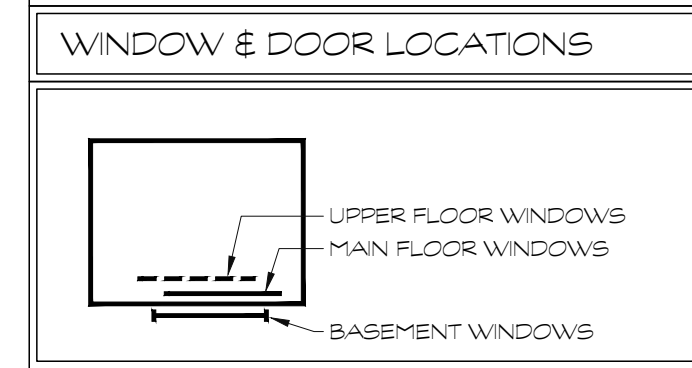
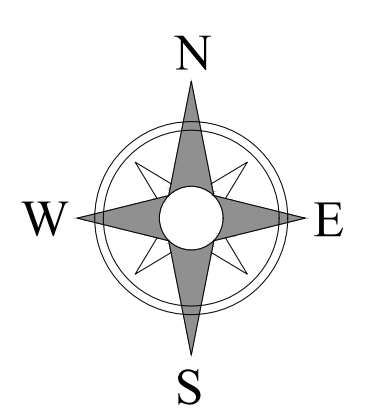




1 SITE PLAN  
AO 1/4" = 1'-0"

SITE INFORMATION	
CIVIC ADDRESS: 2703 CHANDLER ROAD NW CALGARY, AB	
LEGAL DESCRIPTION: LOT 1 BLOCK 9 PLAN 1496 JK	
COMMUNITY: CHARLESWOOD LAND USE: R-CG	
BYLAW SETBACKS: FRONT YARD = 3.0m SIDE YARD = 1.2m REAR YARD = 1.2m MAX. BLDG HGT = 11.0m	
LOT INFORMATION: GLOBAL RAYMAC SURVEYS 403-283-5455 DATED: 15 OCTOBER 2013 FILE No.: 13CR1759	
LOT COVERAGE: AREA OF LOT = 576.83m <sup>2</sup> (6209 ft <sup>2</sup> ) AREA OF EXISTING PRINCIPLE DWELLING = 18.91m <sup>2</sup> (205 ft <sup>2</sup> ) AREA OF DWELLING ADDITION = 43.94m <sup>2</sup> (473 ft <sup>2</sup> ) AREA OF GARAGE ADDITION = 94.11m <sup>2</sup> (1019 ft <sup>2</sup> ) TOTAL BUILDING AREA = 256.96m <sup>2</sup> (2766 ft <sup>2</sup> ) ALLOWABLE LOT COVERAGE = 45% % OF LOT COVERAGE = 44.55% AREA OF LIVING SPACE ABOVE GARAGE = 125.23m <sup>2</sup> (1348 ft <sup>2</sup> )	
DENOTES EXISTING GRADE $\phi$ 0.00 DENOTES PROPOSED GRADE $\phi$ 0.00	
NOTE: TO OBTAIN GEODETIC ELEVATIONS ADD 110.0m TO ELEVATIONS SHOWN	



EXISTING PLANT SCHEDULE	
	A EXISTING SPRUCE - TO REMAIN CALIPER = 75mm DIA DRIFLINE = 12m DIA HEIGHT = 13.7m
	B EXISTING SPRUCE - TO REMAIN CALIPER = 0.12m DIA DRIFLINE = 11.0m DIA HEIGHT = 5.0m
	C EXISTING CRABAPPLE - TO REMAIN CALIPER = 0.65m DIA DRIFLINE = 6.5m DIA HEIGHT = 5.0m
	D EXISTING CHOKECHERRY - TO BE REMOVED CALIPER = 0.13m DIA DRIFLINE = 2.5m DIA HEIGHT = 5.0m
	E EXISTING CATTONEASTER - TO REMAIN
	F EXISTING JUNIPER - TO REMAIN
	G EXISTING CHOKECHERRY - TO REMAIN CALIPER = 0.13m DIA DRIFLINE = 2.5m DIA HEIGHT = 5.0m
	H EXISTING SPRUCE - TO BE REMOVED CALIPER = 0.13m DIA DRIFLINE = 2.5m DIA HEIGHT = 5.0m
	I EXISTING JUNIPER - TO REMAIN

REVISION SCHEDULE

REV #	REV DATE	DESCRIPTION

client: -

project: GARAGE ADDITION & HOT TUB  
2703 CHANDLER ROAD NW  
CALGARY, AB  
LOT: 1 BLK: 9 PL: 1496 JK

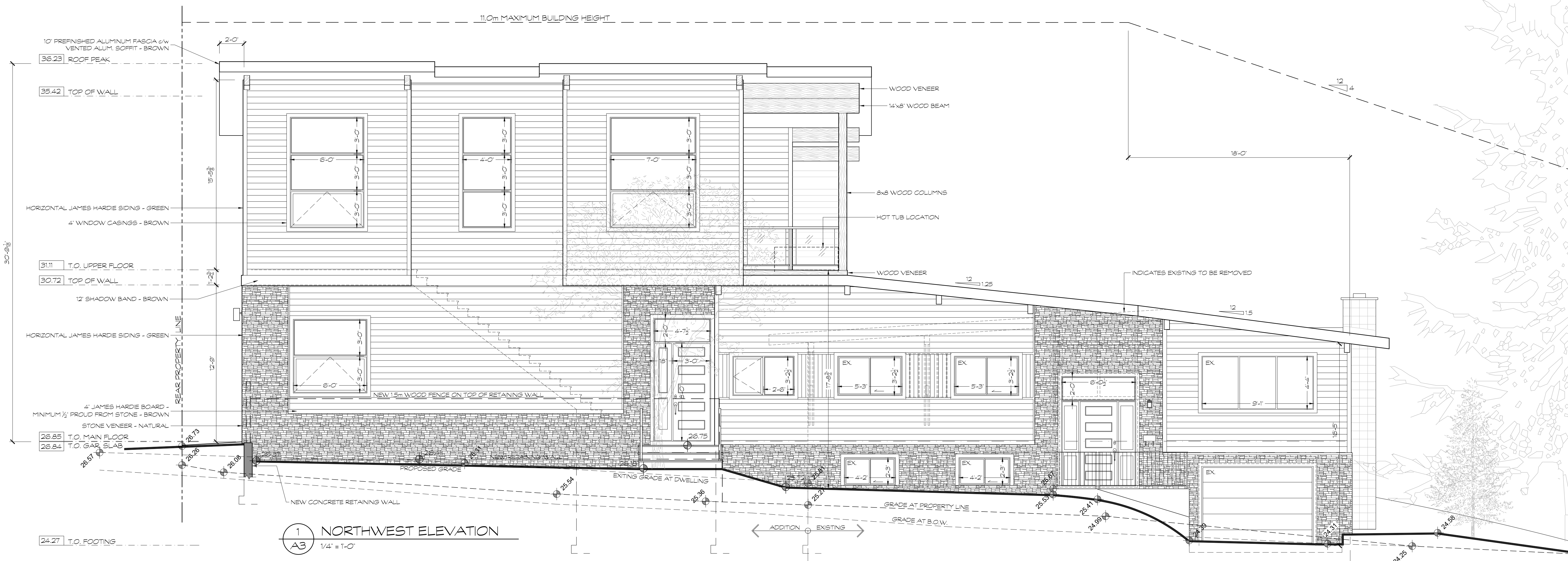
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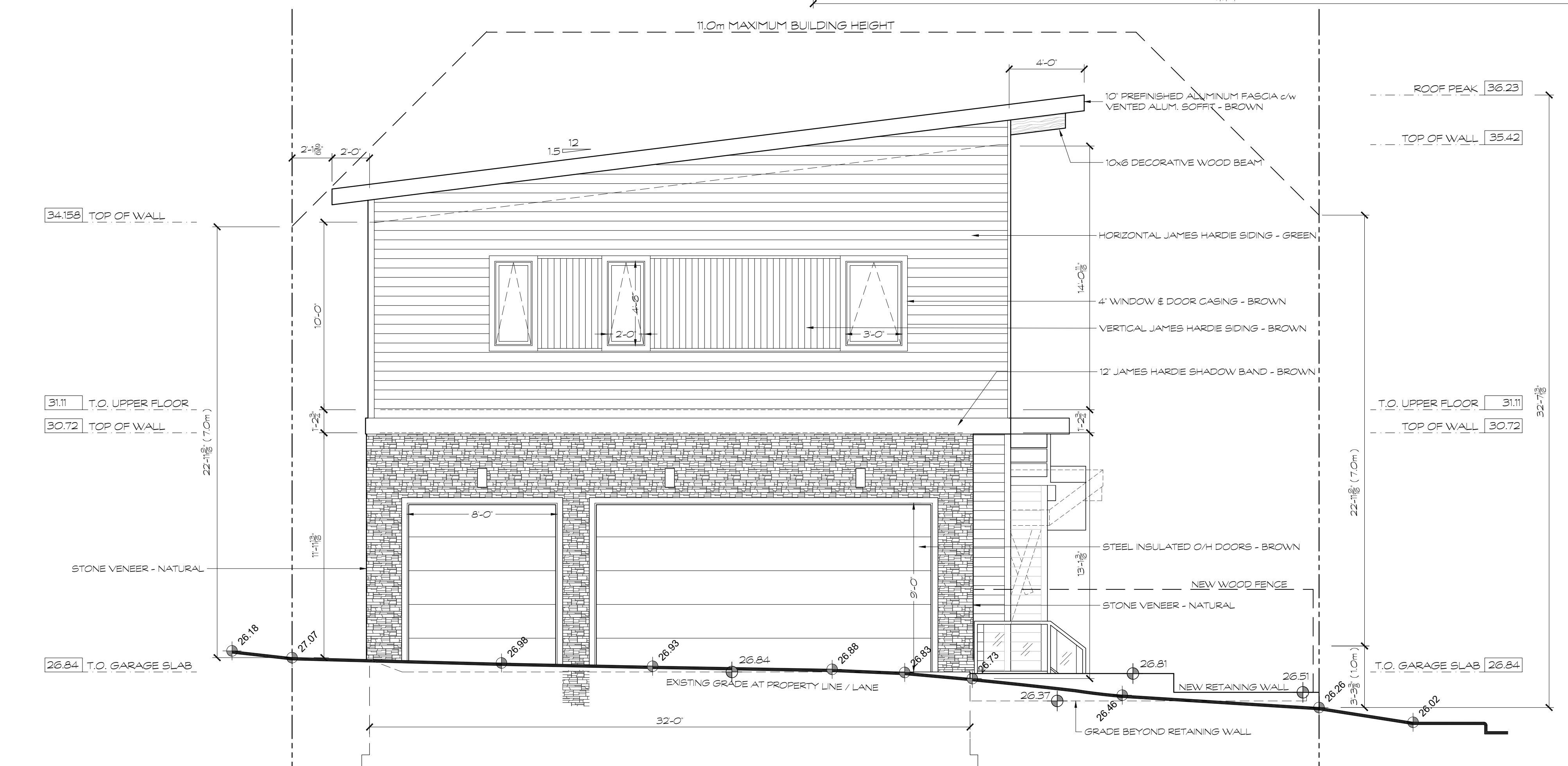
designed by: D. B.

file no: 2025-43 date: February 19, 2026

sheet no: AO diag scale: AS NOTED



1 NORTHWEST ELEVATION  
A3 1/4" = 1'-0"



2 NORTHEAST ELEVATION  
A3 1/4" = 1'-0"

REVISION SCHEDULE

REV #	REV DATE	DESCRIPTION

client: -

project: GARAGE ADDITION & HOT TUB  
2703 CHANDLER ROAD NW  
CALGARY, AB.  
LOT: 1 BLK: 9 PL: 1496 JK

page title: ELEVATIONS

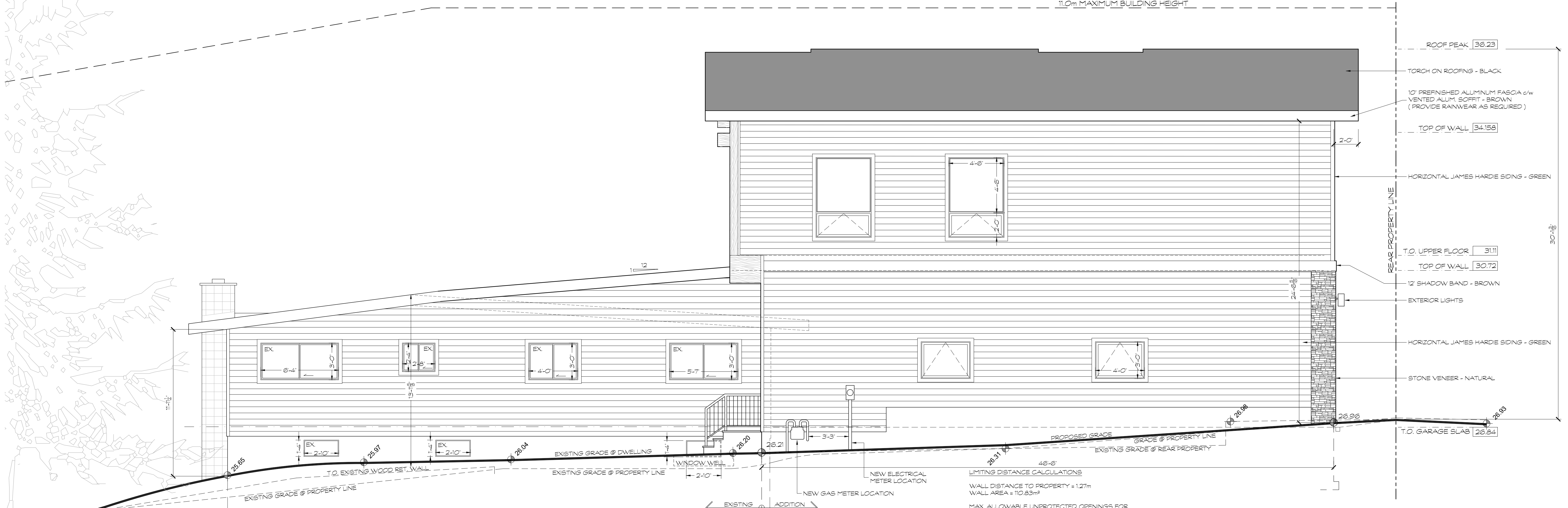
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11.0m MAXIMUM BUILDING HEIGHT



1  
A4  
SOUTHEAST ELEVATION  
1/4" = 1'-0"

46'-6"  
LIMITING DISTANCE CALCULATIONS  
WALL DISTANCE TO PROPERTY = 1.27m  
WALL AREA = 110.83m<sup>2</sup>  
MAX. ALLOWABLE UNPROTECTED OPENINGS FOR  
OVER 100m<sup>2</sup> OF WALL @ 1.2m LIMITING DISTANCE = 7%  
WALL AREA = 110.83m<sup>2</sup> x 7% = 7.76m<sup>2</sup> OF ALLOWABLE OPENINGS  
PROPOSED UNPROTECTED OPENINGS = 7.66m<sup>2</sup>



2  
A4  
SOUTHWEST ELEVATION  
1/4" = 1'-0"

- ROOF PEAK [36.23]
- TORCH ON ROOFING - BLACK
- 10' PREFINISHED ALUMINUM FASCIA w/  
VENTED ALUM. SOFFIT - BROWN  
(PROVIDE RAINWEAR AS REQUIRED)
- TOP OF WALL [34.158]
- HORIZONTAL JAMES HARDIE SIDING - GREEN
- REAR PROPERTY LINE
- T.O. UPPER FLOOR [31.11]
- TOP OF WALL [30.72]
- 12 SHADOW BAND - BROWN
- EXTERIOR LIGHTS
- HORIZONTAL JAMES HARDIE SIDING - GREEN
- STONE VENEER - NATURAL
- T.O. GARAGE SLAB [26.84]

- WOOD VENEER
- 10' PREFINISHED ALUM. FASCIA  
- BROWN
- 14x8" BEAM
- 8x8" WOOD BEAM
- NEW ROOF PEAK [30.96]
- WOOD VENEER
- EXTG ROOF PEAK [30.13]
- T.O. WALL [29.31]
- T.O. MAIN FLOOR [26.85]

REVISION SCHEDULE

REV #	REV DATE	DESCRIPTION

client:  
-

project: **GARAGE ADDITION  
& HOT TUB**  
2703 CHANDLER ROAD NW  
CALGARY, AB.  
LOT: 1 BLK: 9 PL: 1496 JK

page title:  
ELEVATIONS

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designed by:  
D. B.

file no.: 2025-43  
date: February 19, 2026

sheet no.: **A4**  
diag scale: AS NOTED