



LIST OF DRAWINGS

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FLOOR AREA

BASEMENT	= 1517.75 SQ. FT.
MAIN	= 1527.75 SQ. FT.
UPPER	= 1527.75 SQ. FT.
TOTAL	= 3055.50 SQ. FT.

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	23/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-03-03 1:02:13 PM

PROJECT NAME:
2025 - 25th ST SW
CALGARY, ALBERTA

DESIGNER: JT	JOB #: #25-26
-----------------	------------------

SCALE: AS SHOWN	SHEET: A-0.0
--------------------	-----------------

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-03-03 1:02:16 PM

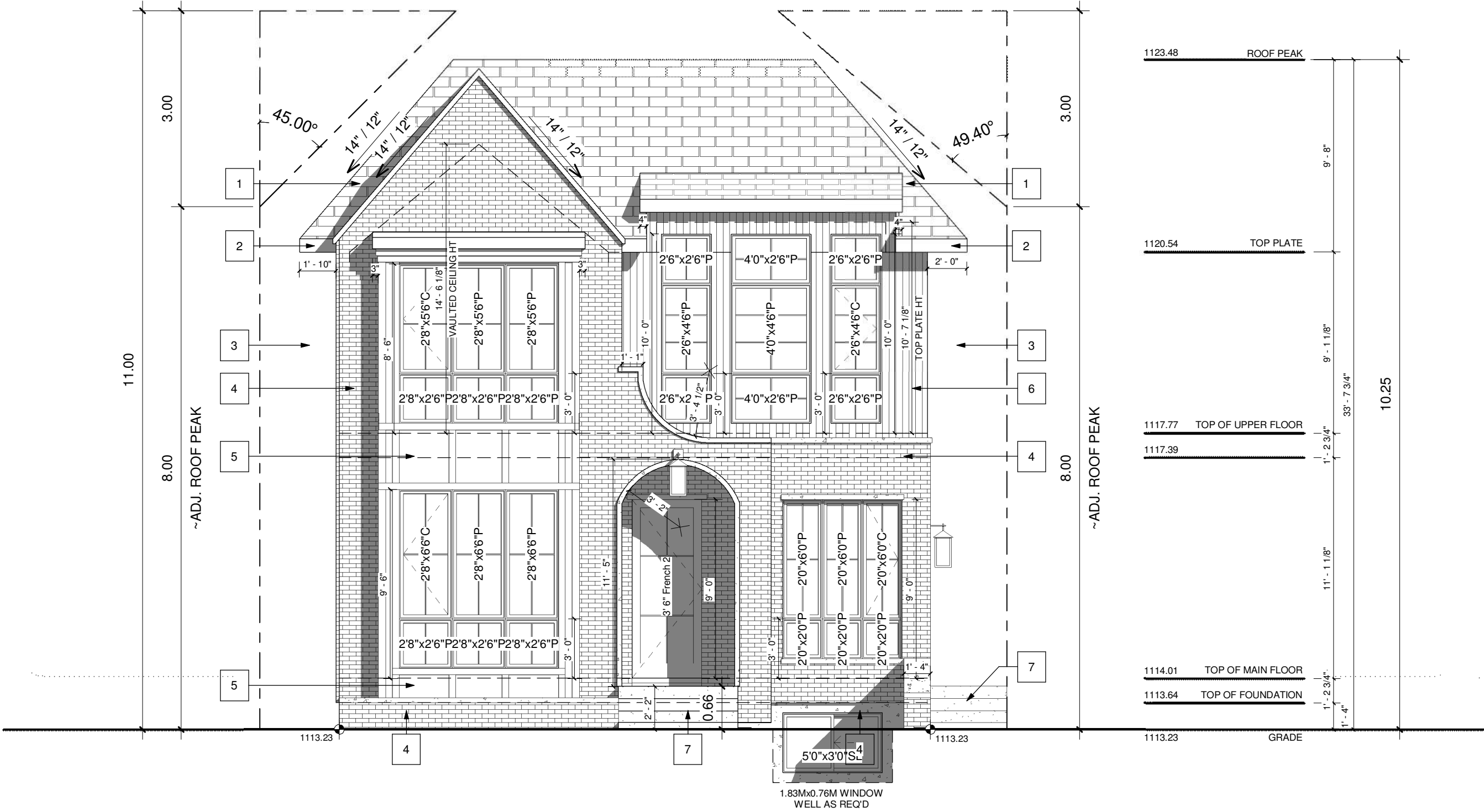
PROJECT NAME:
2025 - 25th ST SW
CALGARY, ALBERTA

DESIGNER: JT
JOB #: #25-26

SCALE: AS SHOWN
SHEET: A-2.0

FRONT ELEVATION

SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING

VENTED SOFFIT NOTES:

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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

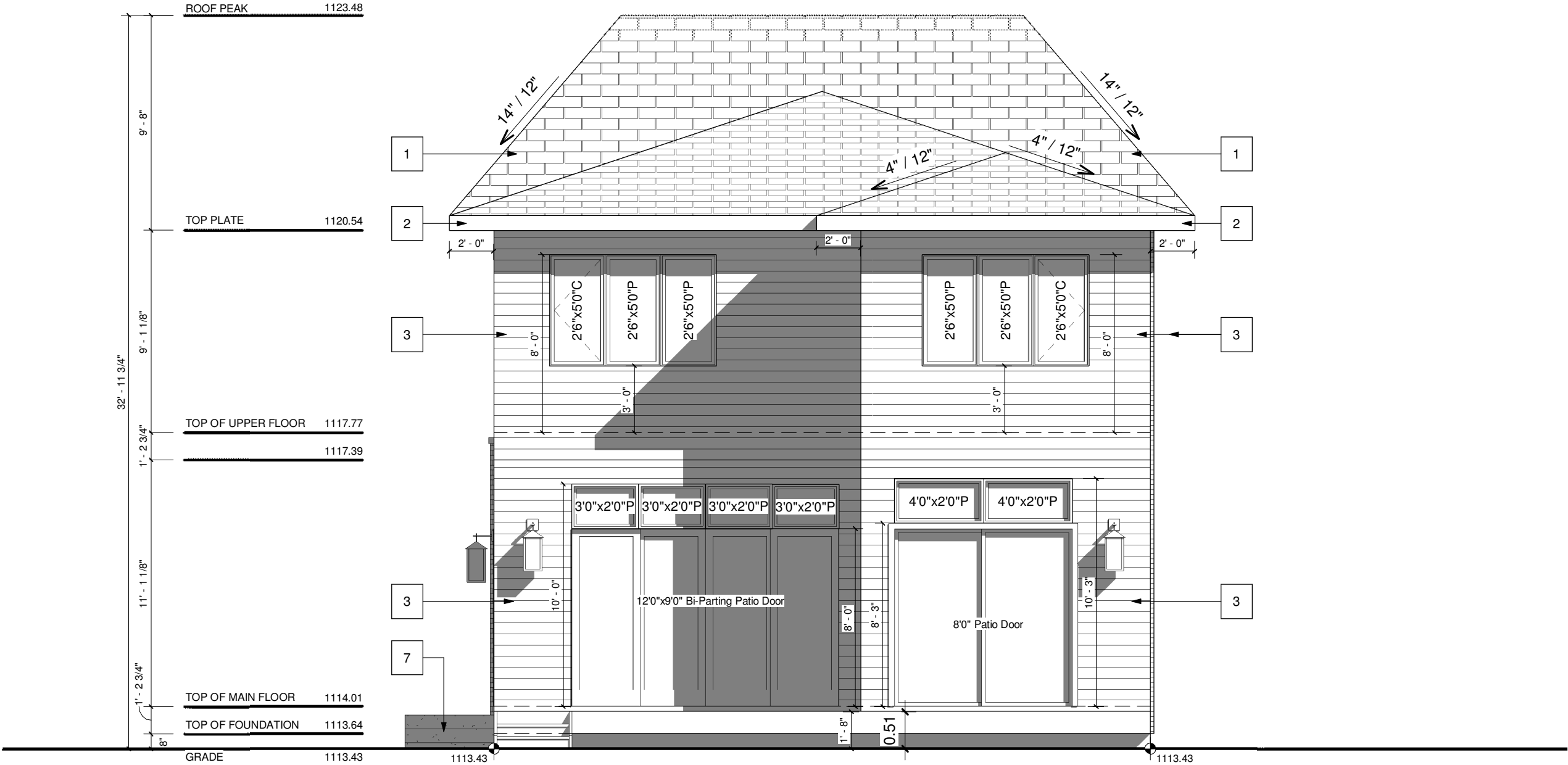
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PROJECT NAME:
2025 - 25th ST SW
CALGARY, ALBERTA

DESIGNER: JT
JOB #: #25-26

SCALE: AS SHOWN
SHEET: A-2.1

REAR ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING

WINDOW CALCULATION

WALL AREA = 1308.29 SQ. FT.
WINDOW AREA = 52.45 SQ. FT.
TOTAL: 52.45/1308.29 = 4.0%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



PROJECT NOTES:

LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-03-03 1:02:17 PM



PROJECT NAME:

2025 - 25th ST SW
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

#25-26

SCALE:

AS SHOWN

SHEET:

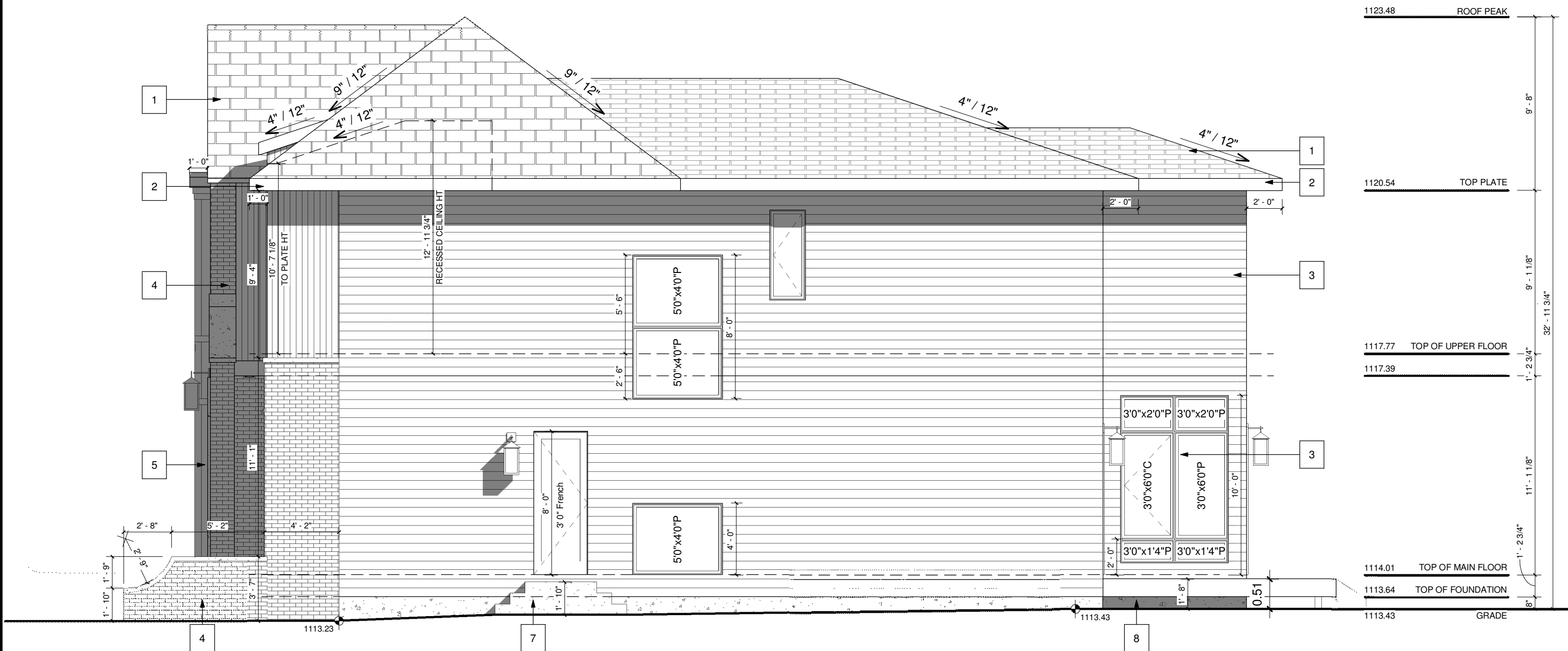
A-2.2

1	ASPHALT SHINGLES	4	BRICK CLADDING - WHITE	7	CAST-IN PLACE CONCRETE
2	8" ALUMINUM FASCIA / EAVES	5	BOARD & BATTEN - BLACK/DARK GREY	8	CONCRETE PARGING
3	HARDIE FINISH - BLACK	6	VERTICAL HARDIE FINISH - BLACK		

WALL AREA = 1085.81 SQ. FT.
WINDOW AREA = 61.85 SQ. FT.
 TOTAL: $61.85/1085.81 = 5.70\%$

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m

(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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A-2.3

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
- (SOFFIT ARE PRE-FIN ALUM)

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PROJECT:
NEW HOME

STATUS: -

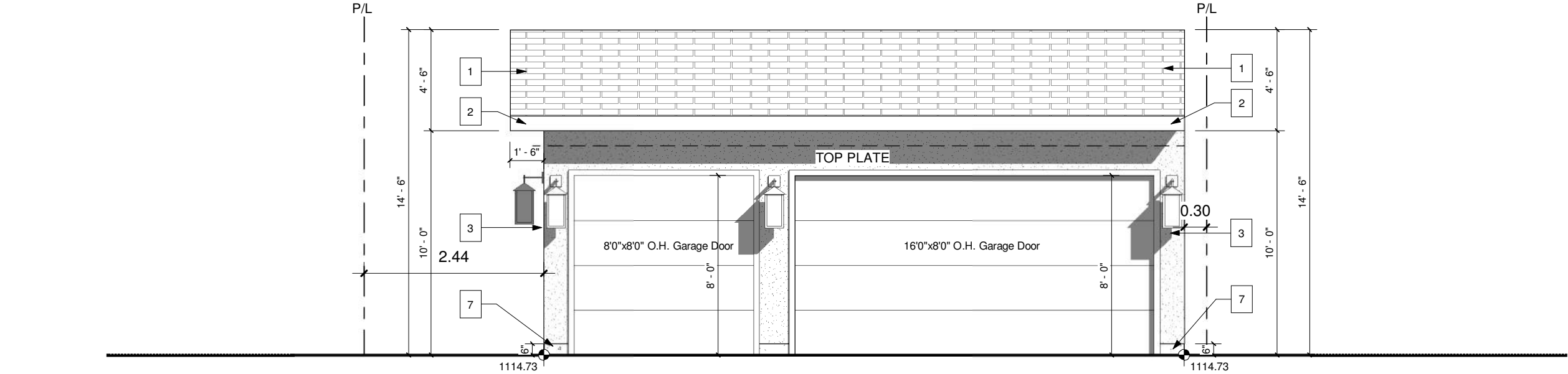
SIGNATURES:
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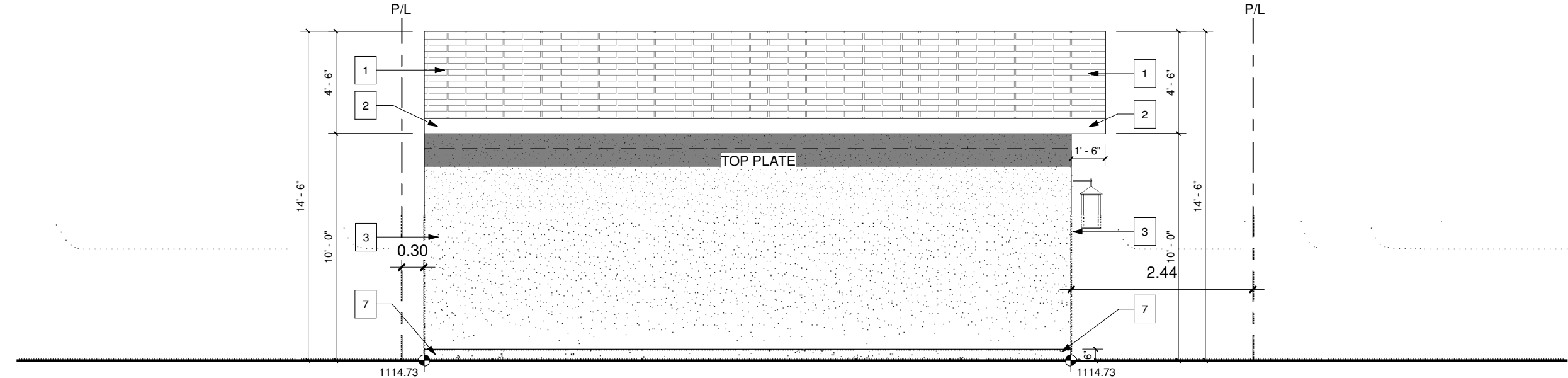
PROJECT NAME:
2025 - 25th ST SW
CALGARY, ALBERTA

DESIGNER: JT
JOB #: #25-26

SCALE: AS SHOWN
SHEET: A-4.1



GARAGE FRONT ELEVATION (LANE)
SCALE: 3/16" = 1'-0"



GARAGE REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

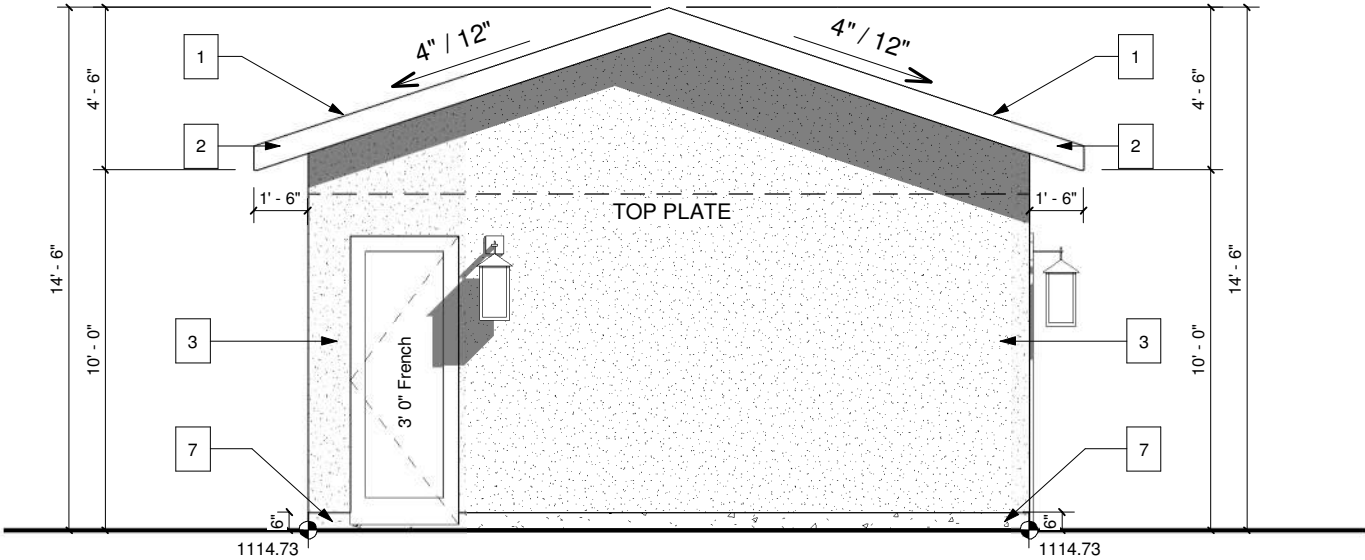
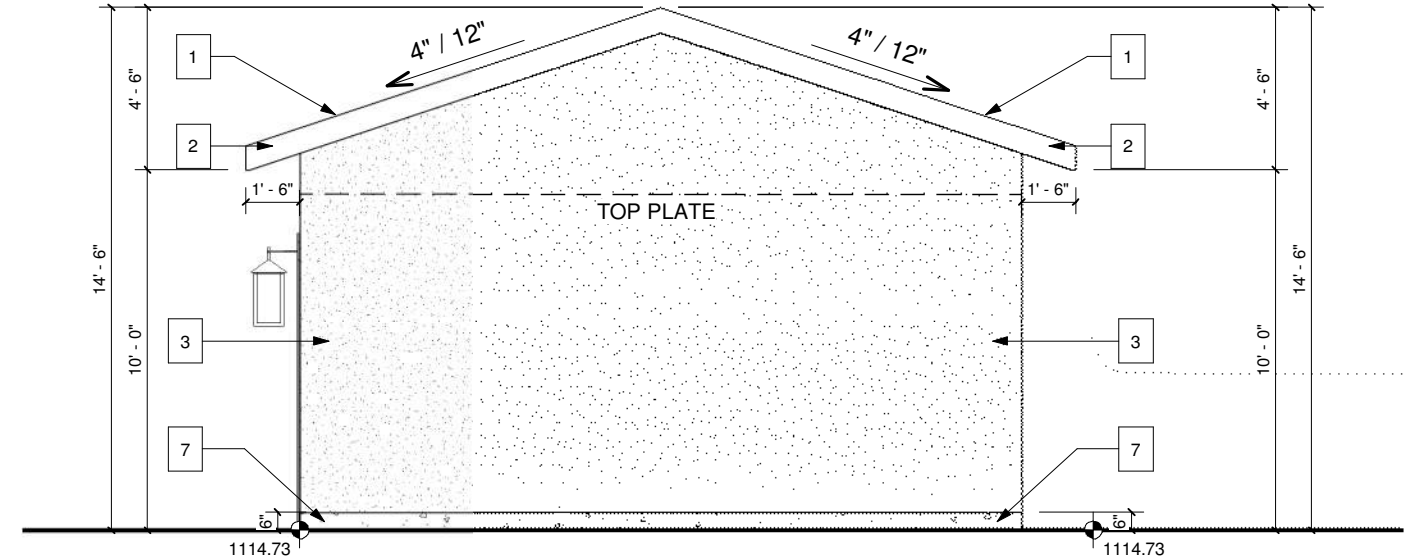
VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING

VENTED SOFFIT NOTES:

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- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
- (SOFFIT ARE PRE-FIN ALUM)



GARAGE RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

GARAGE LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-03-03 1:02:19 PM



PROJECT NAME:

2025 - 25th ST SW
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

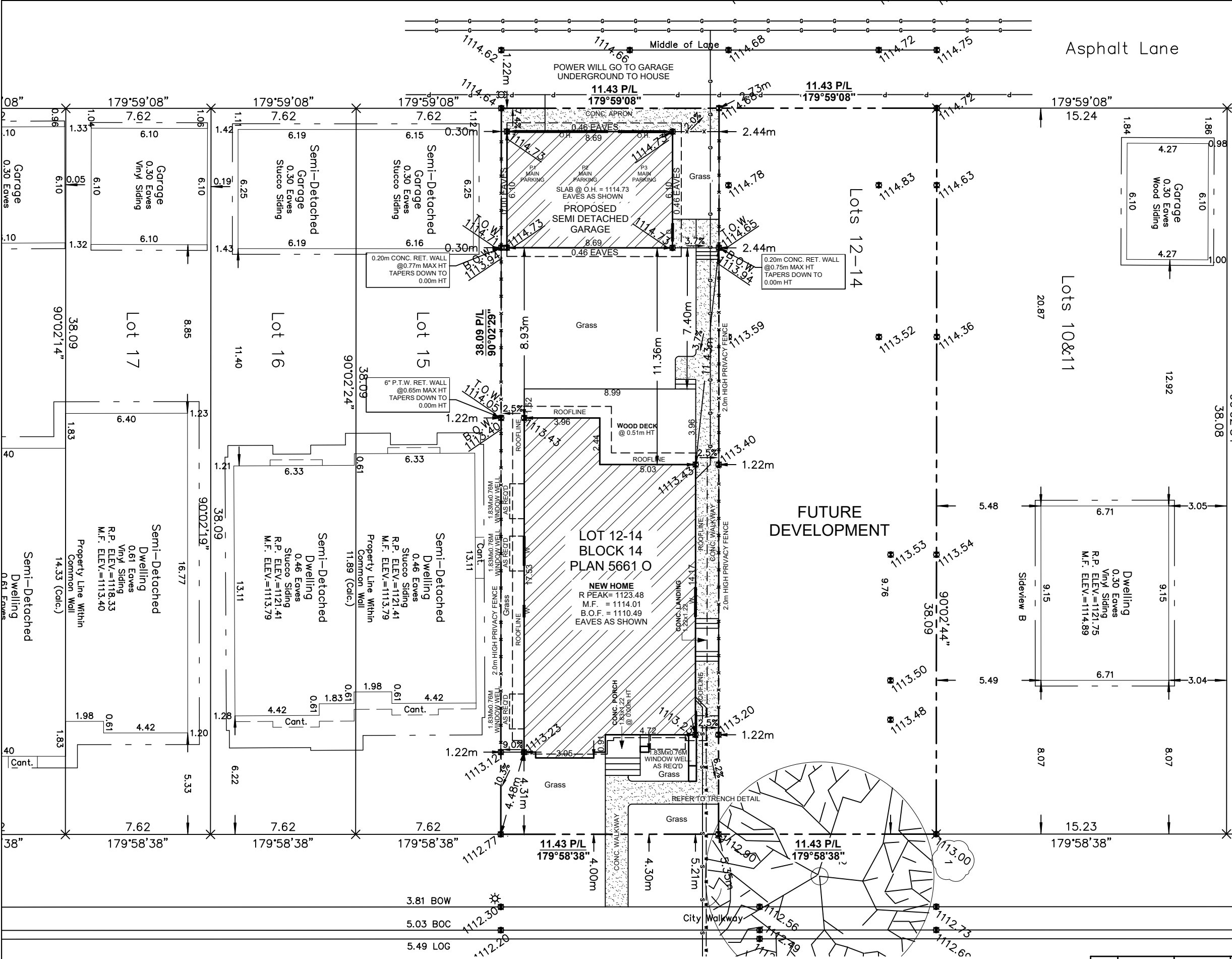
#25-26

SCALE:

AS SHOWN

SHEET:

A-4.2



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: 30Z91
DC – DIRECT CONTROL

SCALE 1:200

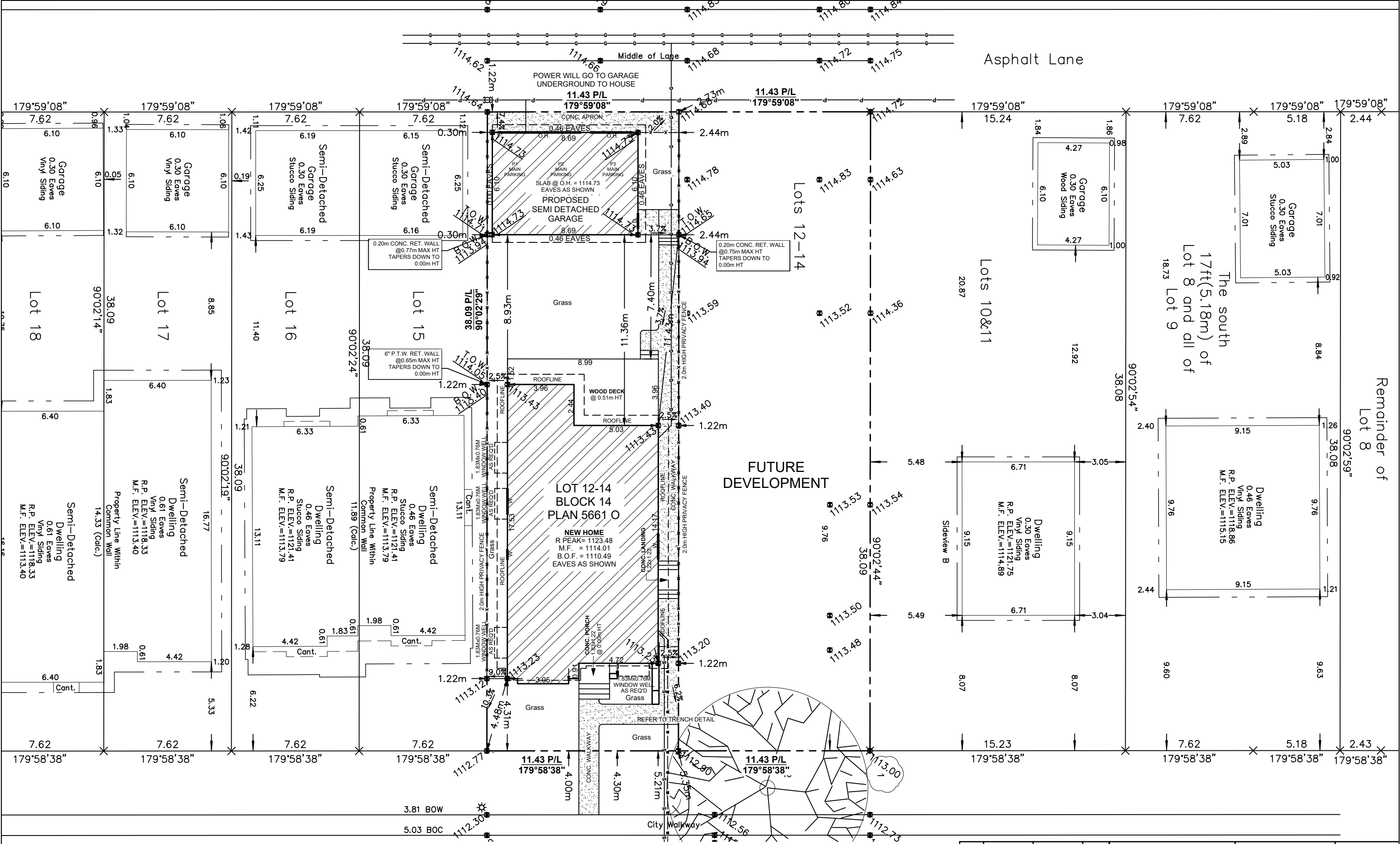
LEGAL DESCRIPTION:
Lots 12-14
Block 14
Plan 5661 O

MUNICIPAL ADDRESS:
2025 25 STREET S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 434.981 SQ M
HOUSE SIZE: 141.933 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 0.000 SQ M
WING WALL: 0.139 SQ M
GARAGE: 52.955 SQ M
TOTAL: 195.027/434.981
= 44.83%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	24/02/2026	DP SITEPLAN	D.L.	2025 25 STREET S.W. Calgary, Alberta	NEW HOME	1: 200
02.				Lots 12-14 Block 14 Plan 5661 O	DATE: FEB. 24, 2026	DIVISION NUMBER: S 01
03.						
04.						

SITE PLAN
SCALE: 1:200



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	24/02/2026	DP SITEPLAN	D.L.	2025 25 STREET S.W. Calgary, Alberta	NEW HOME	1: 200
02.				Lots 12-14 Block 14 Plan 5661 O	DATE:	DIVISION NUMBER
03.					FEB. 24, 2026	S 03
04.						