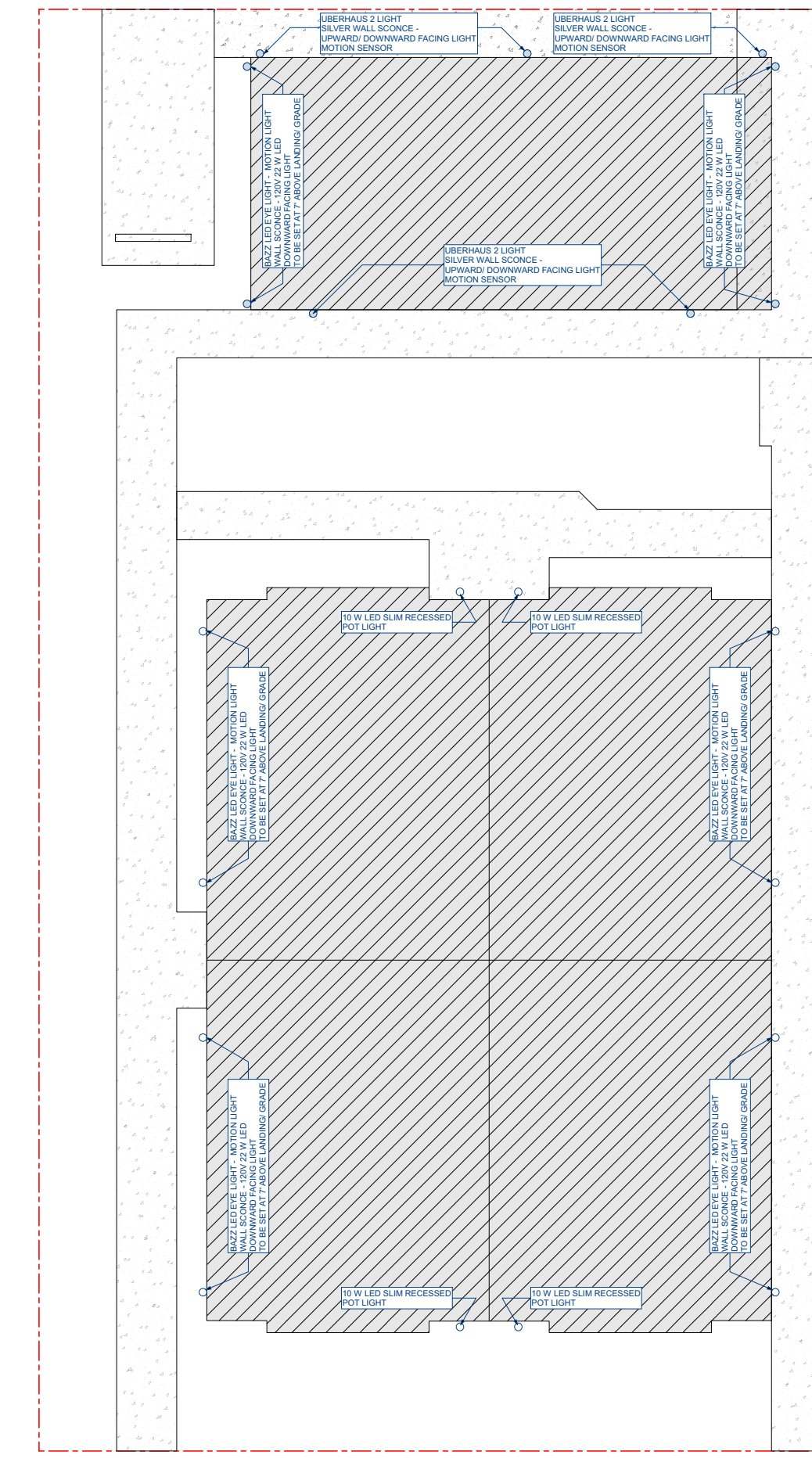
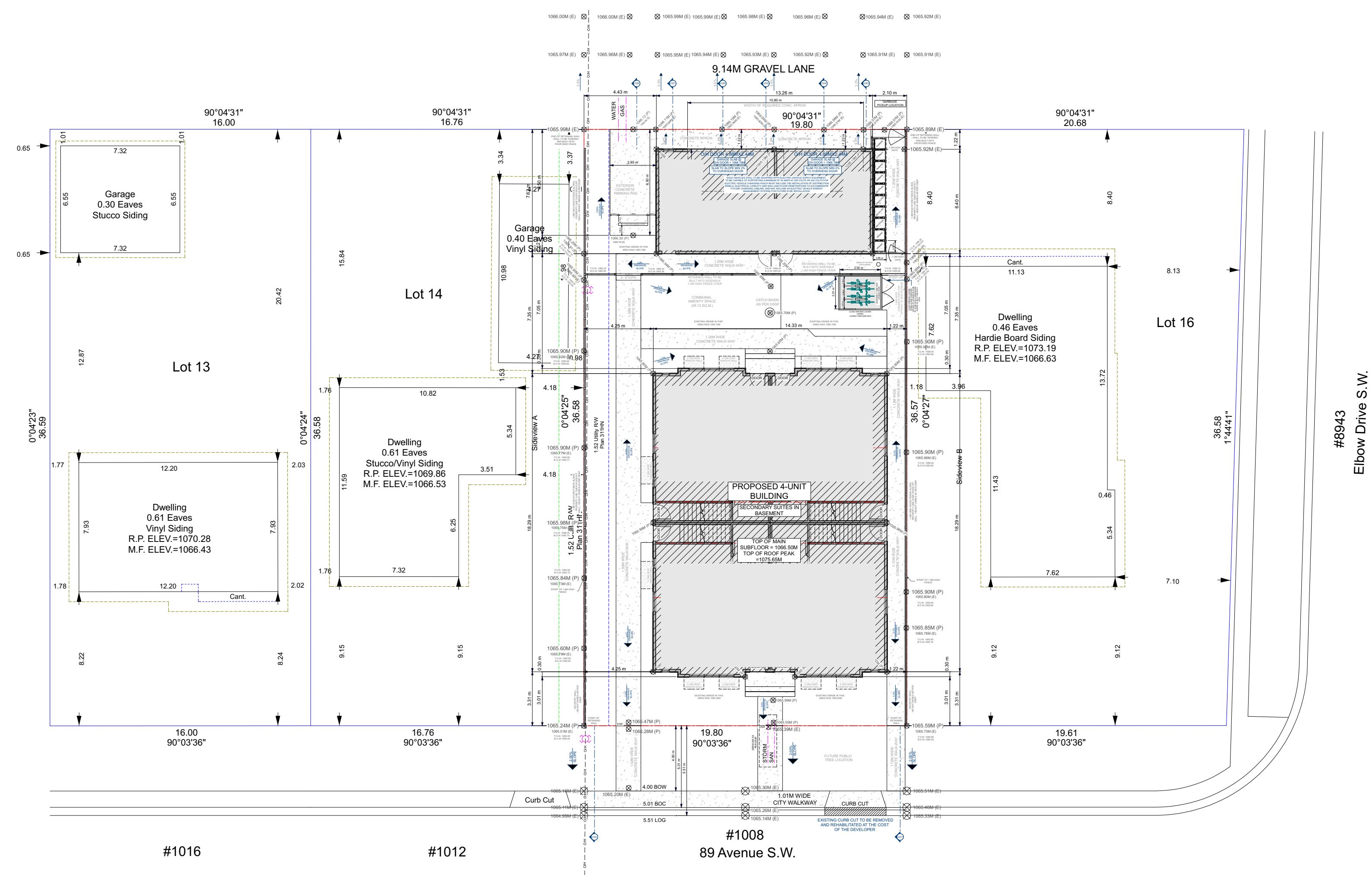


**1**  
**A1** **STREETSCAPE**  
SCALE = 1:200

**2**  
**A1** **ADJACENT BUILDING SIDE VIEWS**  
SCALE = 1:200



**3**  
**A1** **BLOCK PLAN**  
SCALE = 1:200

**4**  
**A1** **SITE LIGHTING PLAN**  
SCALE = 1:150

**MISCELLANEOUS NOTES:**  
**PROFESSIONAL INVOLVEMENT**  
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**5 UNIT DEVELOPMENT WITH SECONDARY SUITES**

**PROJECT:**  
5 UNIT DEVELOPMENT WITH SECONDARY SUITE

**PROJECT ADDRESS:**  
1008 89 AVENUE SW  
CALGARY, ALBERTA  
LOT 15  
BLOCK 12  
PLAN 311HN

**SHEET TITLE:**  
**BLOCK PLAN & STREETSCAPE & LIGHTING PLAN**

**DRAWING DATE:**  
4/1/2026

**SCALE:** AS NOTED  
**DRAWN BY:** IAN  
**FILE #:** PLP 2025-056

**SHEET:**  
**A1**

E: sales@kamdhillonRE.com  
C: 403-970-8811  
O: 403-294-1500 (24/7)  
#100, 707 10th Ave SW, Calgary

**MISCELLANEOUS NOTES:**  
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## 5 UNIT DEVELOPMENT WITH SECONDARY SUITES

**PROJECT:**  
5 UNIT DEVELOPMENT WITH SECONDARY SUITE

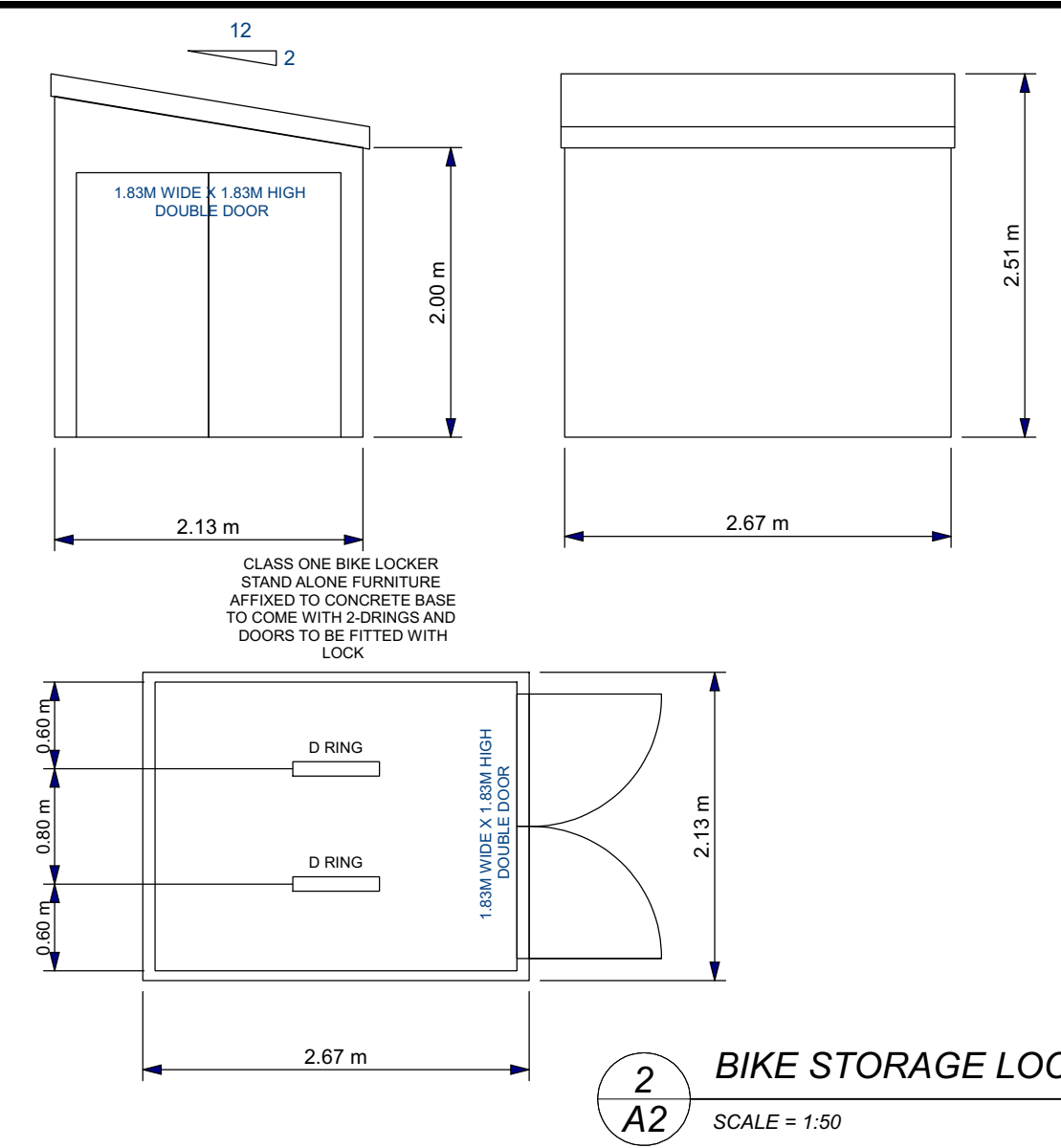
**PROJECT ADDRESS:**  
1008 89 AVENUE SW  
CALGARY, ALBERTA  
LOT 15  
BLOCK 12  
PLAN 311HN

**SHEET TITLE:**  
SITE PLAN /  
LANDSCAPE PLAN

**DRAWING DATE:**  
4/1/2026  
**SCALE:** AS NOTED  
**DRAWN BY:** IAN  
**FILE #:** PLP 2025-056

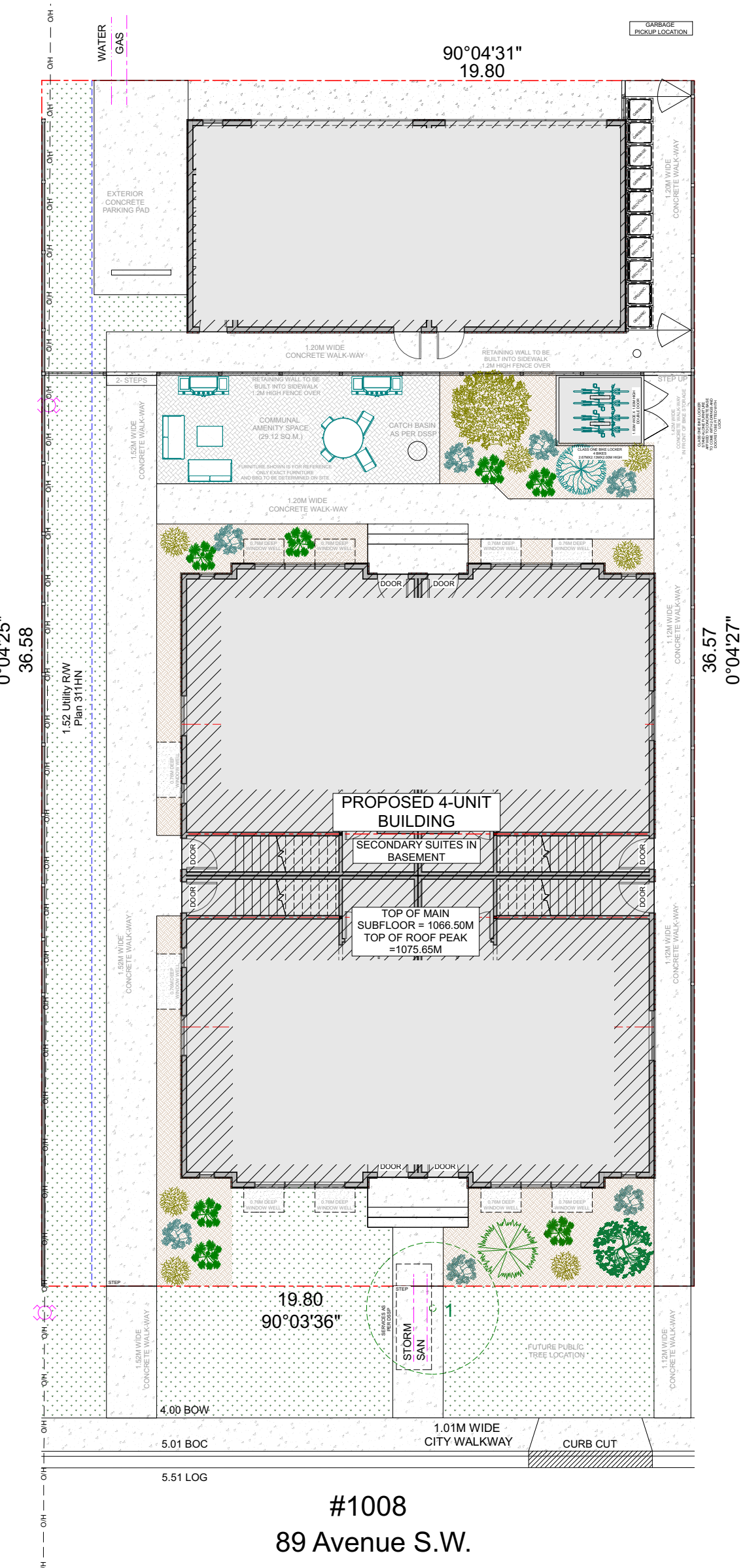
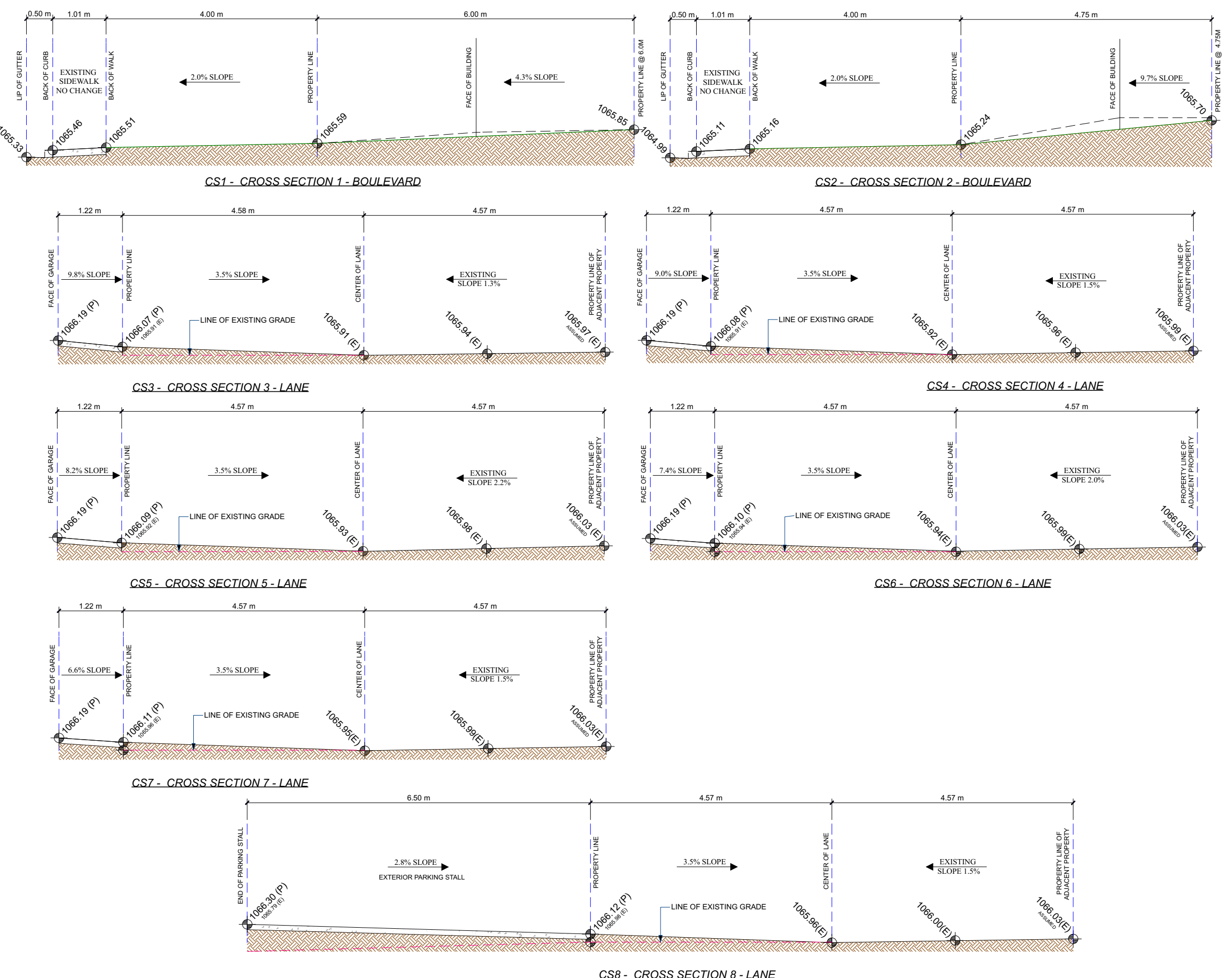
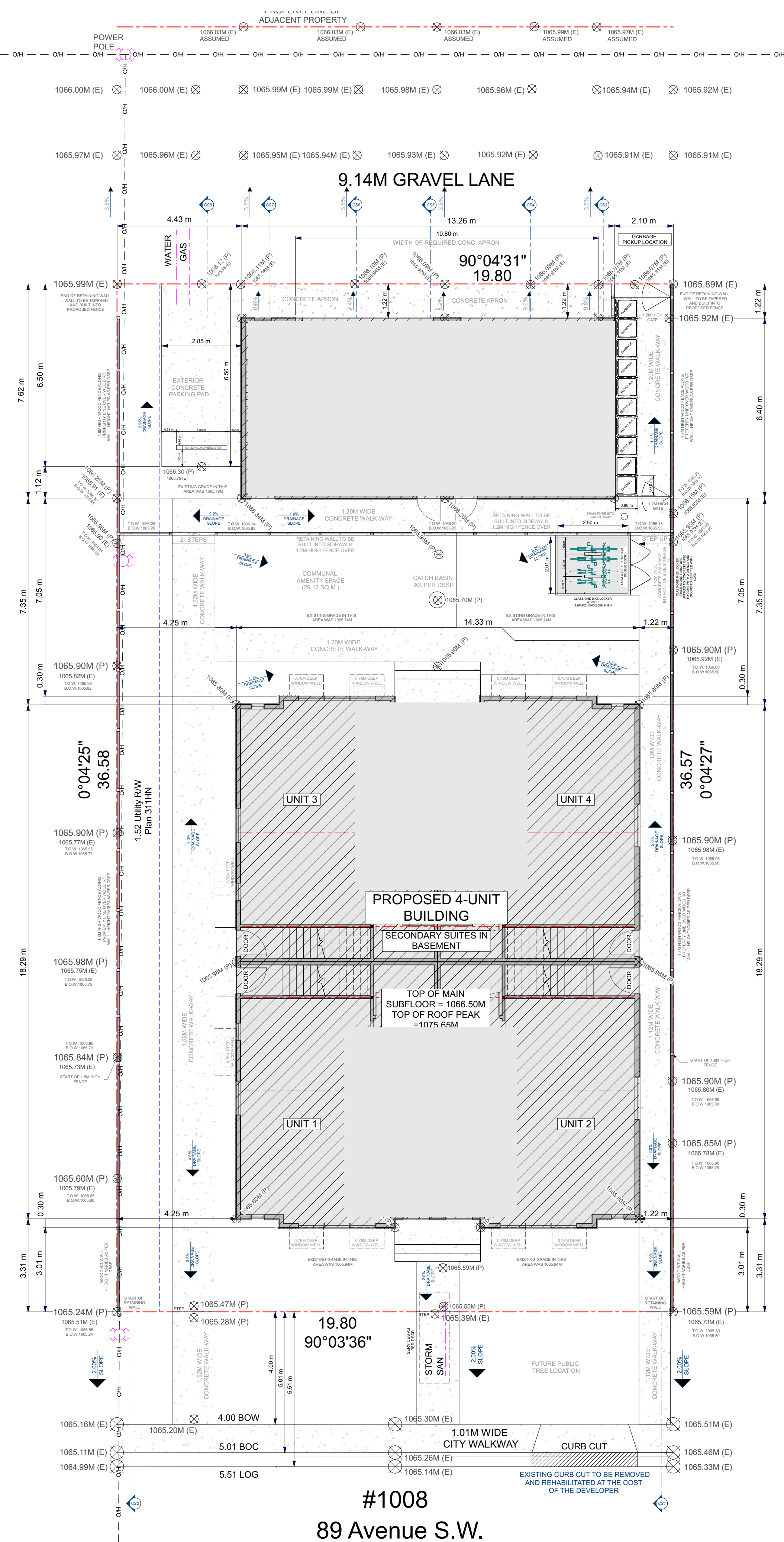
**SHEET:**  
**A2**

PROJECT INFORMATION		SITE INFORMATION		SITE INFORMATION	
MUNICIPAL ADDRESS: 1008 89 AVENUE SW, CALGARY, AB		COVERAGE: LOT AREA: 724.09 SQ.M. MAXIMUM COVERAGE: 434.45 SQ.M.		GROSS FLOOR AREA: ALL AREAS ARE RESIDENTIAL MAIN FLOOR: 206.82 SQ.M. SECOND FLOOR: 351.69 SQ.M. THIRD FLOOR: N/A	
LEGAL DESCRIPTION: LOTS - 15 BLOCK - 12 PLAN - 311HN ZONING / COMMUNITY: H-GO HOUSING - GRADE-ORIENTED HAYSBORO		PROPOSED BUILDING FOOTPRINT: 266.82 SQ.M. PROPOSED GARAGE FOOTPRINT: 34.87 SQ.M.		TOTAL GROSS FLOOR AREA (GFA): 618.51 SQ.M. FLOOR AREA RATIO (FAR): 0.85FAR MAX FAR = 1.50 FAR	
CLIENT: KAM DHILLON REAL ESTATE		TOTAL COVERAGE: 351.69 SQ.M. % OF LOT COVERED: 48.6%		ENCLOSED UNIT PARKING STALLS: 4 OUTDOOR PARKING STALLS: 1 TOTAL PARKING STALLS: 5	
		DENSITY: NUMBER OF UNITS: 5 + 4 SECONDARY SUITES PROPOSED UNITS PER HECTARE: 69		PARKING	
LANDSCAPE INFORMATION:			LANDSCAPE INFORMATION		
TREE:	SIZE:	QTY:	LOT AREA = 724.09 SQ.M. MAX LOT COVERAGE = 434.45 SQ.M. PROPOSED LOT COVERAGE = 351.69 SQ.M.		
BRISTLECONE PINE (PINUS ARISTATA)	2.0M HEIGHT	1	BUILDING COVERAGE = 351.69 SQ.M. WINDOW WELLS = 10.00 SQ.M. CONCRETE APRON = 16.00 SQ.M. LOCKER FOOTPRINT = 5.69 SQ.M.		
COLUMNAR SPRUCE (PICEA PUNGENS FASTIGATA)	4.0M HEIGHT	1	RETAINING WALLS = 9.29 SQ.M. WASTE STORAGE AREA = 5.57 SQ.M. EXTERIOR PARKING SPACE = 18.60 SQ.M. TOTAL COVERED AREA = 416.84 SQ.M.		
USSURIAN PEAR (PYRUS USSURIENSIS)	85mm	1	TOTAL LANDSCAPE AREA = 307.25 SQ.M.		
PIN CHERRY (PRUNUS PENNSYLVANICA)	85mm	1			
SHRUB:	SIZE:	QTY:	NOTE: IRRIGATION IS TO BE AUTOMATIC UNDERGROUND SPRINKLER SYSTEM - SPRINKLERS TO BE CONFINED TO TALL SOFT LANDSCAPED AREAS ONLY AS PER LUB		
CARPET JUNIPER (JUNIPERUS SABINA MONNA)	0.6M	7	NOTE: MIN. 300MM OF TOP SOIL REQ. IN ALL SOFT LANDSCAPE AREAS		
BEARBERRY (ARCTOSTAPHYLOS UVA-URSI)	0.6M	7	NOTE: ALL SOIL TO BE A DROUGHT TOLERANT SPECIES		
BLACK LACE ELDERBERRY (SAMBUCUS NIGRA "EVA")	0.6M	7			
GROUND COVERS:					
ITEM:	HARD/SOFT	AREA			
SODDED AREA	SOFT	80.50 SQ.M.			
MULCH	SOFT	63.17 SQ.M.			
CONCRETE BROOM FINISH	HARD	134.46 SQ.M.			
LANDING & STAIRS WOOD	HARD	N/A			
AMENITY SPACE STAMPED CONCRETE	HARD	29.12 SQ.M.			
DECORATIVE STONE	HARD	N/A			



2 BIKE STORAGE LOCKER  
SCALE = 1:50

Tree	Type	Ø	Spread	Height	Location	Retain/Remove
1	Deciduous	0.10	4.00	3.50	In City Property	Retain
2	Coniferous	0.45	4.00	12.00	In Subject Property	Remove
3	Bush	---	2.00	2.00	In Subject Property	Remove
4	Coniferous	0.45	4.00	12.00	In Subject Property	Remove
5	Deciduous	0.10	2.00	6.00	In Subject Property	Remove
6	Bush	---	---	1.50	In Subject Property	Remove



1 SITE PLAN  
SCALE = 1:100

**GRADE LEGEND:**  
EXISTING GRADE = 1000.00 (E)  
PROPOSED GRADE = 1000.00 (P)

2 SITE CROSS SECTIONS  
SCALE = 1:75

3 LANDSCAPE PLAN  
SCALE = 1:150

#1008  
89 Avenue S.W.

#1008  
89 Avenue S.W.

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**5 UNIT DEVELOPMENT WITH SECONDARY SUITES**

**PROJECT:**  
5 UNIT DEVELOPMENT WITH SECONDARY SUITE

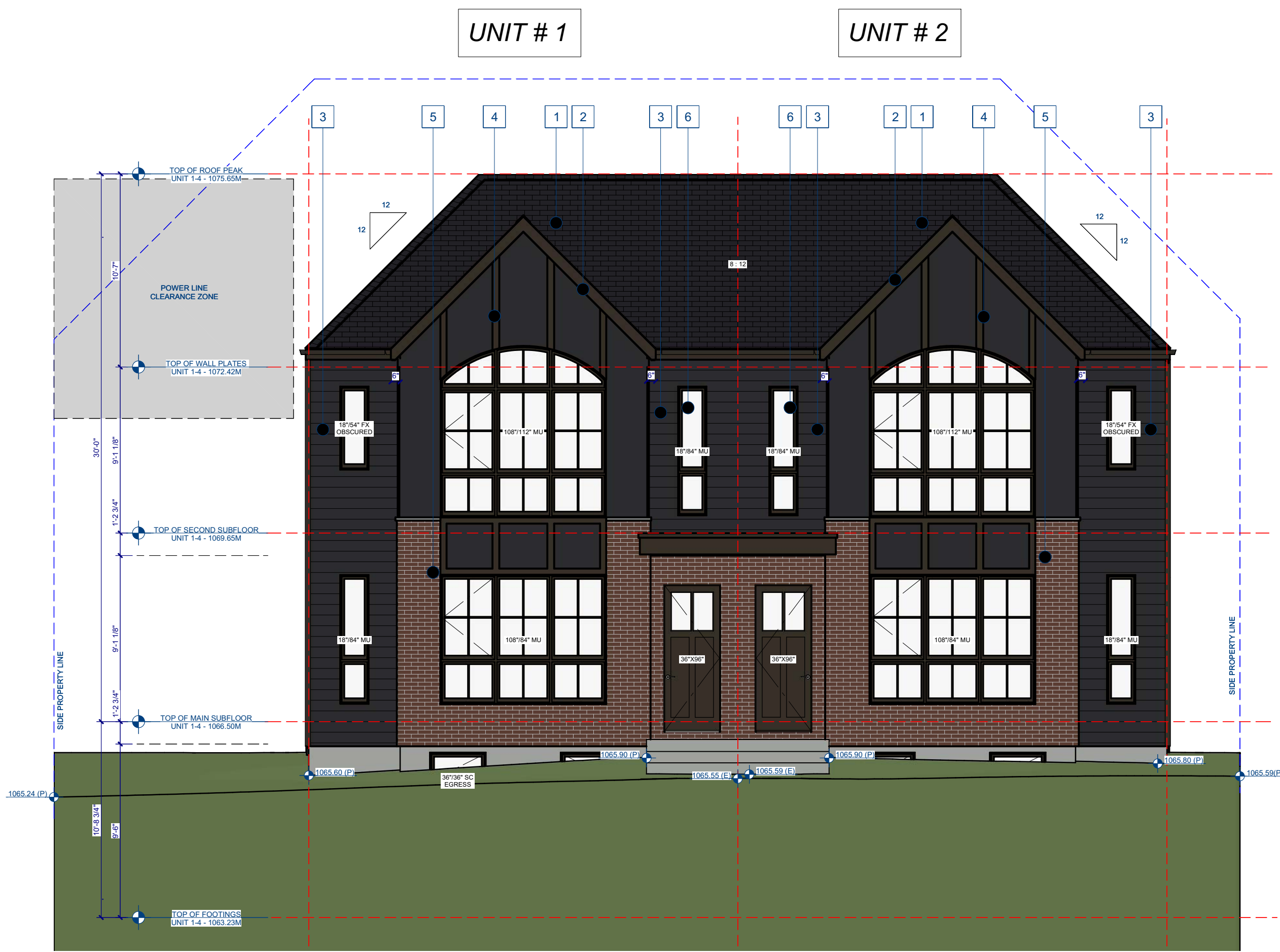
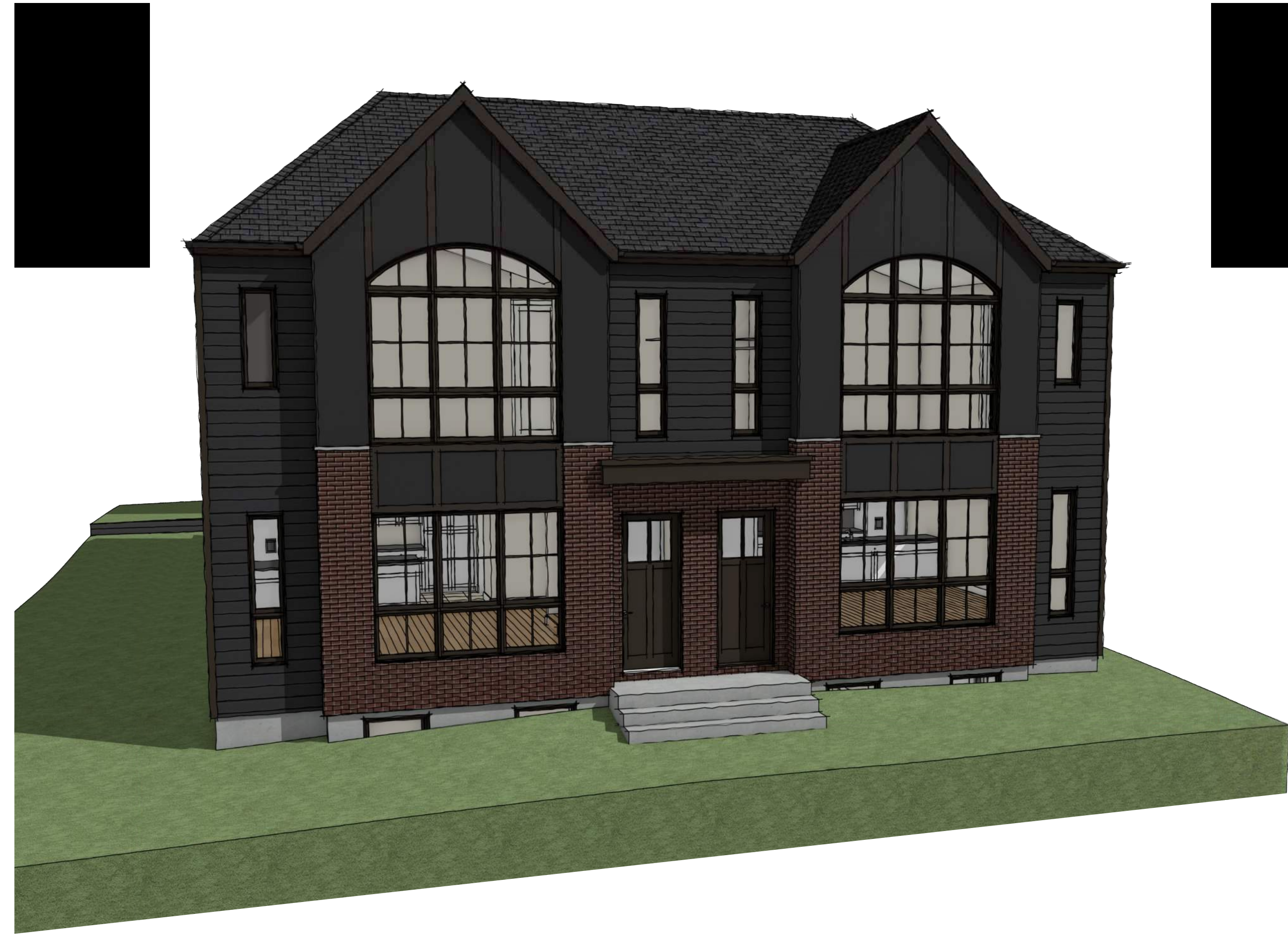
**PROJECT ADDRESS:**  
1008 89 AVENUE SW  
CALGARY, ALBERTA  
LOT 15  
BLOCK 12  
PLAN 311HN

**SHEET TITLE:**  
ELEVATIONS

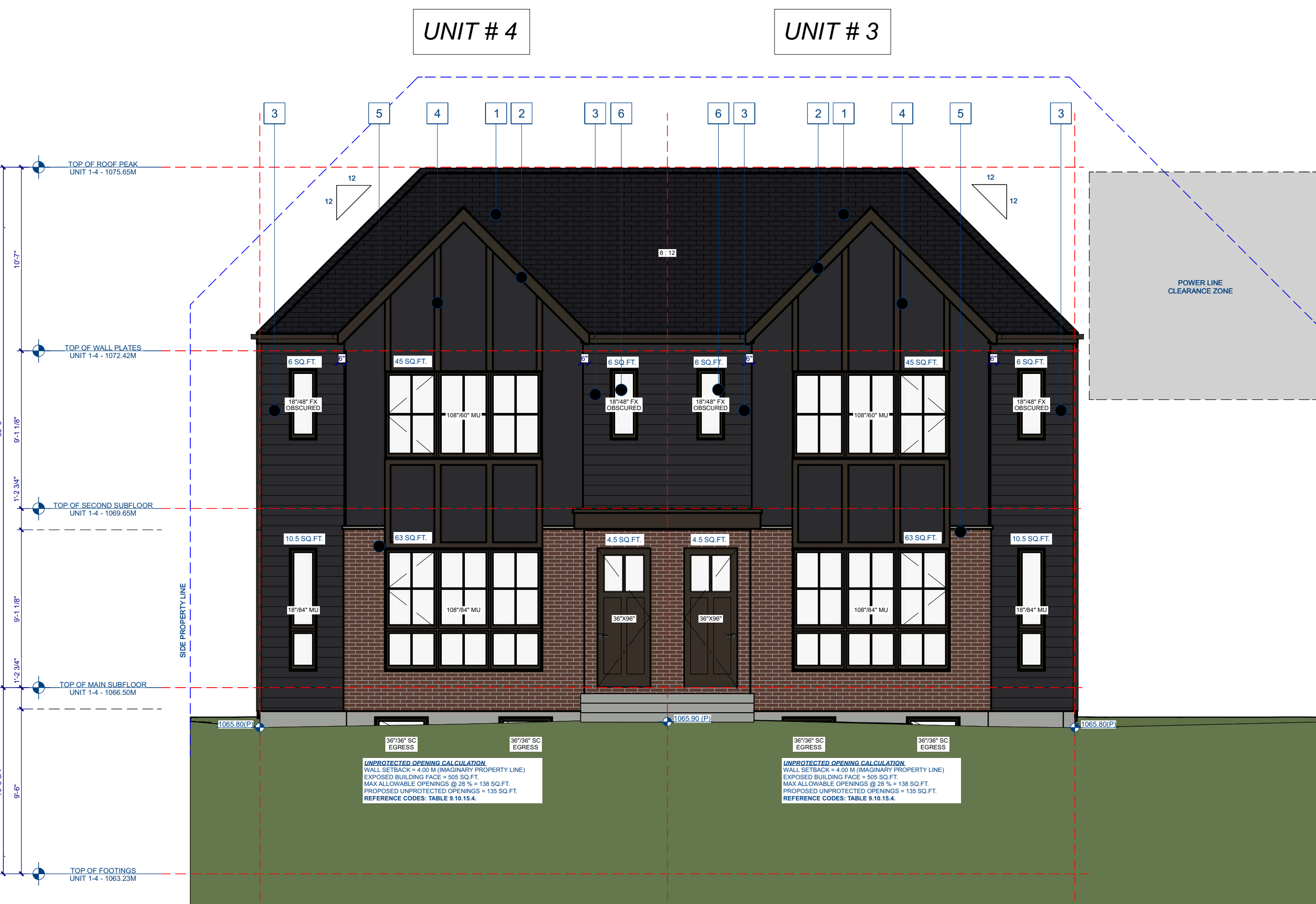
**DRAWING DATE:**  
4/1/2026

**SCALE:** AS NOTED  
**DRAWN BY:** IAN  
**FILE #:** PLP 2025-056

**SHEET:**  
A5



**1 FRONT ELEVATION**  
SCALE = 3/16" = 1'-0"



**2 REAR ELEVATION**  
SCALE = 3/16" = 1'-0"

**EXTERIOR KEY NOTES:**  
1. ASPHALT SHINGLES - BLACK  
2. 2X6 ALUMINUM FASCIA AND SOFFIT - BLACK  
3. HORIZONTAL HARDIE BOARD SIDING - GREY/BLACK  
4. BOARD AND BATTEN - GREY/BLACK  
5. BRICK - RED/BROWN  
6. WINDOWS & DOORS - BLACK  
7. NOT USED  
8. NOT USED  
9. NOT USED

**ELEVATION NOTES:**  
PROVIDE FLASHING OVER ALL EXTERIOR DOORS AND WINDOWS AND ANY OTHER AREA REQUIRED FOR WEATHER PROOFING

**GRADING NOTES:**  
1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES  
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING  
3. IF THERE IS A DISCREPANCY BETWEEN THESE ELEVATIONS AND THE SITE PLAN THE SITE PLAN WILL RULE

**WINDOW & DOOR NOTES:**  
MANUFACTURED DOORS, WINDOWS & SKYLIGHTS SHALL HAVE THE PRODUCTS PERFORMANCE LABELS PER CSA A440S1 2023 NBC (AE) 5.10.2.2.

WINDOW PERFORMANCE REQUIREMENTS	
MINIMUM PERFORMANCE GRADE:	15 (PG)
MINIMUM POSITIVE DESIGN PRESSURE:	720 PA
MINIMUM NEGATIVE DESIGN PRESSURE:	-720 PA
MINIMUM WATER PENETRATION:	220 PA
RESISTANCE TEST PRESSURE MINIMUM	
CANADIAN AIR INFILTRATION/EXFILTRATION:	A2
TERRAIN TYPE:	ROUGH

**THERMAL CHARACTERISTIC OF FENESTRATION AND DOORS**

FENESTRATION & DOORS - MAX U VALUE =	1.51
FENESTRATION & DOORS - MIN. ENERGY RATING =	25
OVERALL THERMAL TRANSMITTANCE OF SKYLIGHTS	
SKYLIGHTS =	2.75

**MISCELLANEOUS NOTES:**  
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**5 UNIT DEVELOPMENT WITH SECONDARY SUITES**

**PROJECT:**  
5 UNIT DEVELOPMENT WITH SECONDARY SUITE

**PROJECT ADDRESS:**  
1008 89 AVENUE SW  
CALGARY, ALBERTA  
LOT 15  
BLOCK 12  
PLAN 311HN

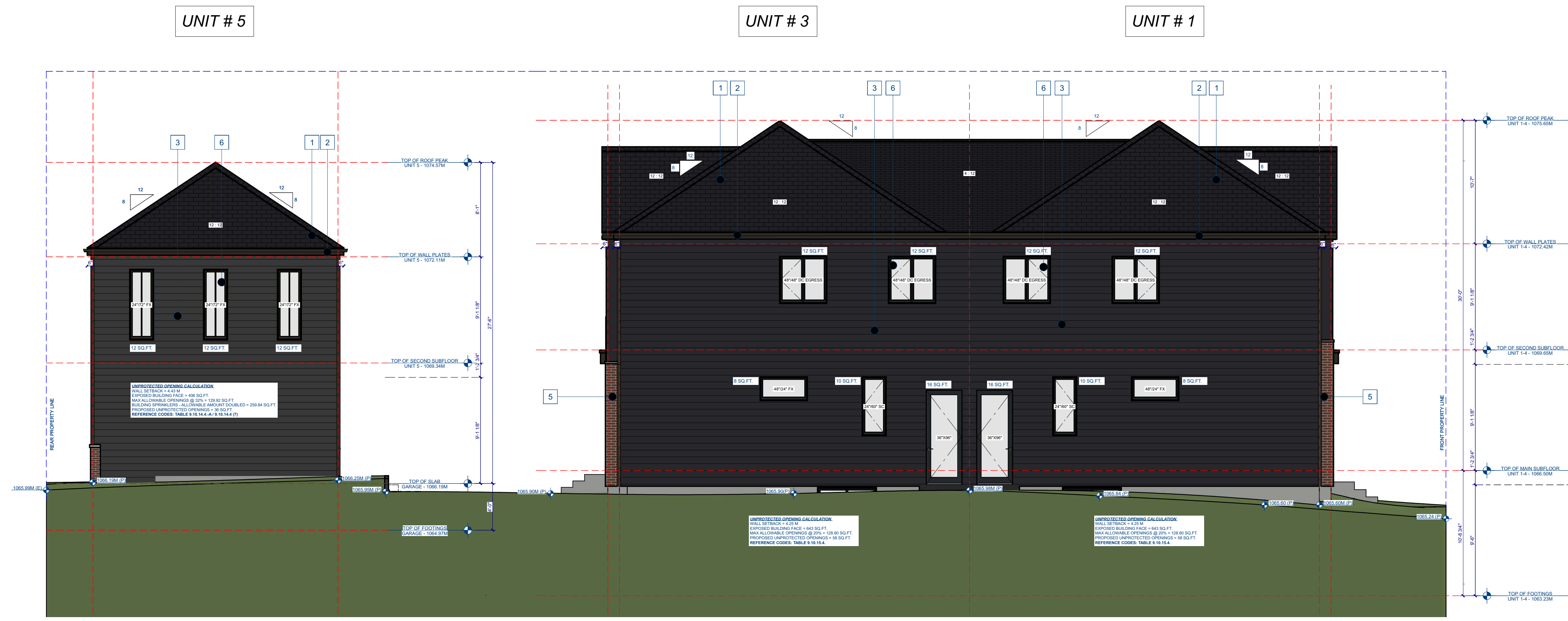
**SHEET TITLE:**  
ELEVATIONS

**DRAWING DATE:**  
4/1/2026

**SCALE:** AS NOTED  
**DRAWN BY:** IAN

**FILE #:**  
PLP 2025-056

**SHEET:**  
A6



**1** LEFT ELEVATION  
A6 SCALE = 3/16" = 1'-0"



**2** RIGHT ELEVATION  
A6 SCALE = 3/16" = 1'-0"

**MISCELLANEOUS NOTES:**  
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**PROJECT:**  
5 UNIT DEVELOPMENT WITH SECONDARY SUITE

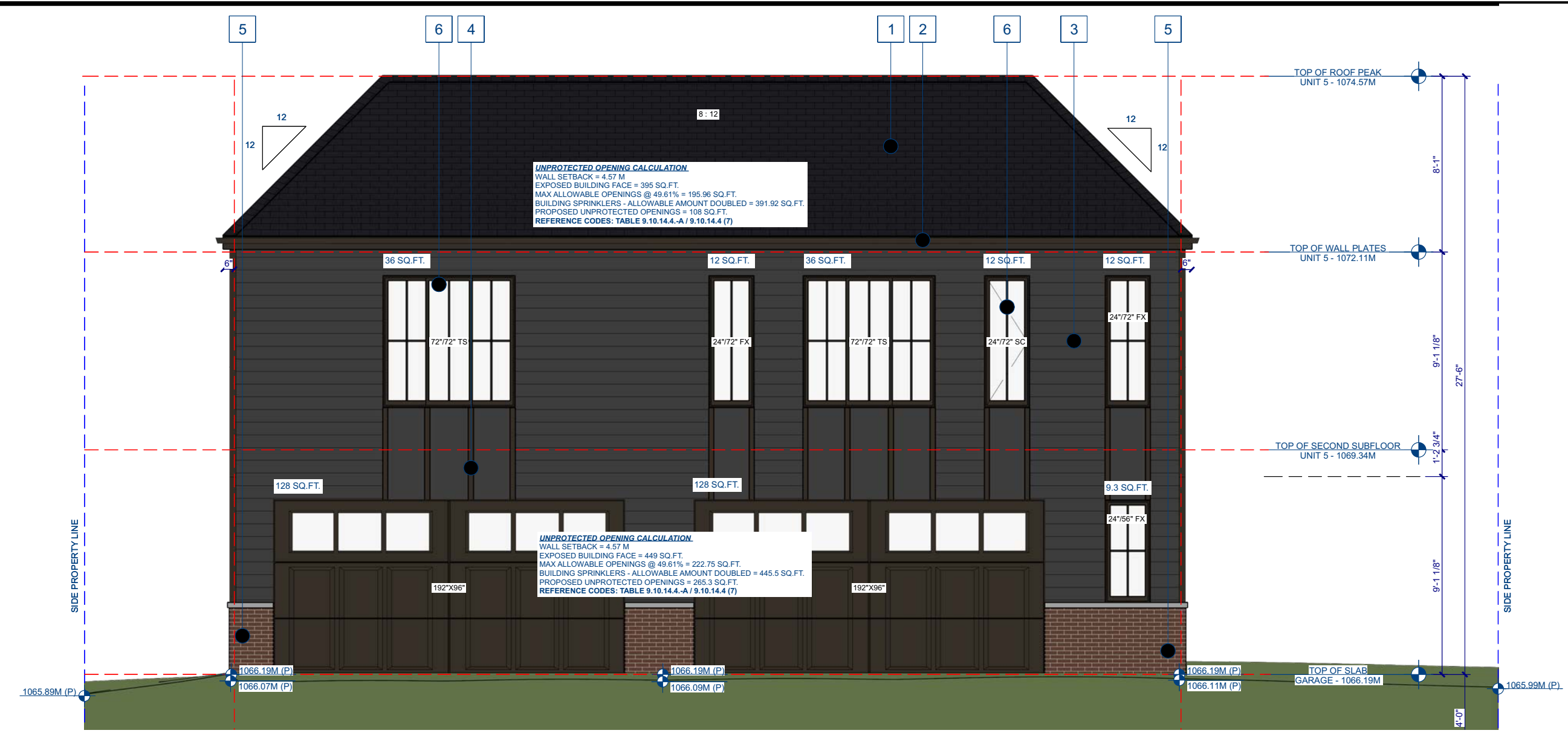
**PROJECT ADDRESS:**  
1008 89 AVENUE SW  
CALGARY, ALBERTA  
LOT 15  
BLOCK 12  
PLAN 311HN

**SHEET TITLE:**  
GARAGE PLAN

**DRAWING DATE:**  
4/1/2026

**SCALE:** AS NOTED  
**DRAWN BY:** IAN

**SHEET:**  
A7



**4** GARAGE ELEVATION - NORTH  
A7 SCALE = 3/16" = 1'-0"

**EXTERIOR KEY NOTES:**  
1. ASPHALT SHINGLES - BLACK  
2. 2X6 ALUMINUM FASCIA AND SOFFIT - BLACK  
3. HORIZONTAL HARDIE BOARD SIDING - GREY/BLACK  
4. BOARD AND BATTON - GREY/BLACK  
5. BRICK - RED/BROWN  
6. WINDOWS & DOORS - BLACK  
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8. NOT USED  
9. NOT USED

**ELEVATION NOTES:**  
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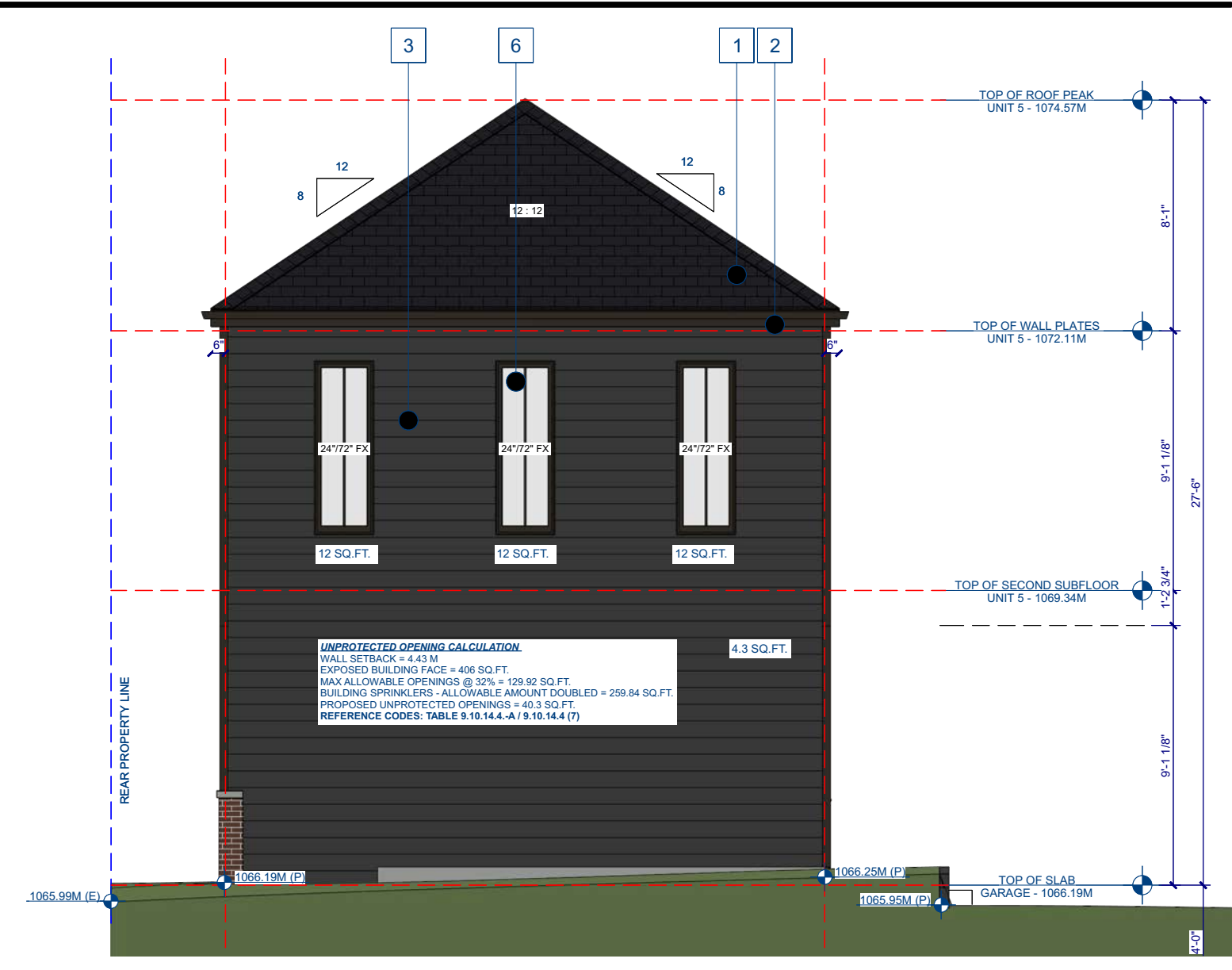
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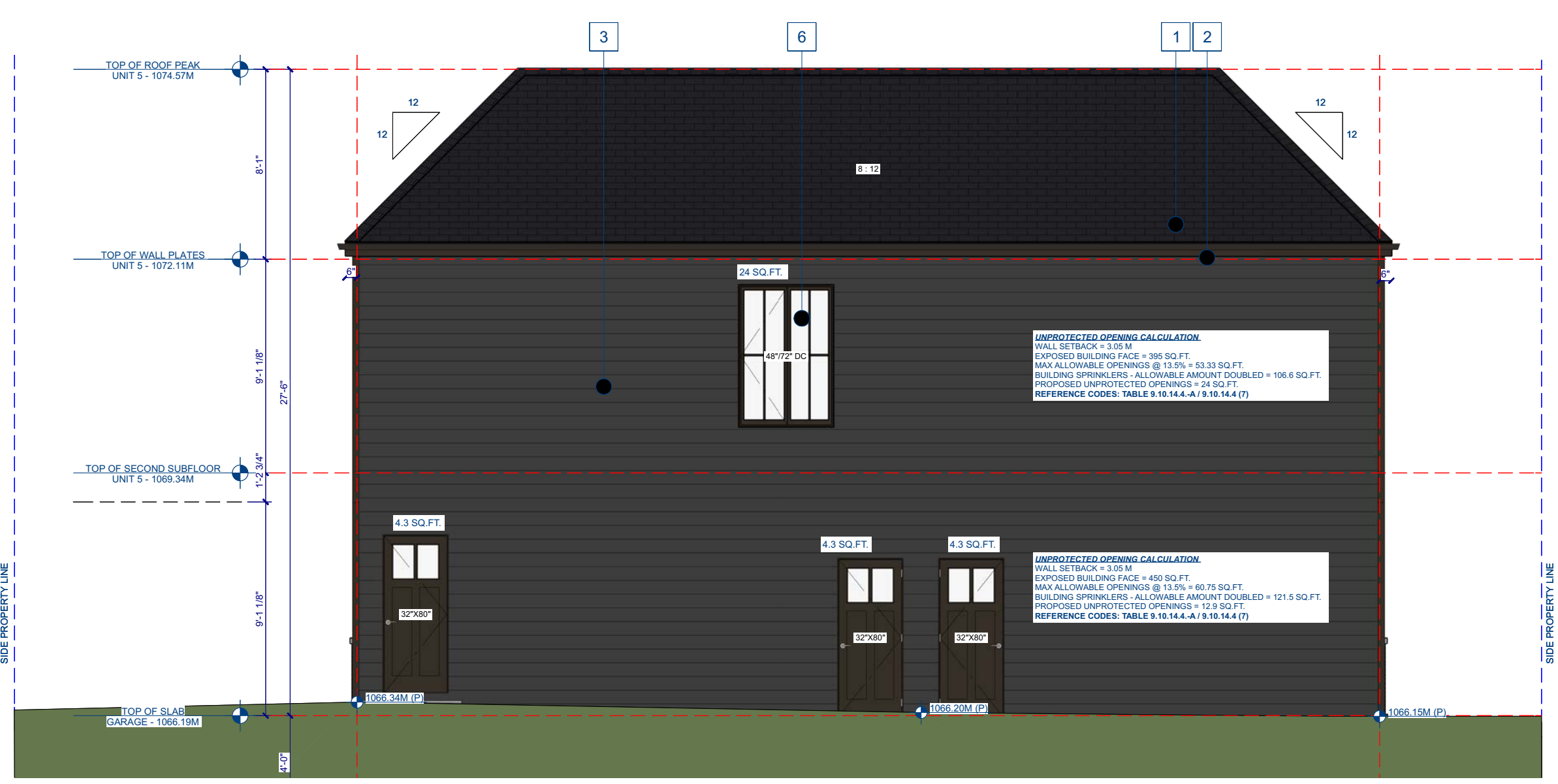
**WINDOW PERFORMANCE REQUIREMENTS**  
MINIMUM PERFORMANCE GRADE: 15 (PG)  
MINIMUM POSITIVE DESIGN PRESSURE: 720 PA  
MINIMUM NEGATIVE DESIGN PRESSURE: -720 PA  
MINIMUM WATER PENETRATION: 220 PA  
RESISTANCE TEST PRESSURE MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION: A2  
TERRAIN TYPE: ROUGH

**THERMAL CHARACTERISTIC OF FENESTRATION AND DOORS**  
FENESTRATION & DOORS - MAX U VALUE = 1.61  
FENESTRATION & DOORS - MIN. ENERGY RATING = 25

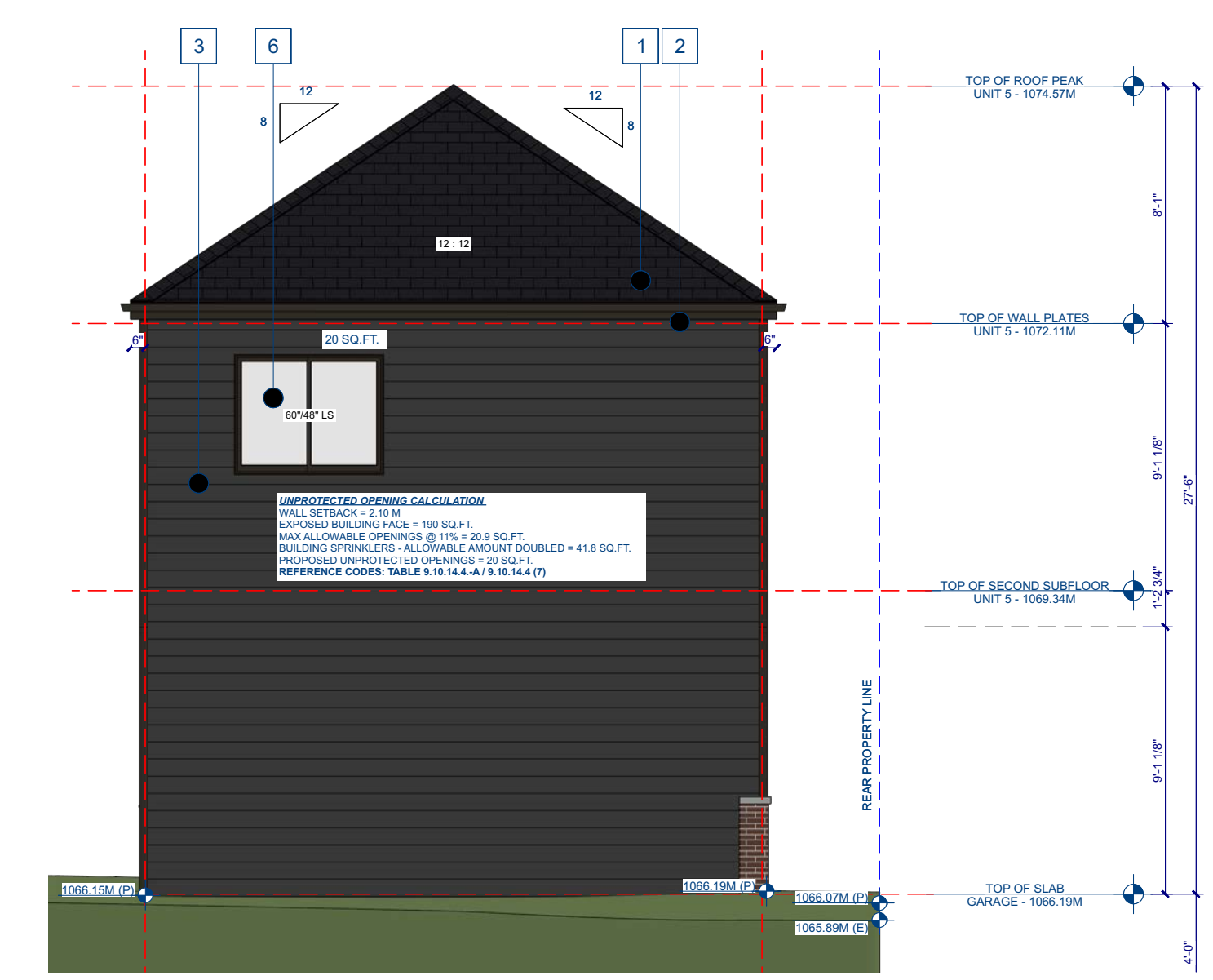
**OVERALL THERMAL TRANSMITTANCE OF SKYLIGHTS**  
SKYLIGHTS = 2.75



**5** GARAGE ELEVATION - WEST  
A7 SCALE = 3/16" = 1'-0"



**6** GARAGE ELEVATION - SOUTH  
A7 SCALE = 3/16" = 1'-0"



**7** GARAGE ELEVATION - EAST  
A7 SCALE = 3/16" = 1'-0"