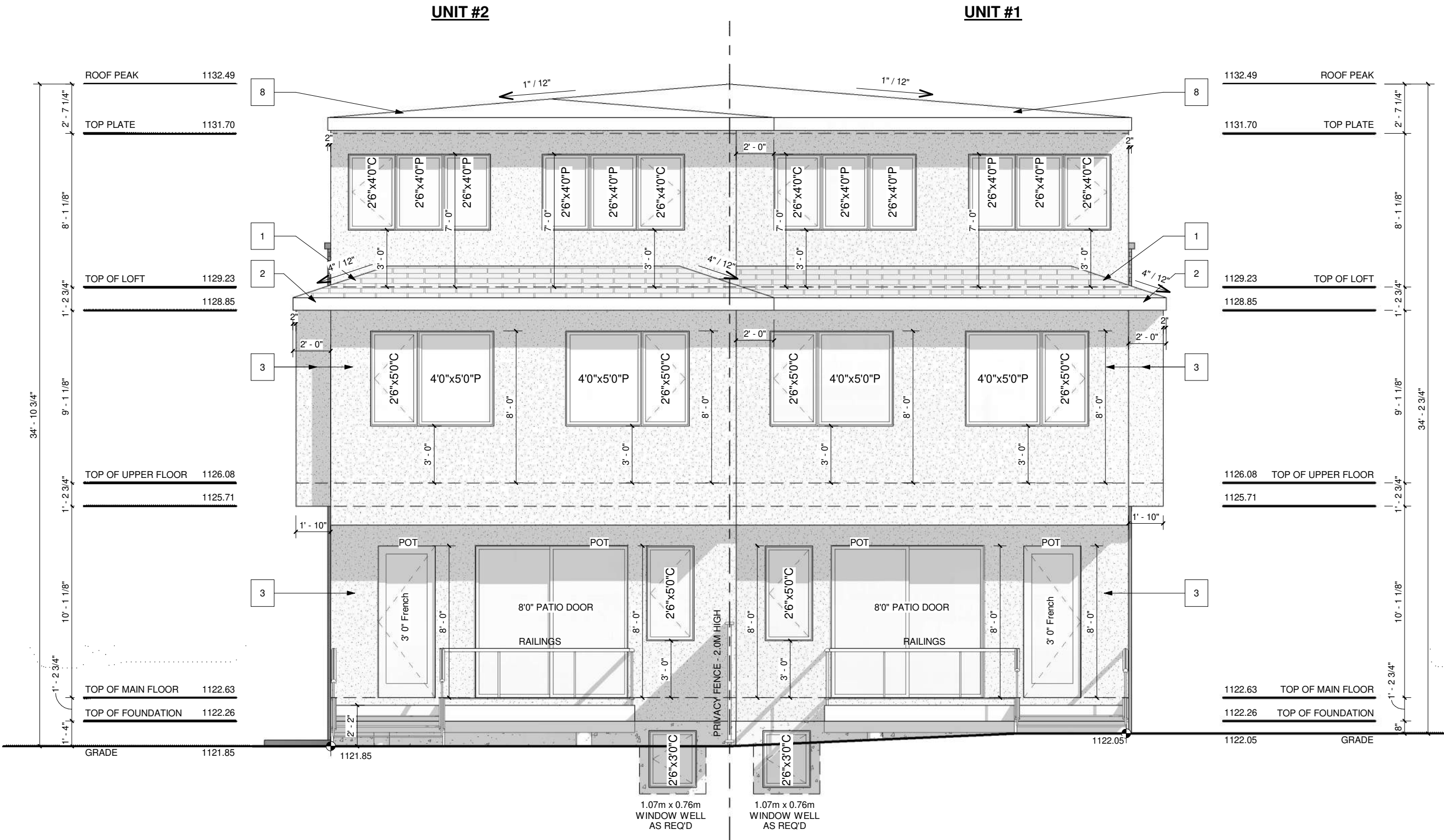
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PROJECT NAME:
2211 29 Ave SW
CALGARY, ALBERTA

DESIGNER: JT JOB #: 158 - 26

SCALE: AS SHOWN SHEET: A-2.1



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | | | |
|---|----------------------------------|---|-------------------------|
| 1 | ASPHALT SHINGLES | 5 | BRICK FINISH AS SPEC'D. |
| 2 | 6" ALUMINUM FASCIA | 6 | CONC. PAVING |
| 3 | STUCCO FINISH - GREY | 7 | CAST IN PLACE CONCRETE |
| 4 | SMOOTH STUCCO FINISH - DARK GREY | 8 | TORCH ON ROOF |

WINDOW CALCULATION
 WALL AREA = 1435.21 SQ. FT.
 WINDOW AREA = 44.69 SQ. FT.
 TOTAL: 44.69 / 1435.21 = 3.11%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

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03.	--	--	--
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05.	--	--	--



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PROJECT: **SEMI DETACHED**

STATUS: -
 SIGNATURES: X _____

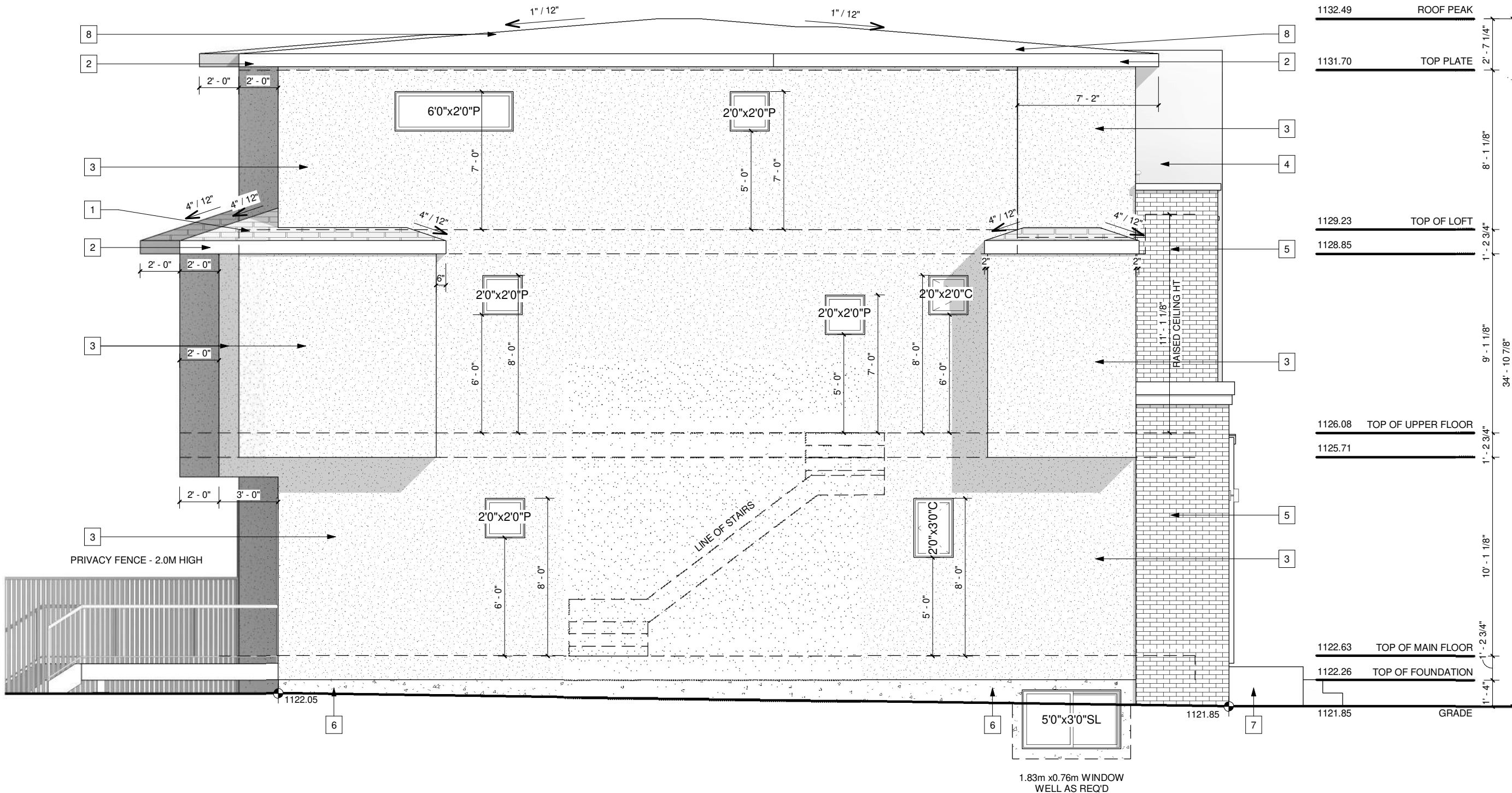
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PROJECT NAME:
 2211 29 Ave SW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 158 - 26

SCALE: AS SHOWN SHEET: A-2.2

UNIT #1



LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA
 - 3 STUCCO FINISH - GREY
 - 4 SMOOTH STUCCO FINISH - DARK GREY
 - 5 BRICK FINISH AS SPEC'D.
 - 6 CONC. PAVING
 - 7 CAST IN PLACE CONCRETE
 - 8 TORCH ON ROOF

WINDOW CALCULATION
 WALL AREA = 1452.44 SQ. FT.
 WINDOW AREA = 48.74 SQ. FT.
 TOTAL: 48.74 / 1452.44 = 3.36%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

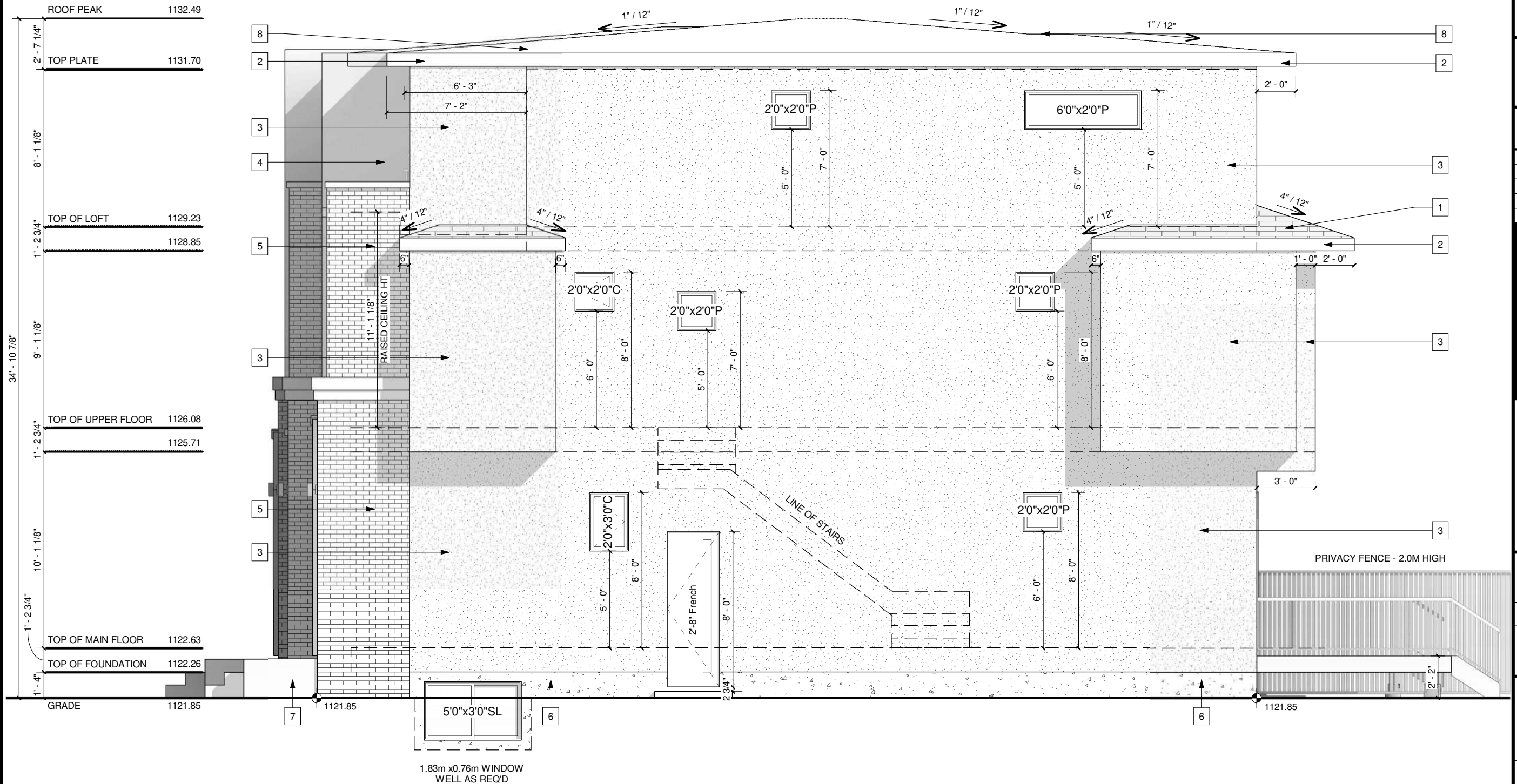
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PROJECT NAME:
 2211 29 Ave SW
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 158 - 26

SCALE: AS SHOWN SHEET: A-2.3

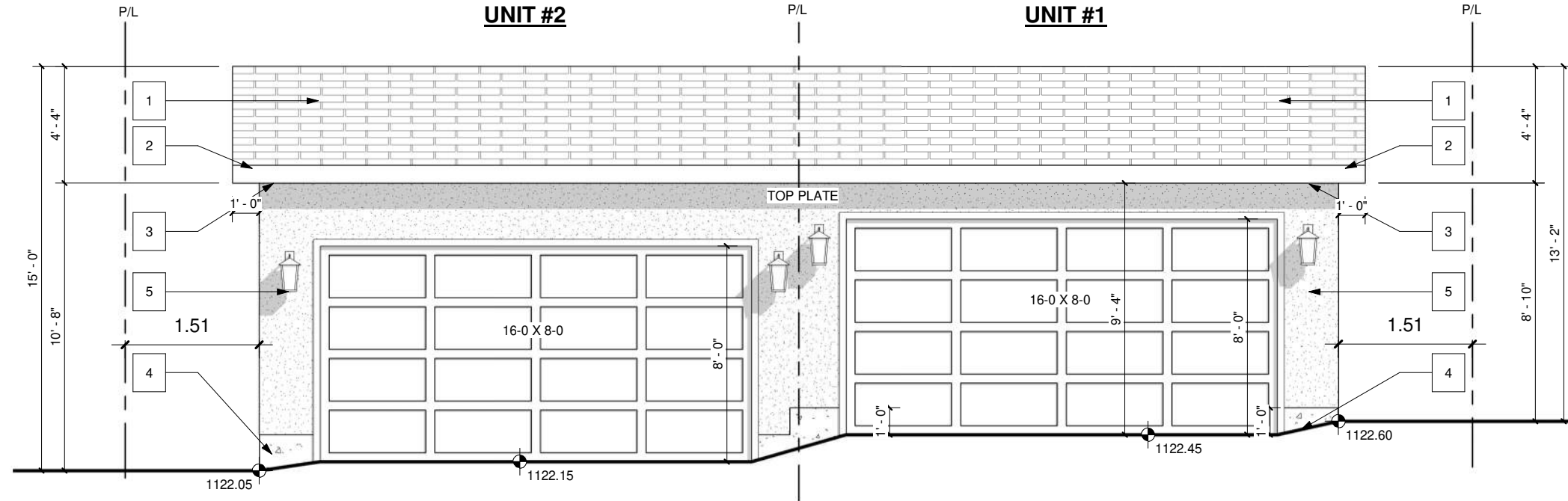
UNIT #2



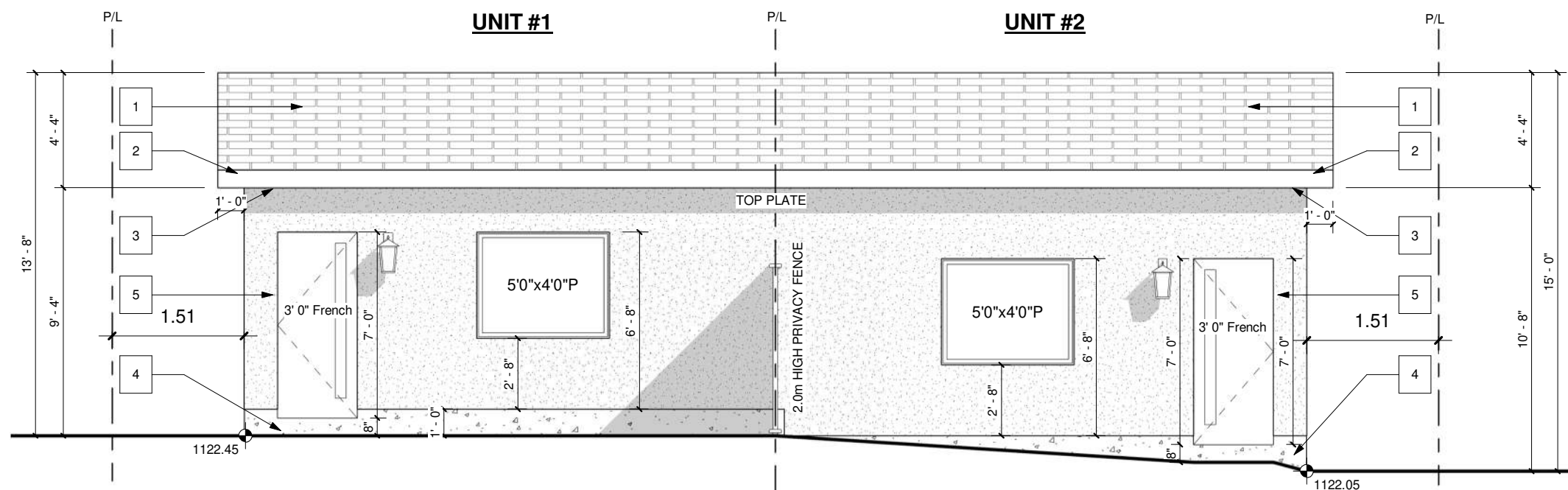
RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	12/03/2026	DP PLAN	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT:

SEMI DETACHED

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-03-12 11:52:41 AM

PROJECT NAME:

2211 29 Ave SW
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

158 - 26

SCALE:

AS SHOWN

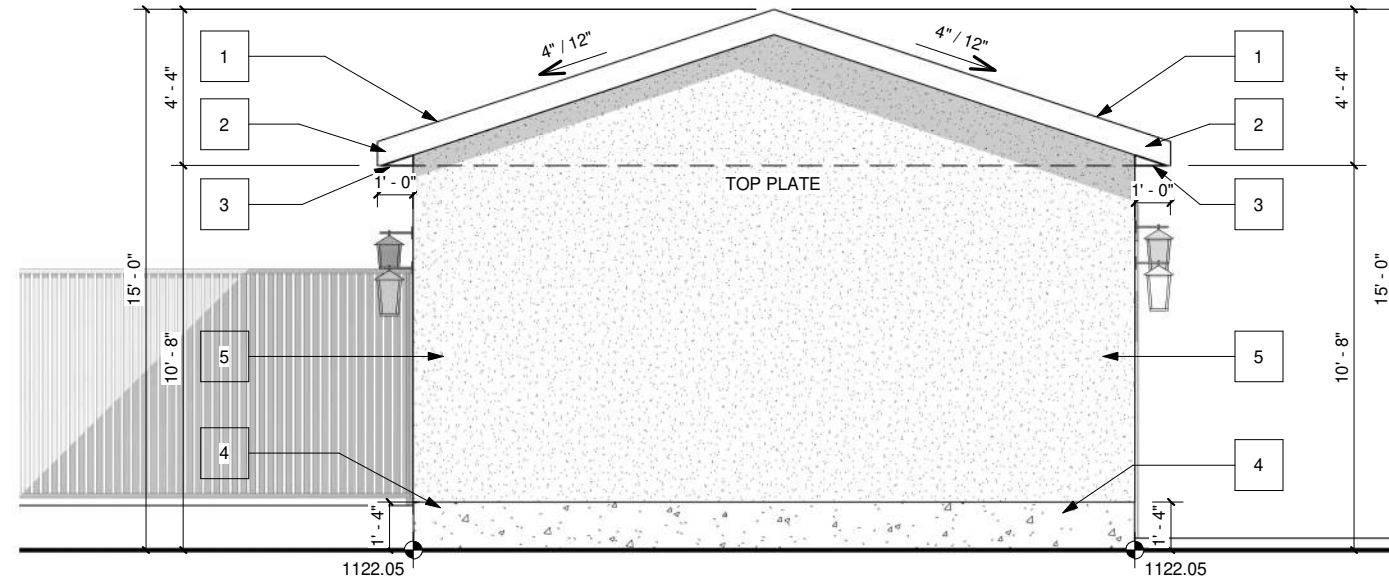
SHEET:

A-3.1

EXTERIOR FINISHES:

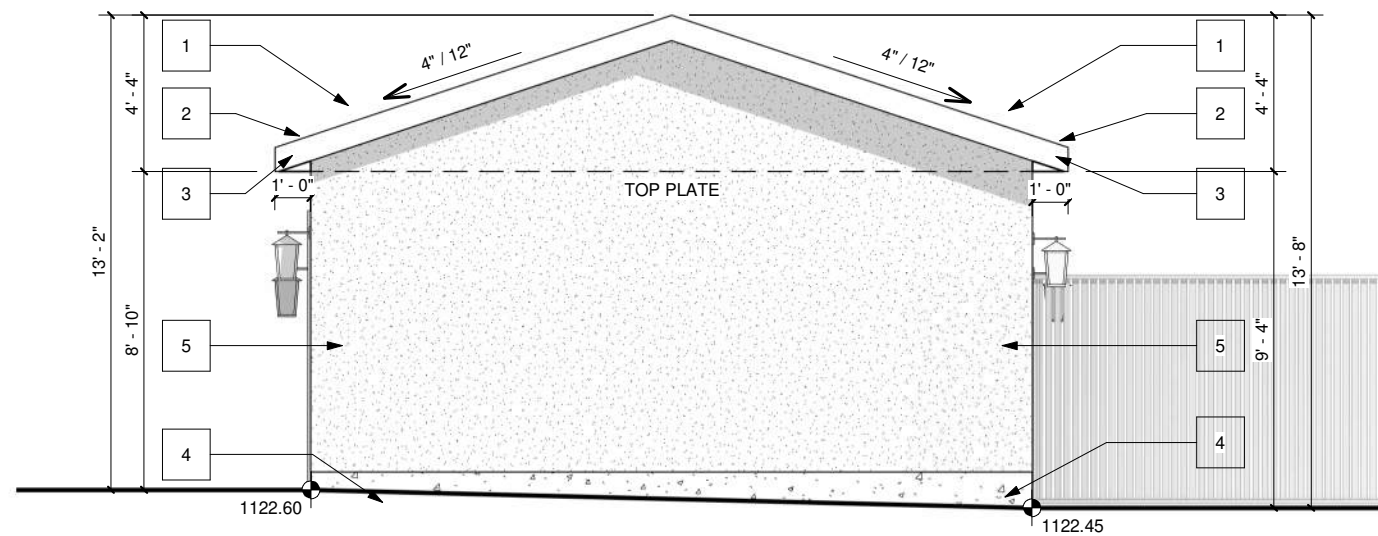
- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO FINISH

UNIT #2



GARAGE LEFT
SCALE: 3/16" = 1'-0"

UNIT #1



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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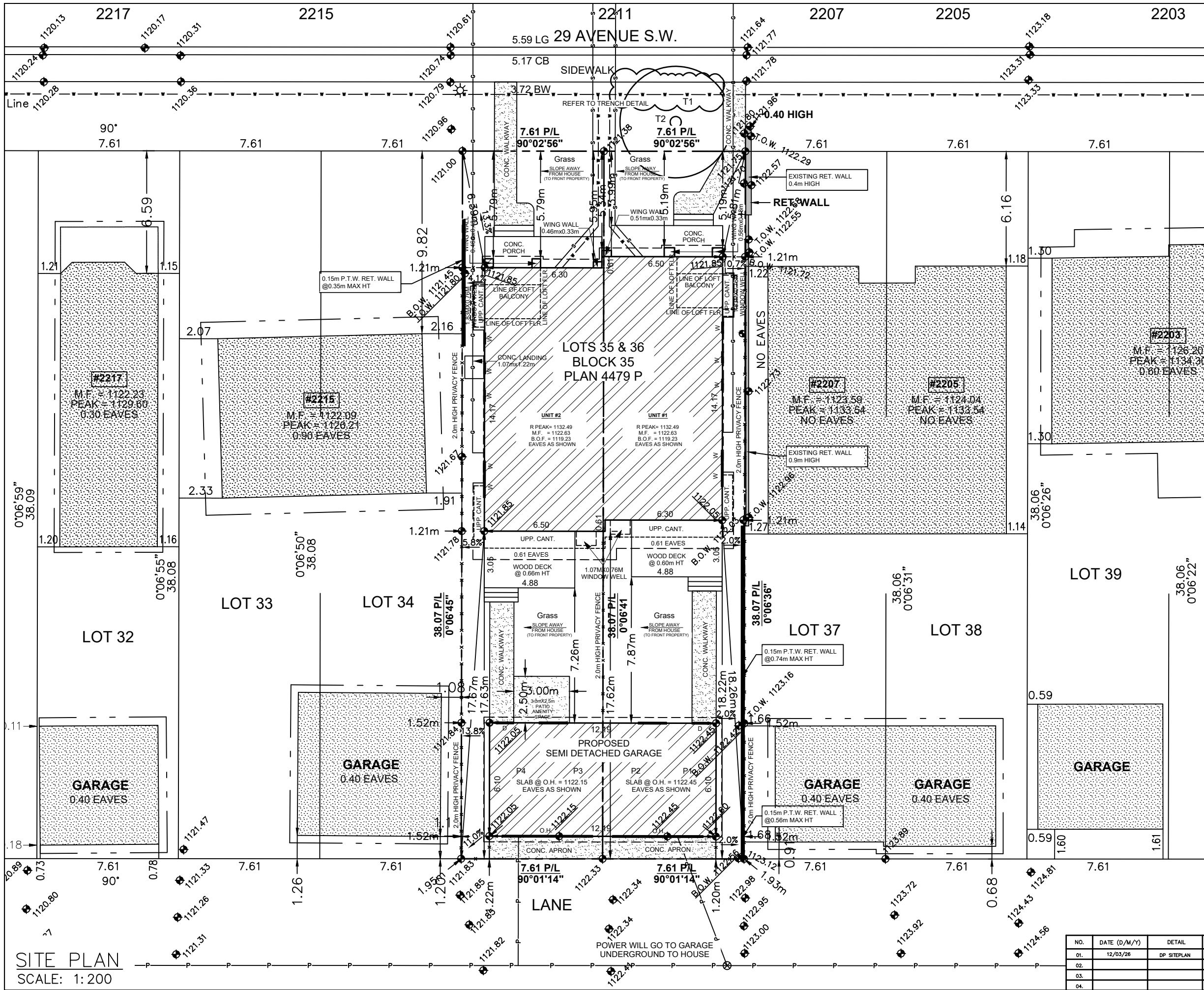
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PRINTED: 2026-03-12 11:52:41 AM

PROJECT NAME:
2211 29 Ave SW
CALGARY, ALBERTA

DESIGNER: JT JOB #: 158 - 26

SCALE: AS SHOWN SHEET: A-3.2



SITE PLAN

- LEGEND**
- ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 140368
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- ⊠ denotes Calculation points
 - ⊞ denotes Water Valve
 - ⊞ denotes Gas Valve
 - ⊞ denotes Manhole
 - ⊞ denotes Tree
 - ⊞ denotes Power Pole
 - ⊞ denotes Sign
 - ⊞ denotes Light Standard
 - X-X- denotes Fence
 - S- denotes Sanitary Line
 - ST- denotes Storm Line
 - W- denotes Water Line
 - G- denotes Gas Line
 - E- denotes Electrical Line
 - A.G.T- denotes A.G.T Line
 - U.R.O.W- denotes Utility Right of Way Line
 - P.L- denotes Property Line
 - ▭ denotes Door
 - ▭ denotes Main Floor Windows
 - ▭ denotes Second Floor Windows
 - ▭ denotes Basement Floor Windows
 - ▭ denotes Shed Hatch
 - ▭ denotes Detached Garage Hatch
 - ▭ denotes Main Building Hatch
 - ▭ denotes Concrete and Asphalt Hatch
 - ▭ denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'Ret.' denotes Retaining
 'BW' denotes Back of Walkway
 'BC' denotes Back of Curb
 'BOW' denotes Bottom of Wall
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
 Lots 35 & 36
 Block 35
 Plan 4479 P

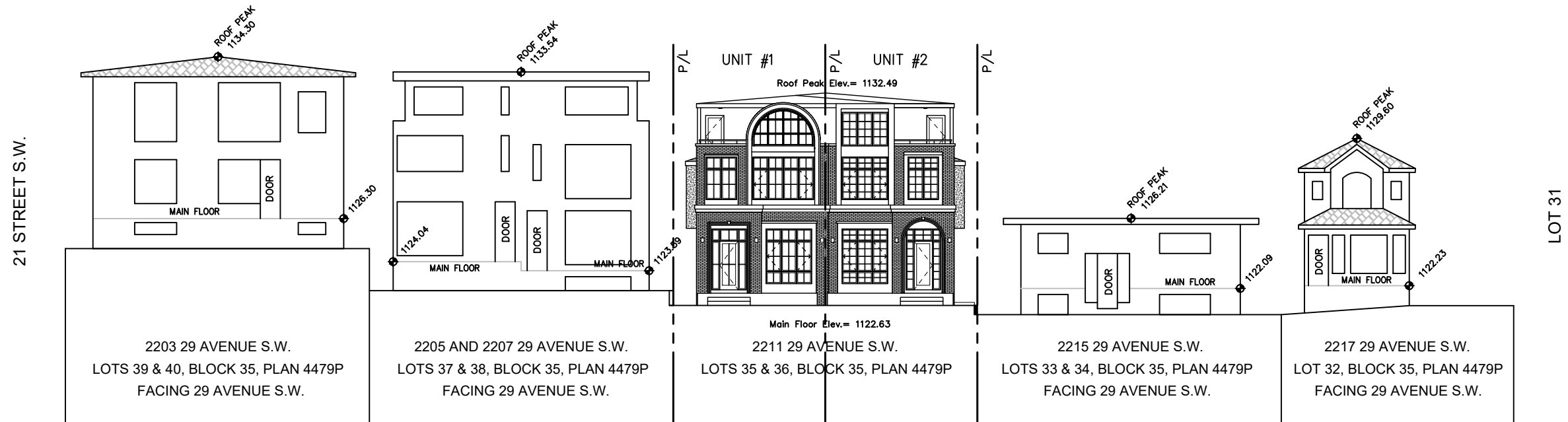
MUNICIPAL ADDRESS:
 2211 - 29th AVENUE S.W.
 Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 579.510 SQ M HOUSE SIZE: 181.584 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 1.300 SQ M GARAGE: 74.322 SQ M	LOT SIZE: 289.741 SQ M HOUSE SIZE: 90.782 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 0.674 SQ M GARAGE: 37.161 SQ M	LOT SIZE: 289.769 SQ M HOUSE SIZE: 90.782 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 0.626 SQ M GARAGE: 37.161 SQ M
TOTAL: 257,189 / 579,510 = 44.38%	TOTAL: 128,617 / 289,741 = 44.39%	TOTAL: 128,569 / 289,769 = 44.37%

SITE PLAN

SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	12/03/26	DP SITEPLAN	D.L.	2211 29th AVENUE SW Calgary, Alberta	SEMI DETACHED	1:200
02.				Lots 35 & 36 Block 35 Plan 4479 P	DATE:	DIVISION NUMBER:
03.					MAR 12, 2026	S 01
04.						



STREETSCAPE

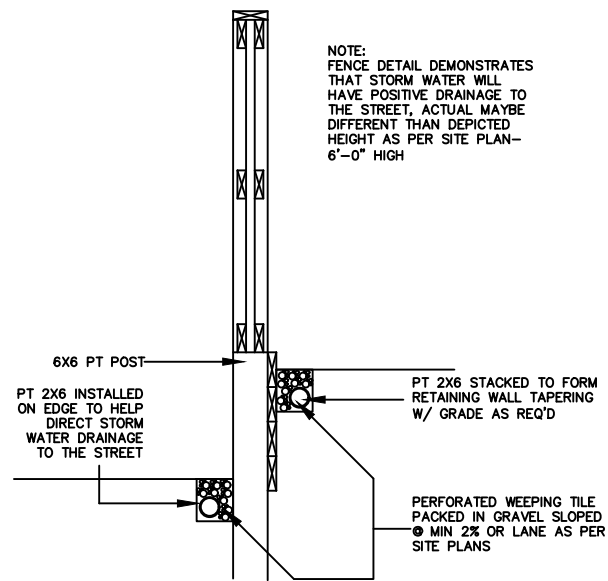
SCALE: 1:250

SEMI DETACHED SQFT:

	UNIT #1	UNIT #2
BASEMENT	977.17 SQ FT	977.17 SQ FT
MAIN FLOOR	977.17 SQ FT	977.17 SQ FT
UPPER FLOOR	1072.25 SQ FT	1072.25 SQ FT
LOFT FLOOR	888.00 SQ FT	888.00 SQ FT
TOTAL AREA	2937.42 SQ FT	2937.42 SQ FT

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Bush	---	2.0	2.0	In City Property	To Stay
T2	Coniferous	0.60	6.0	12.0	In City Property	To Stay

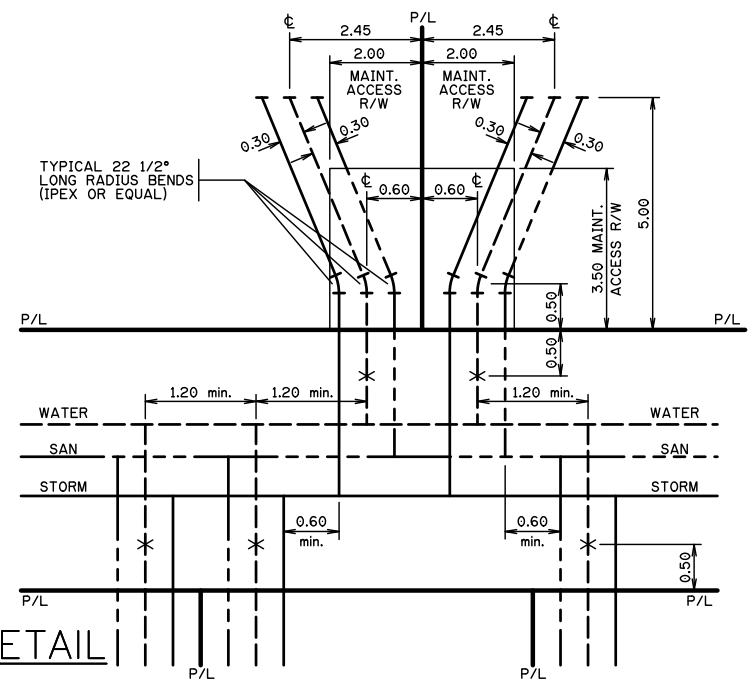


FENCE SECTION DETAIL

SCALE: NTS

NOTES:

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
 2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
 3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
 4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 15m.
 5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
 6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL

SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	12/03/26	DP SITEPLAN	D.L.	2211 29th AVENUE SW Calgary, Alberta	SEMI DETACHED	AS SHOWN
02.				Lots 35 & 36 Block 35		
03.				Plan 4479 P		
04.					DATE: MAR 12, 2026	DIVISION NUMBER: S 02

