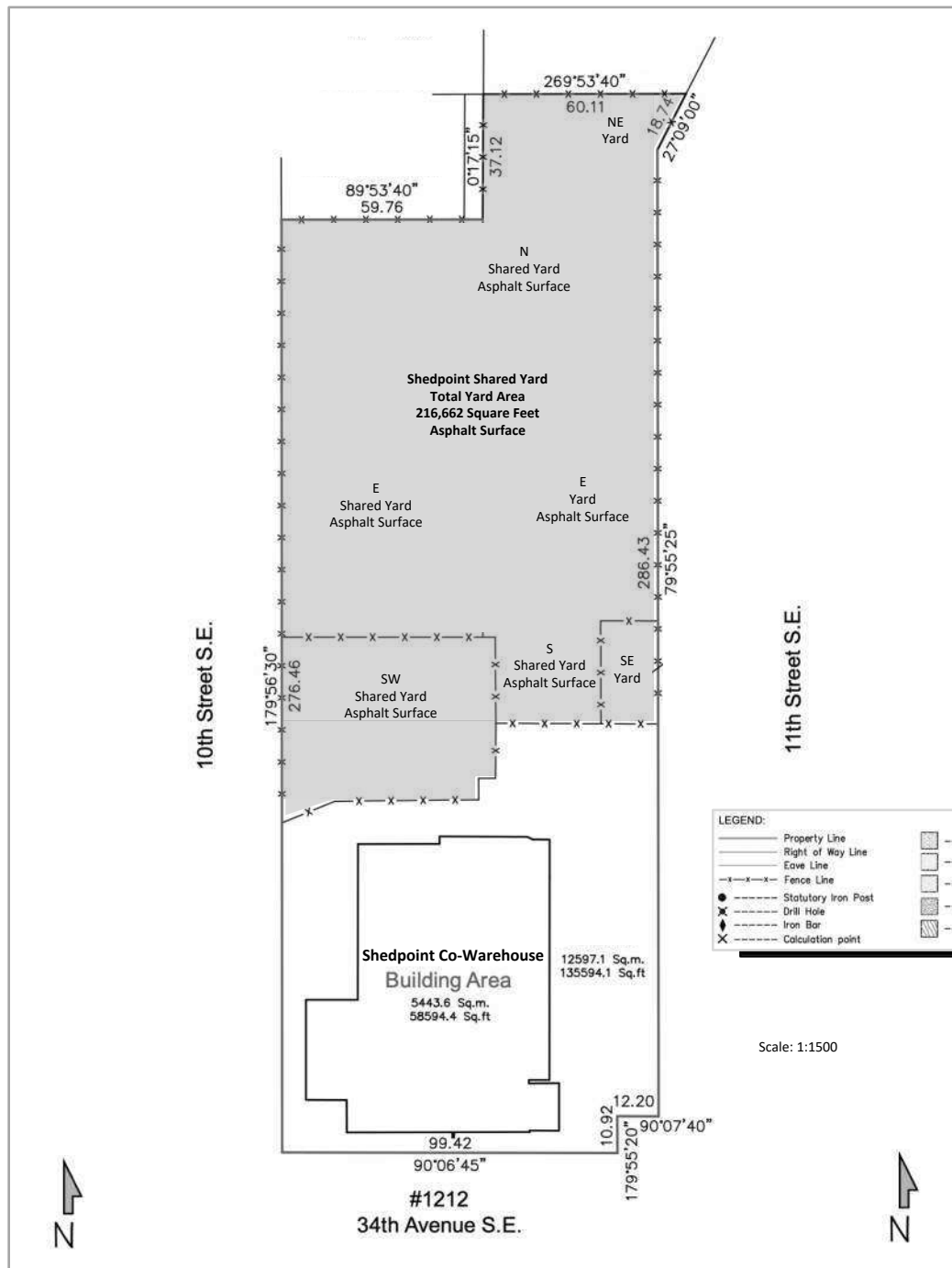




Development Permit Project Information

TENANTS: Industrial General (IG) –
Storage Yard, Vehicle Storage, and
Vehicle Rental – Minor

ADDRESS: 1212 34 Ave SE

LAND USE DISTRICT: Direct Control
District (DC)

PARKING STALLS: 76

BICYCLE STALLS: n/a

Existing Shared Yard Sub-tenants

SW Shard Yard

- 1 Sparks N Arcs
- 2 Erosion Control
- 3 Clean Up Crew
- 4 Hamlet Transport
- 5 Cheap Hauling

- 6 Anytime Bins
- 7 Cal-Waste

N Shared Yard

- 8 All Sold
- 9 Red Events
- 10 Banff To Do

NE Yard

- 11 Palmaz Landscaping
- 12 North Access Scaffolding

E Yard

- 13 MCC Waste

S Yard

- 14 Rocky Mountain Tours
- 15 Pak-N-Stor

TOTAL AREA 216,662 SF

SHEET 1



This drawing acts as an rendering for the industrial yard property of which Shedpoint operates within and its confirmed tenancy. Variations and modifications to the works may only be carried out with with written permission from Shedpoint Ventures.

Revisions:

1	April 23, 2026	More detailed added

Issued For:

1	04/23/26	Development Permit
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Seals/Signatures:

Municipal Address:

1212 34 AVE SE

Drawing Name:

**DEVELOPMENT PERMIT - SITE AREA
Shedpoint Shared Yard**

Draft: 04/15/26 **Checked:** 04/23/26

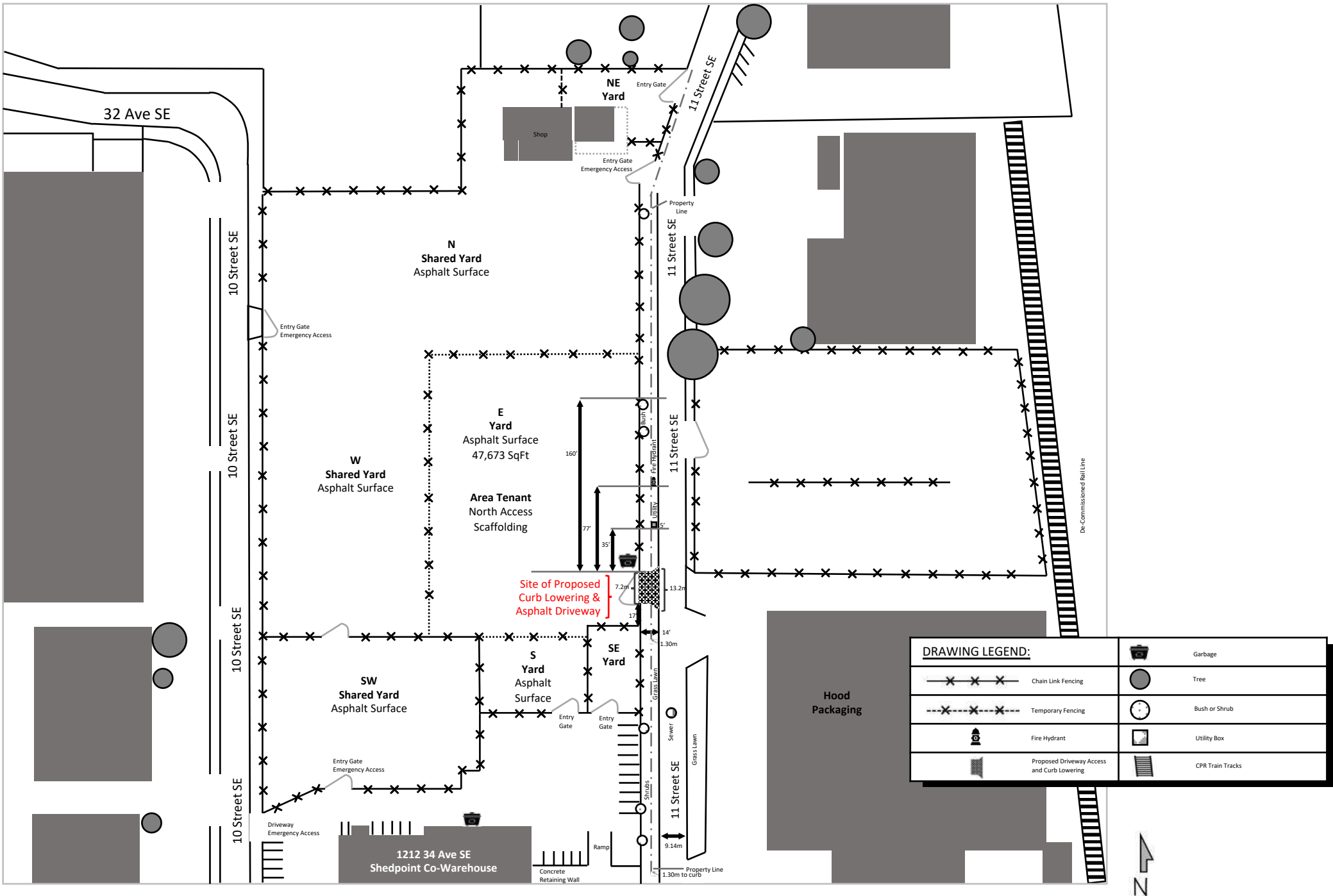
Date: 06/25/26

Sheet Subject

Property area highlighted in grey is the site area where the asphalt driveway and curb lowering is proposed.

Note

The proposed development will not require any changes to any of the on-site existing grades. No grade changes are required/proposed within the sites.



This drawing acts as an rendering for the industrial yard property of which Shedpoint operates within and its confirmed tenancy. Variations and modifications to the works may only be carried out with with written permission from Shedpoint Ventures.

Revisions:

1	April 15, 2026	Additional detail added
2	April 22, 2026	Additional detail added
3	June 25, 2026	Driveway size and access

Issued For:

1	04/23/26	Development Permit
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Seals/Signatures:

Municipal Address:

1212 34 AVE SE

Drawing Name:

DEVELOPMENT PERMIT - SITE PLAN
Asphalt Driveway / Curb Lowering Site

Draft: 04/15/26 Checked: 06/25/26

Date: 06/25/26

Sheet Subject

Layout and locations for curb lowering and asphalt driveway access into our East yard from 11 Street SE.

Note

The proposed development will not require any changes to any of the on-site existing grades. No grade changes are required/proposed within the sites.

Asphalt surface treatment is proposed.



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Revisions:

1	06/25/2026	Driveway size and access points

Issued For:

1	04/23/26	Development Permit
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Seals/Signatures:

Municipal Address:

1212 34 AVE SE

Drawing Name:

DEVELOPMENT PERMIT SITE PLAN
Vehicle Turning View

Draft: 04/22/26 Checked: 04/23/26

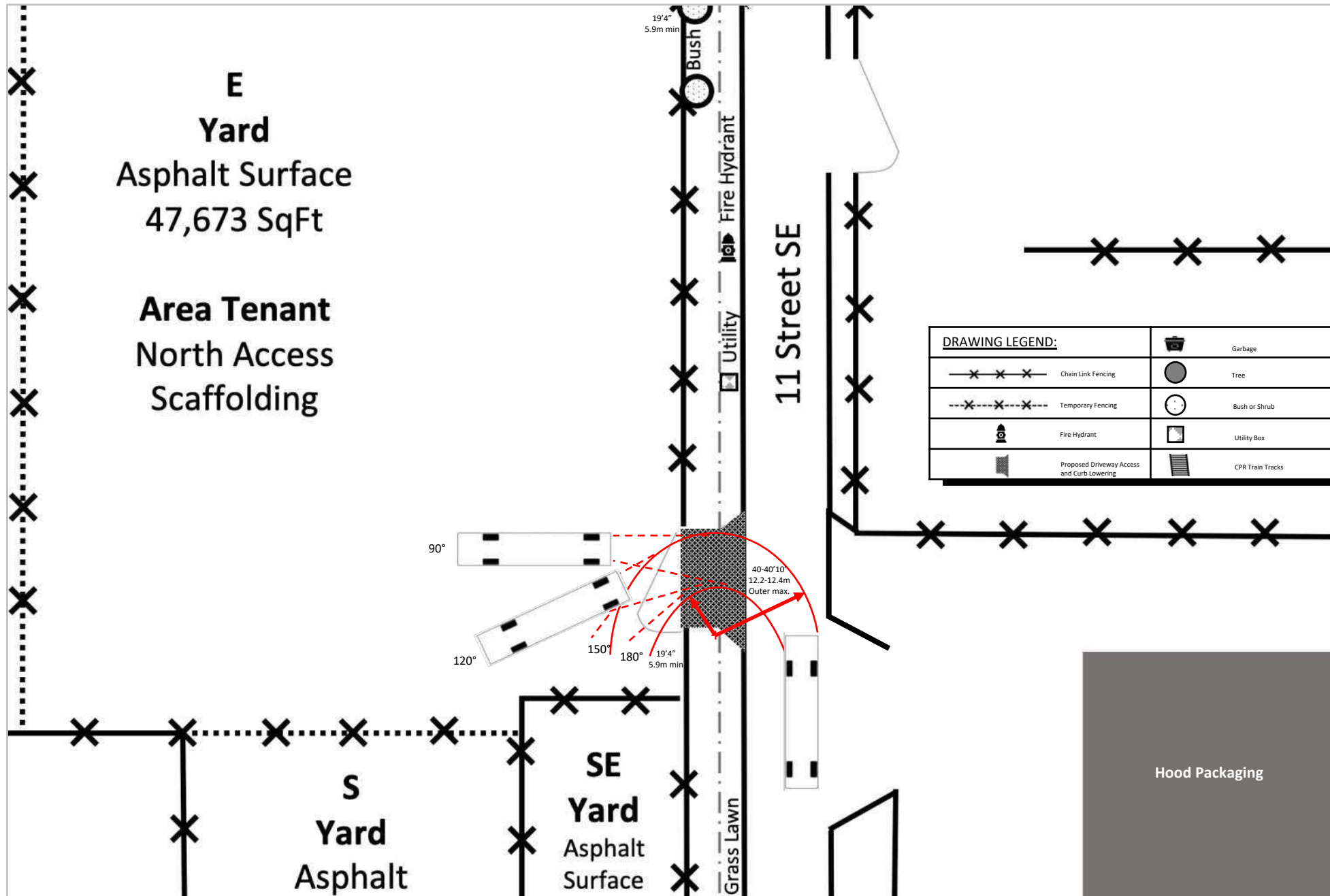
Date: 04/23/26

Sheet Subject

Turning path of a Truck measuring the minimum possible turning radius necessary for a vehicle to access the yard with a 40' (12.2 m) wheelbase.

Note

Measuring the inner and outer radii of the 180° turn, a minimum inner radius of 19'4" (5.9 m) and minimum outer radius between 40'-40'10" (12.2-12.4 m) should be provided for city and commercial truck access of this size.





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Revisions:

1	June 25, 2026	Driveway size and access

Issued For:

1	04/23/26	Development Permit
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Seals/Signatures:

Municipal Address:

1212 34 AVE SE

Drawing Name:

DEVELOPMENT PERMIT SITE PLAN
Vehicle Turning Template

Draft: 04/22/26 Checked: 06/25/26

Date: 06/25/26

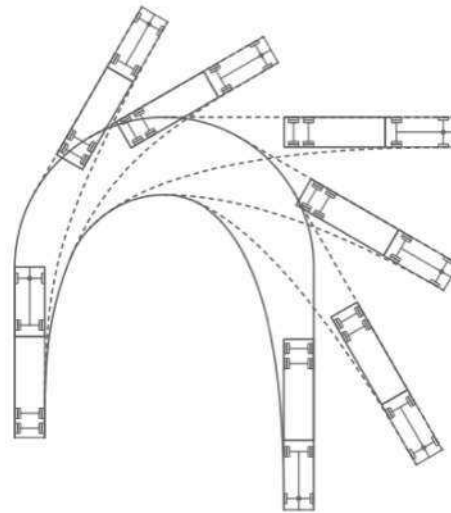
Sheet Subject

Turning path of a Truck measuring the minimum possible turning radius necessary for a vehicle to access the yard with a 40' (12.2 m) wheelbase.

Note

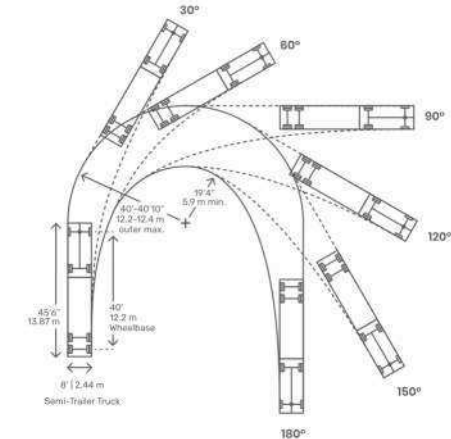
Measuring the inner and outer radii of the 180° turn, a minimum inner radius of 19'4" (5.9 m) and minimum outer radius between 40'-40'10" (12.2-12.4 m) should be provided for city and commercial truck access of this size.

Vehicle Turning Template
Proposed Driveway & Curb Lowering
Modelled for #1, #2, #3



Outer Radius: 40'-40'10" | 12.2-12.4 m
Inner Radius: 19'4" | 5.9 m

Vehicle Wheelbase: 40' | 12.2 m
Vehicle Length: 45'6" | 13.87 m
Vehicle Width: 8' | 2.44 m



E Yard
Asphalt Surface
47,673 SqFt

Area Tenant
North Access
Scaffolding

Property Line

13.5'
(4.11m)

Curb to Curb Width
31.92'

Road Width
30'
(9.14m)

90°

120°

150°

180°

23.62'
(7.20m)

43.31'
(13.20m)

19'4"
5.9m min

40-40'10"
12.2-12.4m
Outer max.

11 Street SE

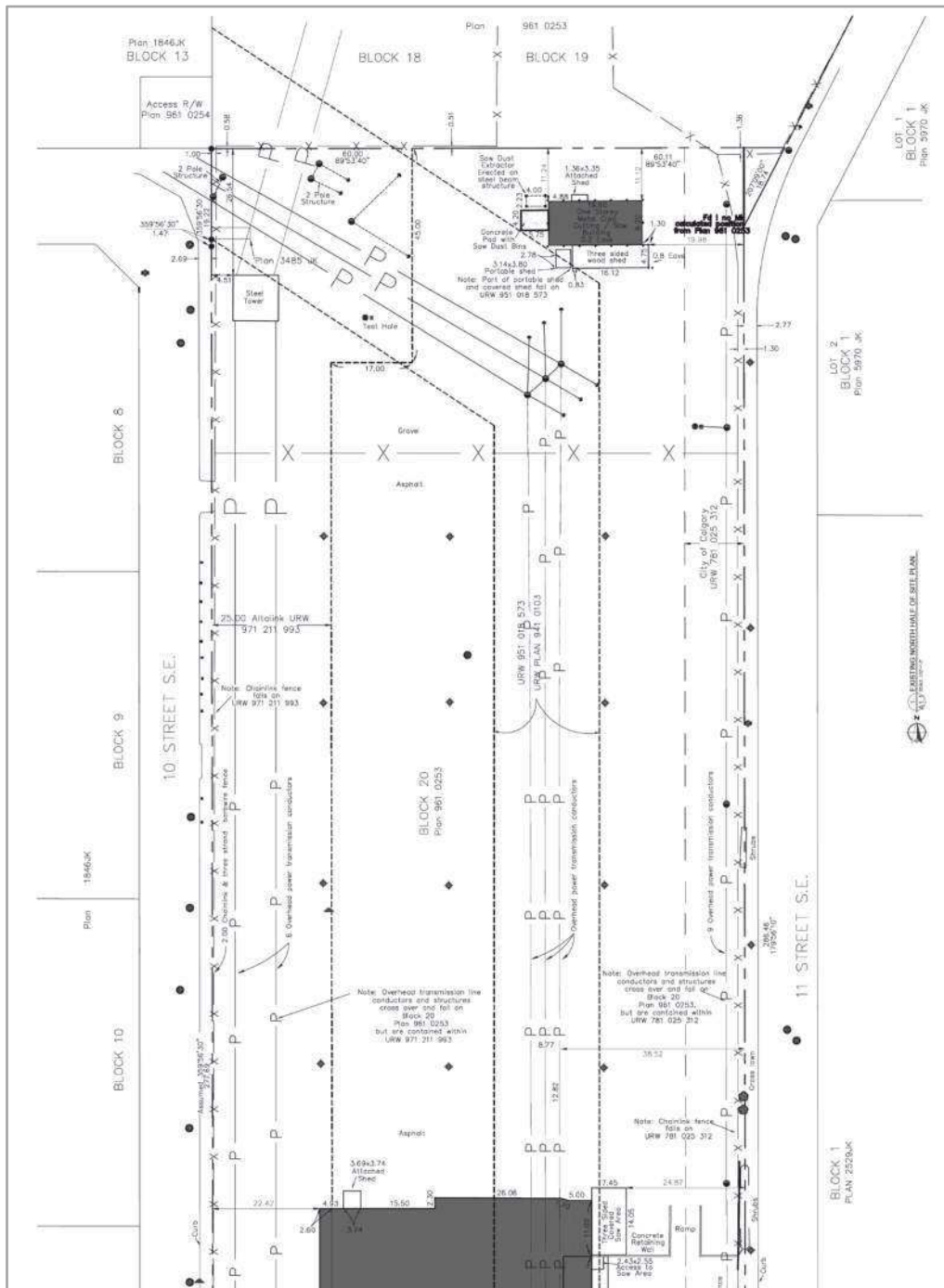
40'
12.2m

45'6"
13.87m

8' | 2.44m



Chain-Link
Fence



LEGEND:	
	Property Line
	Right of Way Line
	Eave Line
	Fence Line
	Statutory Iron Post
	Drill Hole
	Iron Bar
	Calculation point
	Main Building Hatch
	Detached Garage Hatch
	Shed Hatch
	Concrete and Asphalt Hatch
	Wood Hatch



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Revisions:

1	April 23, 2026	More detailed added

Issued For:

1	04/15/26	Development Permit
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Seals/Signatures:

Municipal Address:

1212 34 AVE SE

Drawing Name:

DEVELOPMENT PERMIT – SITE UTILITY
North side of property
Powerlines, Light Poles, Infrastructure

Draft: 05/03/23 Checked: 04/23/26

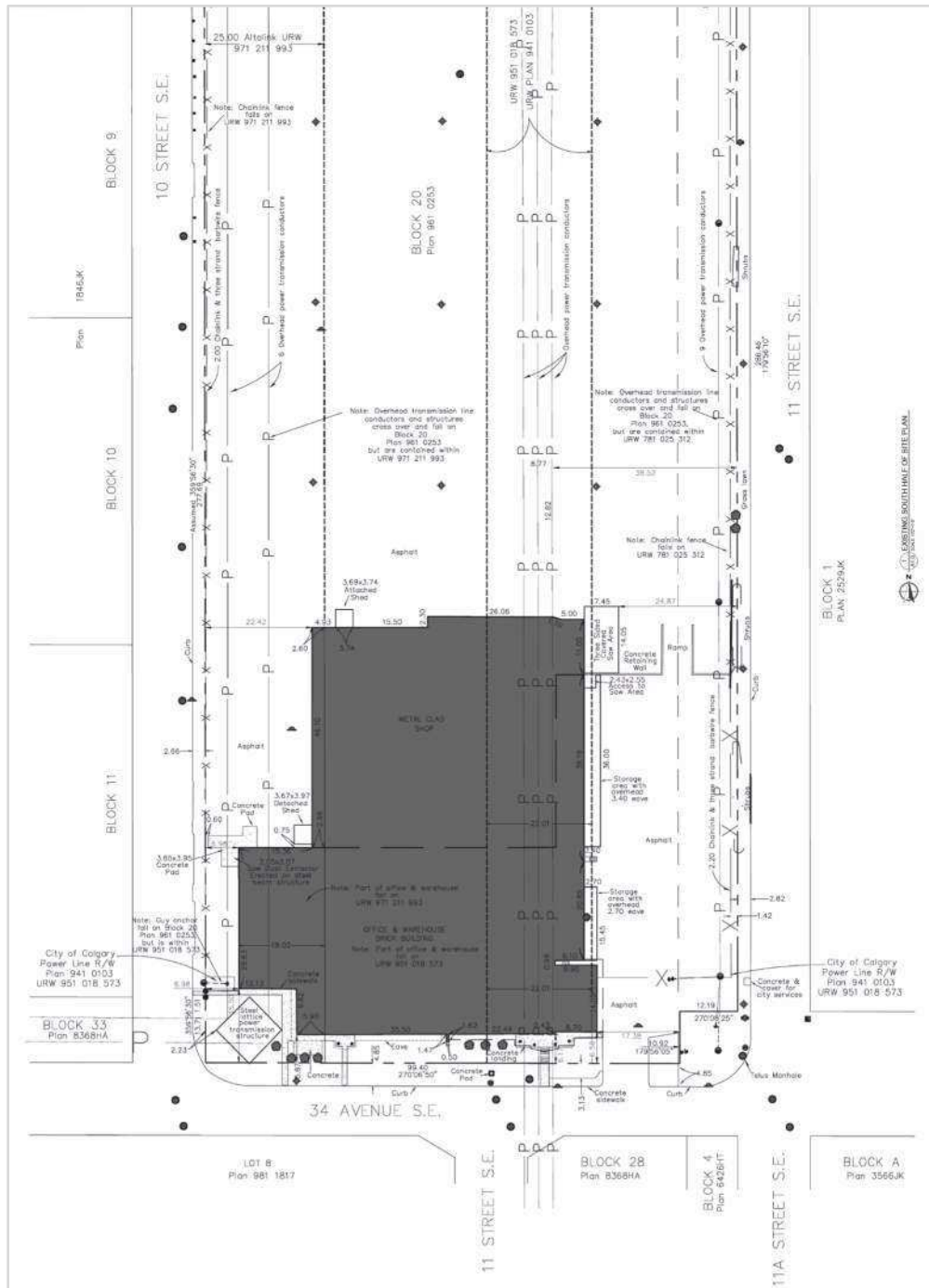
Date: 04/23/26

Sheet Subject

Utility and infrastructure shown.
Highlighted in grey are half of the warehouse in the south and a workshop in the north property area.

Note

The proposed development will not require any changes to any of the on-site existing grades. No grade changes are required/proposed within the sites.



LEGEND:

—	Property Line	-----	Main Building Hatch
—	Right of Way Line	-----	Detached Garage Hatch
—	Eave Line	-----	Shed Hatch
-X-X-	Fence Line	-----	Concrete and Asphalt Hatch
●	Statutory Iron Post	-----	Wood Hatch
⊗	Drill Hole		
◆	Iron Bar		
X	Calculation point		



This drawing acts as an rendering for the industrial yard property of which Shedpoint operates within and its confirmed tenancy. Variations and modifications to the works may only be carried out with with written permission from Shedpoint Ventures.

Revisions:		
1	April 23, 2026	More detail added

Issued For:		
1	04/23/26	Development Permit

Seals/Signatures:

Municipal Address:
1212 34 AVE SE

Drawing Name:
DEVELOPMENT PERMIT – SITE UTILITY
South side of property
Powerlines, Light Poles, Infrastructure

Draft: 05/03/23	Checked: 04/23/26
Date: 04/23/26	

Sheet Subject
Utility and infrastructure shown, along with the warehouse building area highlighted in grey

Note
The proposed development will not require any changes to any of the on-site existing grades. No grade changes are required/proposed within the sites.