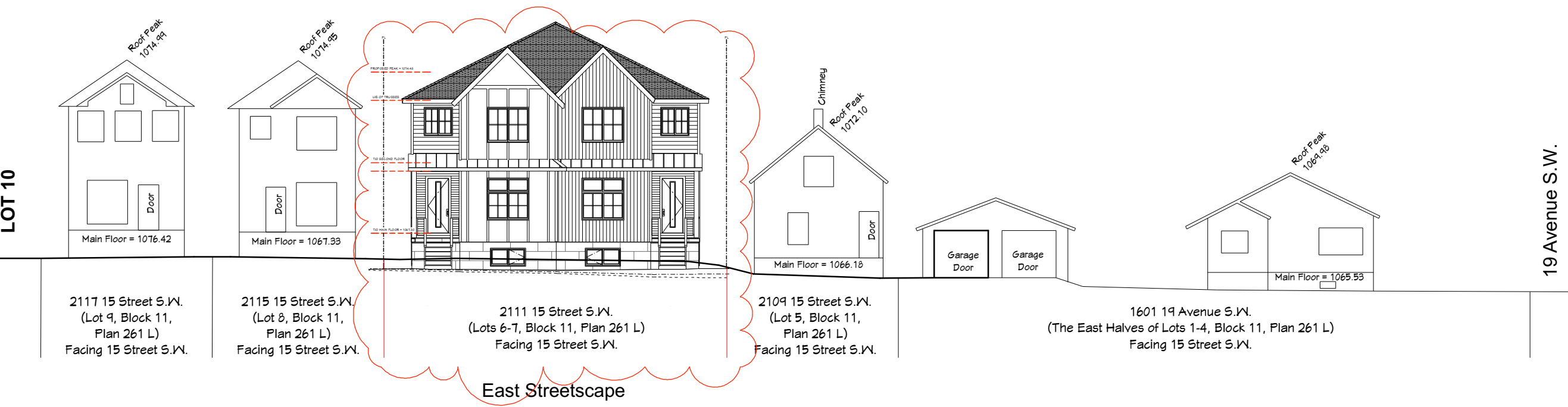




EXTERIOR 3D PERSPECTIVE - FOR DESIGN PURPOSE ONLY - N.T.S.



EXTERIOR 3D PERSPECTIVE - FOR DESIGN PURPOSE ONLY - N.T.S.



BLOCK FACE
SCALE: 1 = 200

2111 15 ST SW

4-UNIT & 4-SUITE
MULTI-FAMILY
DEVELOPMENT

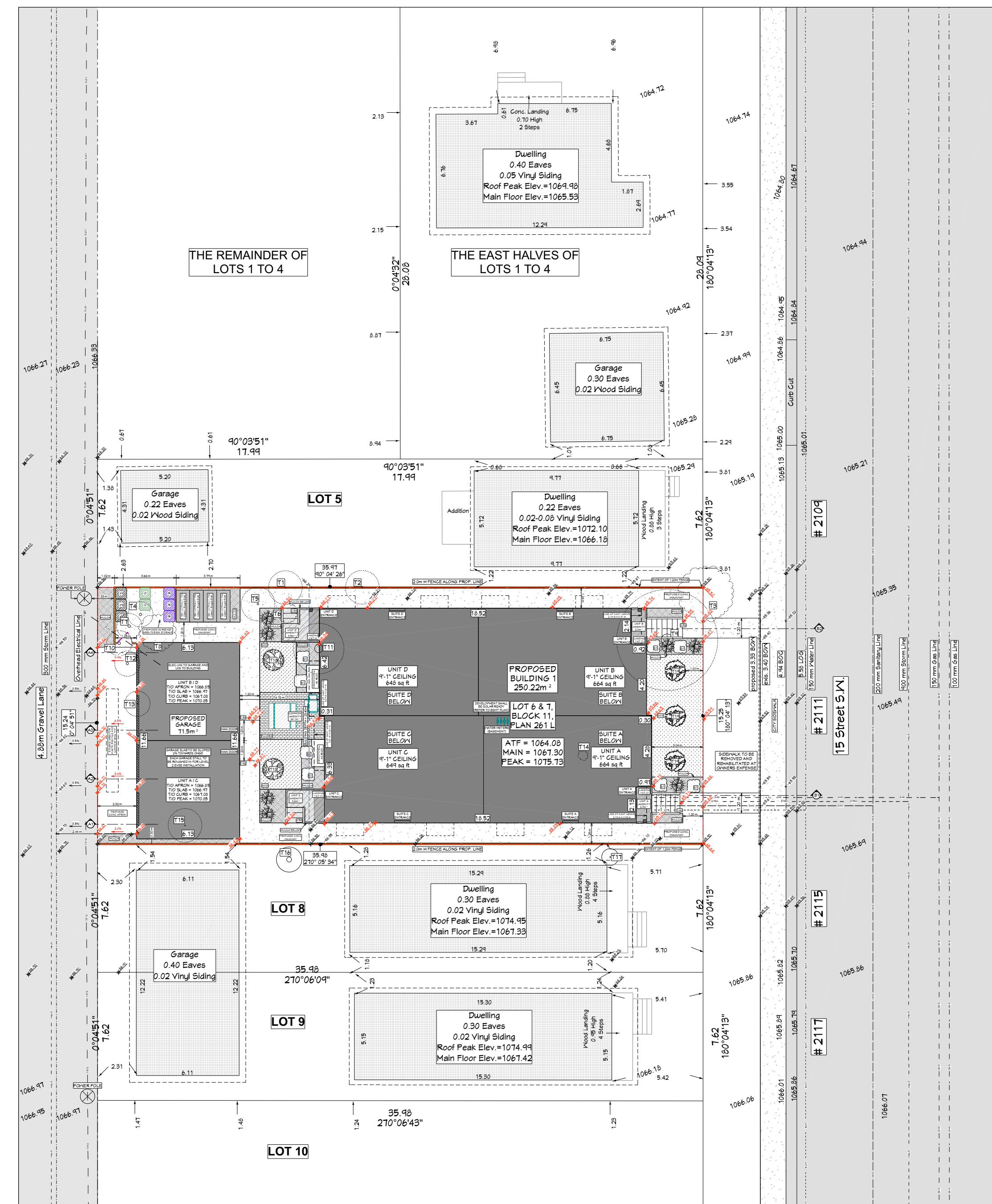
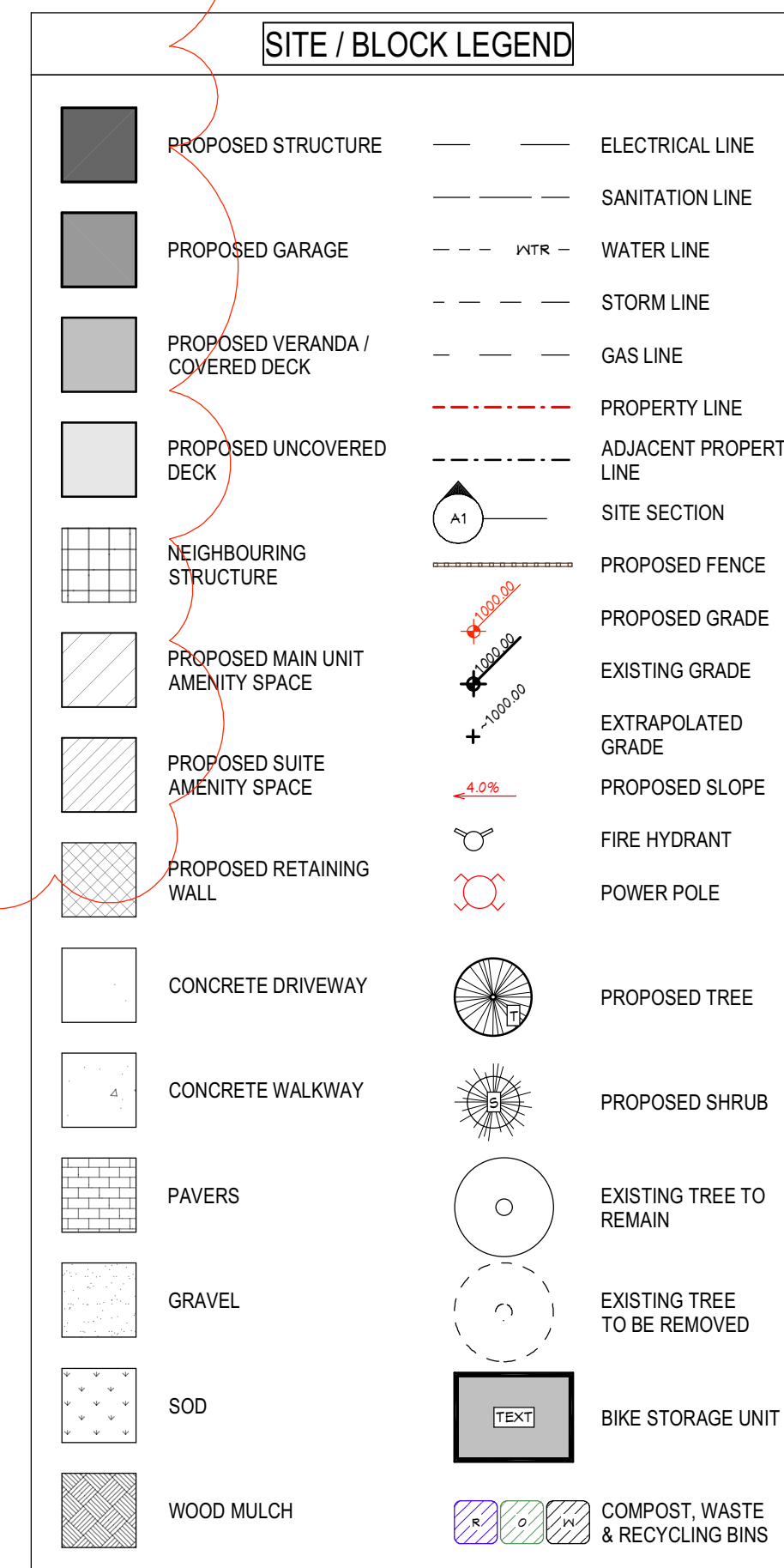
LOTS 6 & 7, BLOCK 11,
PLAN 261L

BANKVIEW, SW CALGARY
LOT ZONING: R-CG

Contents

A1	COVER PAGE
A2	SITE PLAN
A3	MAIN FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	BASEMENT PLAN
A6	ELEVATIONS
G1	GARAGE DRAWINGS

AMENDED DRAWINGS
 DP No Date Received
 DP2026-01155 MAY 15 2026
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BLOCK PLAN
SCALE: 1 = 200

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Design Draft 1	26.01.16
Design Draft 2	26.01.26
Sign-Off Set	26.02.06
DP Submission	26.03.03
DTR 1 Submission	26.04.13

AREAS

TOTAL GROSS FLOOR AREA	S.F.	
UNIT A	TOTAL	1284
MAIN		664
UPPER		620
SUITE A		636
UNIT B	TOTAL	1284
MAIN		664
UPPER		620
SUITE B		637
UNIT C	TOTAL	1261
MAIN		649
UPPER		612
SUITE C		602
UNIT D	TOTAL	1259
MAIN		648
UPPER		611
SUITE D		601

STREET ADDRESS

2111 15 ST SW

LEGAL ADDRESS

LOTS 6 & 7, BLOCK 11, PLAN 261L

PROJECT

BANKVIEW 4 UNIT

DESIGN: SJ/PR DRAWN: PR CHECKED: SJ

PROJECT # 25-3-MH-TD-048

SCALE

N.T.S.

TITLE

COVER PAGE

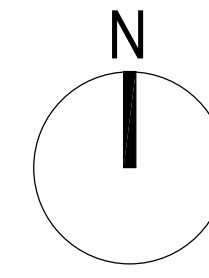
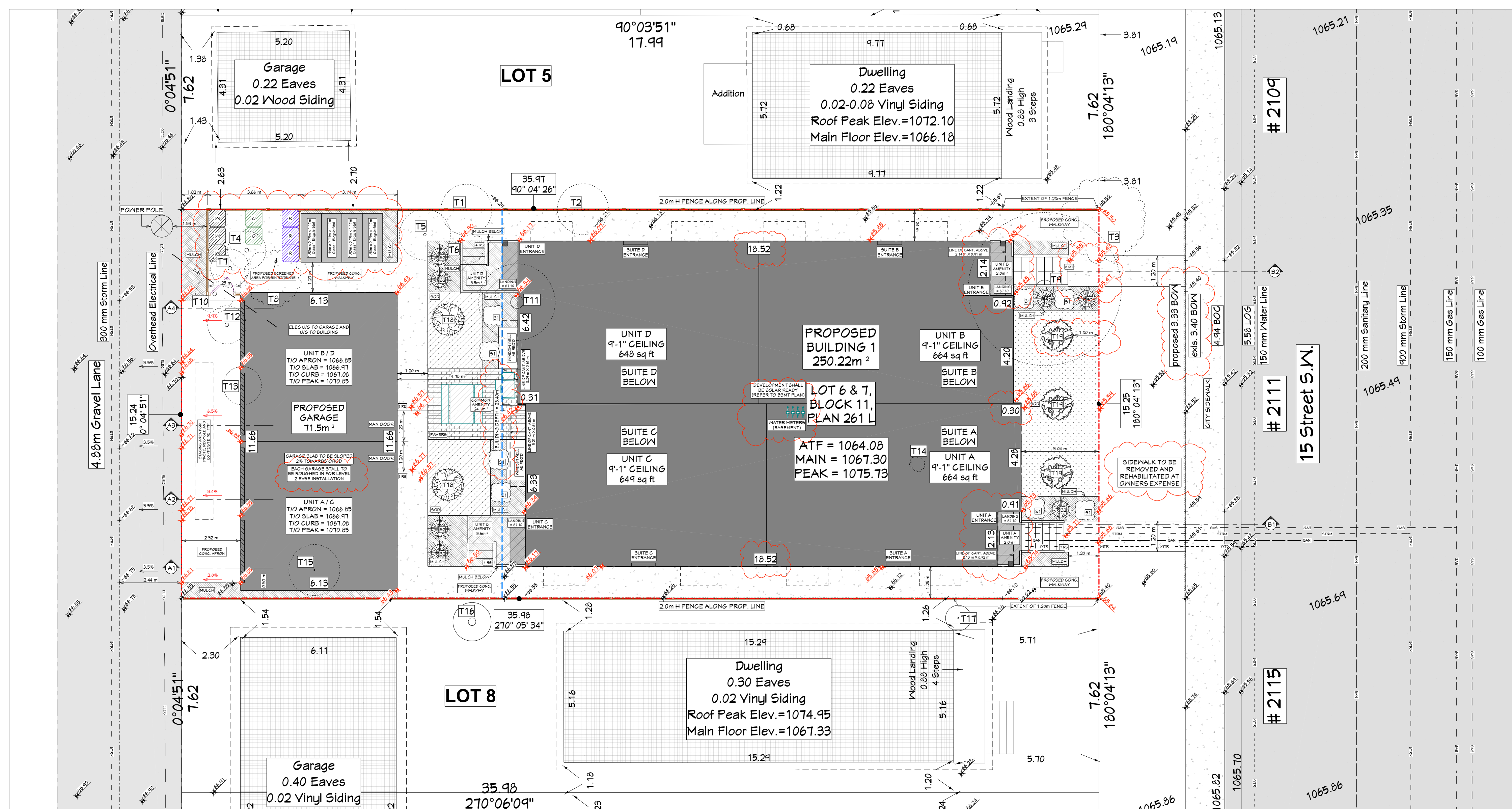
ZONING

R-CG

PAGE

A1

7



SITE PLAN NOTES

- SITE TO BE IRRIGATED BY A LOW WATER IRRIGATION SYSTEM
- ALL SOD AREAS TO BE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- ALL SOD TOPSOIL TO BE MINIMUM 300mm DEPTH
- ALL SHRUB AND TREE BEDS TO BE MINIMUM 600mm DEPTH
- ALL T18 TREES TO BE MAXIMUM 4m AT MATURE HEIGHT

Building Statistics

BUILDING HEIGHT	10.08 m
Proposed main floor geodetic	1067.30
Maximum building geodetic	1076.67
Proposed peak geodetic	1075.73
Lowest adjacent grade	1065.65
Proposed building height	10.08 m

RESIDENTIAL DENSITY	72.98 units/ha
Lot area =	~ 0.054806 ha
Units =	04

PARCEL COVERAGE	59.8 %
Lot area	548.06 m ²
Building Footprint	250.22 m ²
Covered Entry	6.44 m ²
Garage Footprint	71.82 m ²
Storage Footprint	6.08 m ²
Total Coverage Area	327.80 m ²
Max Coverage Area	328.08 m ²

AREA OF AMENITY SPACE	35.0 m ²
Unit A	2.0 m ²
Unit B	2.0 m ²
Unit C	3.5 m ²
Unit D	3.5 m ²
Common Amenity	24.0 m ²

TOTAL GROSS FLOOR AREA	702.76 m ²
TOTAL ABOVE GRADE =	5088 sf (472.82 m ²)
Unit A	1284 sf (119.32 m ²)
Unit B	1248 sf (119.34 m ²)
Unit C	1261 sf (117.13 m ²)
Unit D	1259 sf (117.03 m ²)
Suite A	636 sf (59.07 m ²)
Suite B	637 sf (59.15 m ²)
Suite C	602 sf (55.90 m ²)
Suite D	601 sf (55.82 m ²)

PARKING STALLS PROVIDED ON-SITE 4

- Dwelling units: 4
- Parking stalls per dwelling unit = 1
- Garage parking stalls provided: 4
- Uncovered parking stalls provided: 00

TOTAL LANDSCAPED AREA	196.99 m ²
35.9% of 548.06 Lot Area	
Apron =	25.7 m ²

- Hard Landscape = 120.15 m²
- Concrete = 107.44 m²
- Pavers = 10.23 m²
- Gravel = 2.48 m²
- Soft Landscape = 76.84 m²
- Sod = 37.14 m²
- Mulch = 39.70 m²

REQUIRED PLANTINGS

- A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square meters of parcel area.
- Lot area = 548.06 m² / 110 = 4.98
- Trees: 1.0 x 4.98 = ~ 5.00
- Shrubs: 3.0 x 4.98 = 14.95 ~ 15.00
- Planting Provided
- Trees = 5
- Shrubs = 15

RESPONSIBILITIES

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UPPER	611
SUITE D	601

STREET ADDRESS
2111 15 ST SW

LEGAL ADDRESS
LOTS 6 & 7, BLOCK 11, PLAN 261L

PROJECT
BANKVIEW 4 UNIT

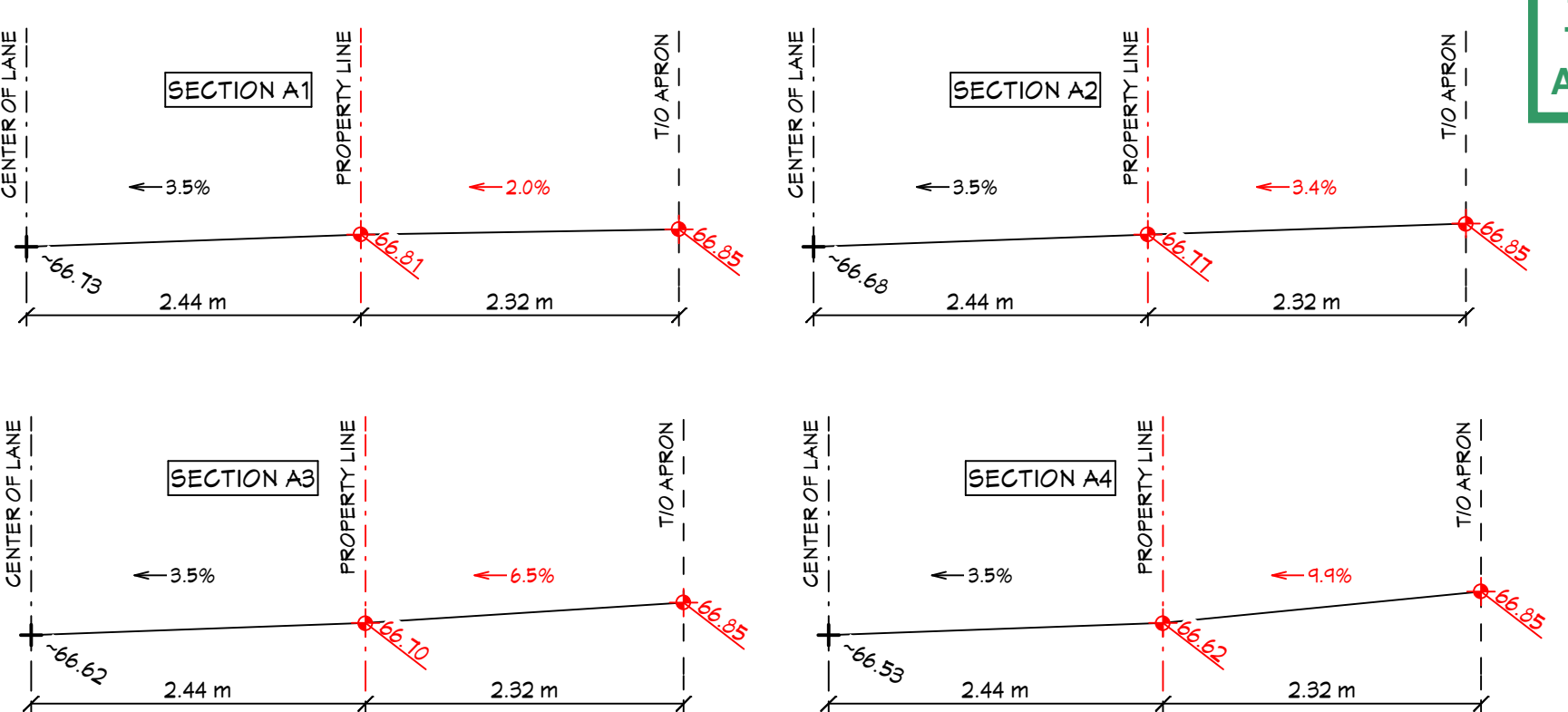
DESIGN: SJ/PR | DRAWN: PR | CHECKED: SJ
 PROJECT # 25-3-MH-TD-048

SCALE
AS INDICATED

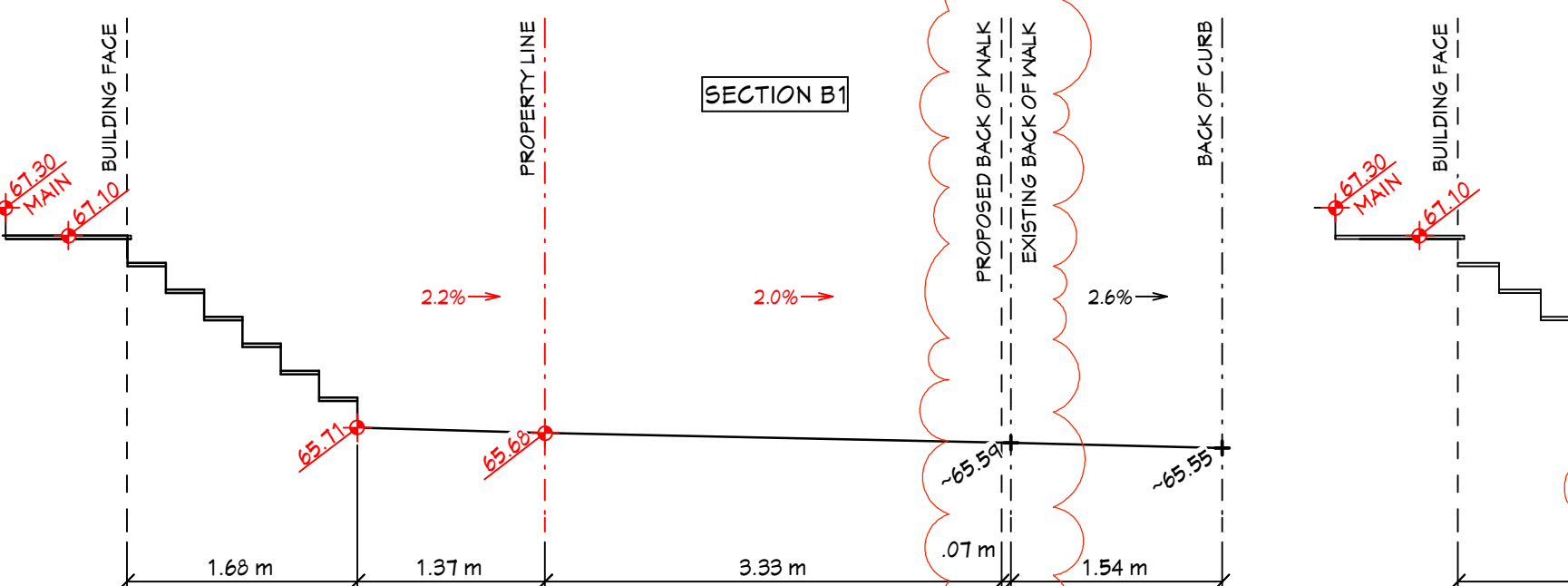
TITLE
SITE PLAN & SITE STATISTICS

ZONING R-CG
PAGE A2 / 7

SITE PLAN
SCALE: 1=100

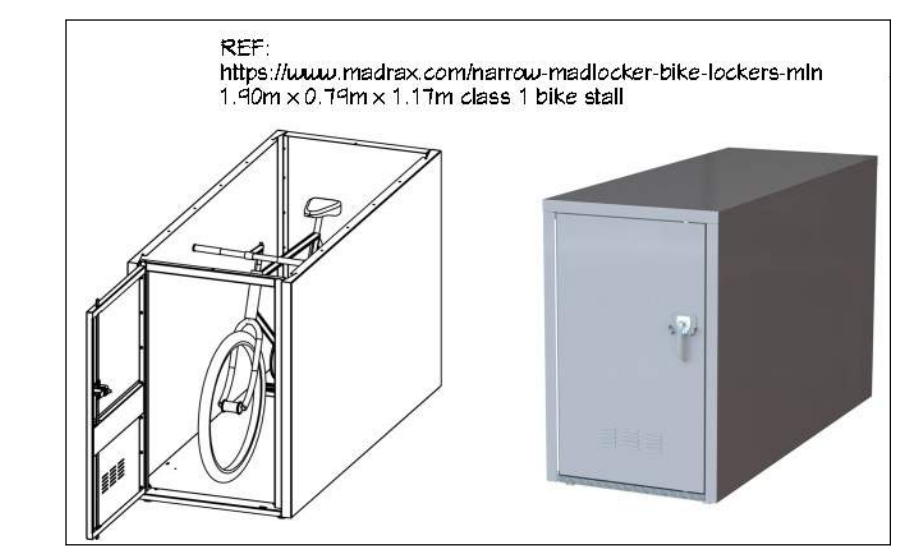


APRON SECTIONS
SCALE: 1=100



BOULEVARD SECTIONS
SCALE: 1=100

AMENDED DRAWINGS
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CLASS 1 STALL DIAGRAM
N.T.S.

SITE / BLOCK LEGEND

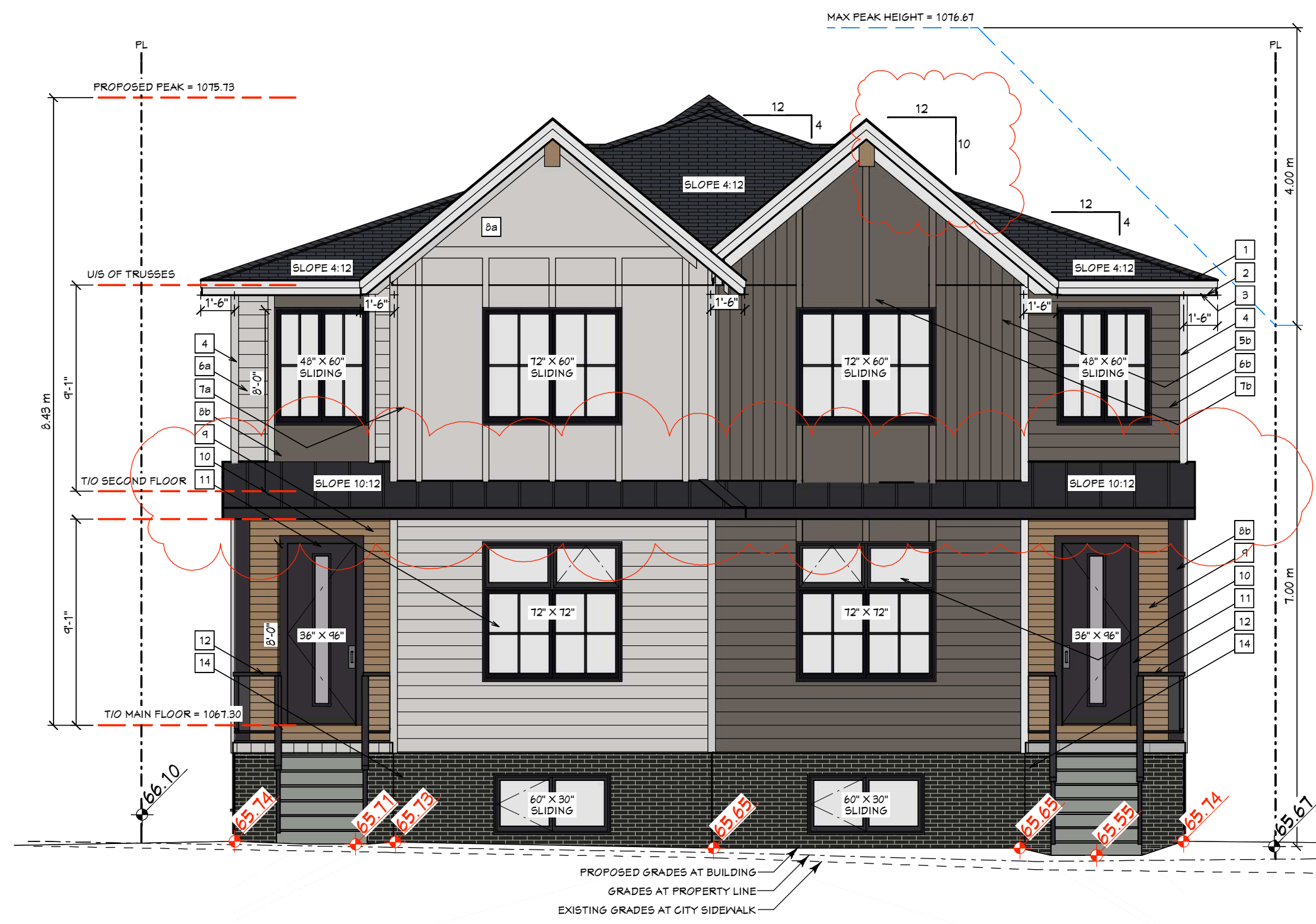
PROPOSED STRUCTURE	ELECTRICAL LINE
PROPOSED GARAGE	SANITATION LINE
PROPOSED VERANDA / COVERED DECK	WATER LINE
PROPOSED UNCOVERED DECK	STORM LINE
NEIGHBOURING STRUCTURE	GAS LINE
PROPOSED MAIN UNIT AMENITY SPACE	PROPERTY LINE
PROPOSED SUITE AMENITY SPACE	ADJACENT PROPERTY LINE
CONCRETE DRIVEWAY	PROPOSED FENCE
CONCRETE WALKWAY	PROPOSED GRADE
PAVERS	EXISTING GRADE
GRAVEL	EXTRAPOLATED GRADE
SOD	PROPOSED SLOPE
WOOD MULCH	FIRE HYDRANT
	POWER POLE
	PROPOSED TREE
	PROPOSED SHRUB
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	BIKE STORAGE UNIT
	COMPOST, WASTE & RECYCLING BINS

EXISTING TREE LEGEND

#	DIA. (m)	SPRD. (m)	HGT. (m)	TYPE	TREE ID#	STATUS	LOCATION
T1	0.05	2.00	3.00	DECIDUOUS		TO BE REMOVED (PARCEL)	
T2	0.10	2.00	4.00	DECIDUOUS		TO BE REMOVED (PARCEL)	
T3	---	3.00	2.50	SHRUB		TO REMOVED (CITY SHRUB)	
T4	0.15	1.50	8.00	CONIFEROUS		TO BE REMOVED (PARCEL)	
T5	0.10	2.00	5.00	DECIDUOUS		TO BE REMOVED (PARCEL)	
T6	---	1.00	1.80	SHRUB		TO BE REMOVED (PARCEL)	
T7	0.15	1.50	8.00	CONIFEROUS		TO BE REMOVED (PARCEL)	
T8	---	2.00	2.00	SHRUB		TO BE REMOVED (PARCEL)	
T9	0.70	6.00	8.00	DECIDUOUS		TO BE REMOVED (PARCEL)	
T10	0.15	1.50	1.00	CONIFEROUS		TO BE REMOVED (PARCEL)	
T11	0.50	3.00	5.00	DECIDUOUS		TO BE REMOVED (PARCEL)	
T12	0.15	1.50	1.00	CONIFEROUS		TO BE REMOVED (PARCEL)	
T13	0.05	1.50	3.50	DECIDUOUS		TO BE REMOVED (PARCEL)	
T14	---	0.50	1.10	SHRUB		TO BE REMOVED (PARCEL)	
T15	0.05	2.00	4.00	DECIDUOUS		TO BE REMOVED (PARCEL)	
T16	0.30	1.50	10.00	DECIDUOUS		TO REMAIN (NEIGHBOR)	
T17	0.05	1.00	2.50	DECIDUOUS		TO REMAIN (NEIGHBOR)	

PROPOSED TREE LEGEND

#	DIA. (m)	SPRD. (m)	HGT. (m)	TYPE	SPECIES	STATUS	LOCATION
T18	0.60	---	---	DECIDUOUS	PRUNUS NIGRA, Princess Kay	TO BE PLANTED (X2)	(PRIVATE)
T19	---	---	2.00	CONIFEROUS	THUJA OCCIDENTALIS	TO BE PLANTED (X3)	(PRIVATE)
S1	---	0.60	0.60	SHRUB	JUNIFERIS COMMUNIS	TO BE PLANTED (X6)	(PRIVATE)
S2	---	0.60	0.60	SHRUB	SYRINGA MEYERII	TO BE PLANTED (X7)	(PRIVATE)



FRONT ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

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EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
2	6" ALUMINUM FASCIA
3	VENTED ALUMINUM SOFFIT
4	4" COMPOSITE CORNER BOARD
5a	COMPOSITE VERT. SIDING (LIGHT)
5b	COMPOSITE VERT. SIDING (DARK)
6a	COMPOSITE HORIZ. SIDING (LIGHT)
6b	COMPOSITE HORIZ. SIDING (DARK)
7a	COMPOSITE BOARD & BATTEN (LIGHT)
7b	COMPOSITE BOARD & BATTEN (DARK)
8a	COMPOSITE SMOOTH PANEL (LIGHT)
8b	COMPOSITE SMOOTH PANEL (DARK)
9	COMPOSITE TONGUE & GROOVE (WOOD)
10	VINYL OR WOOD WINDOWS TBD.
11	FIBREGLASS OR WOOD DOOR TBD.
12	GLASS OR SPINDLES RAILING TBD.
13	STEEL OR WOOD INSUL. O/H DOOR
14	BRICK VENEER (DARK)



REAR ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



LEFT ELEVATION (SOUTH)
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2111 15 ST SW

LEGAL ADDRESS

LOTS 6 & 7, BLOCK 11, PLAN 261L

PROJECT

BANKVIEW 4 UNIT

DESIGN: SJ/PR | DRAWN: PR | CHECKED: SJ

PROJECT # 25-3-MH-TD-048

SCALE

3/16" = 1'-0"

TITLE

ELEVATIONS

ZONING

R-CG

PAGE

A6

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GARAGE	TOTAL	000
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	UNIT B STALL	000
	UNIT C STALL	000
	UNIT D STALL	000

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SCALE

3/16" = 1'-0"

TITLE

GARAGE DRAWINGS

ZONING R-CG

PAGE

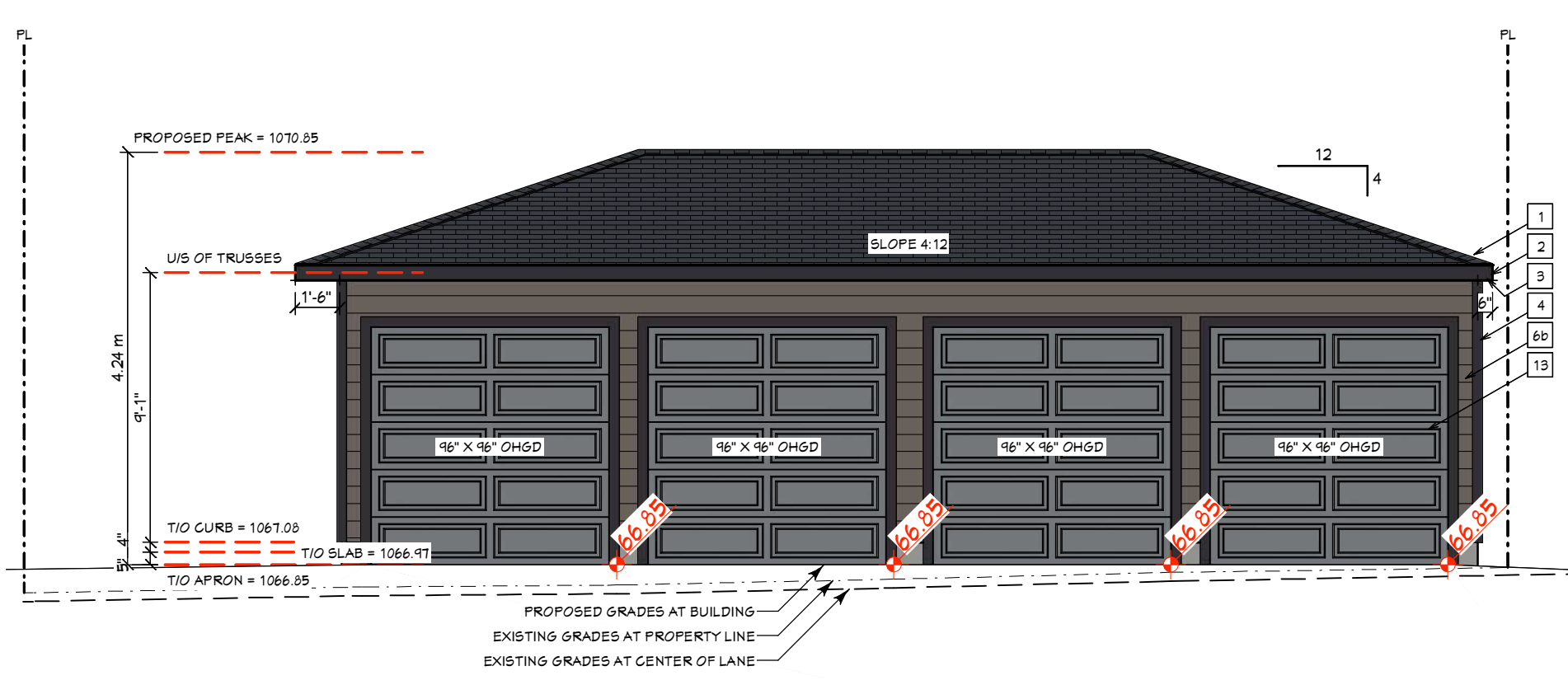
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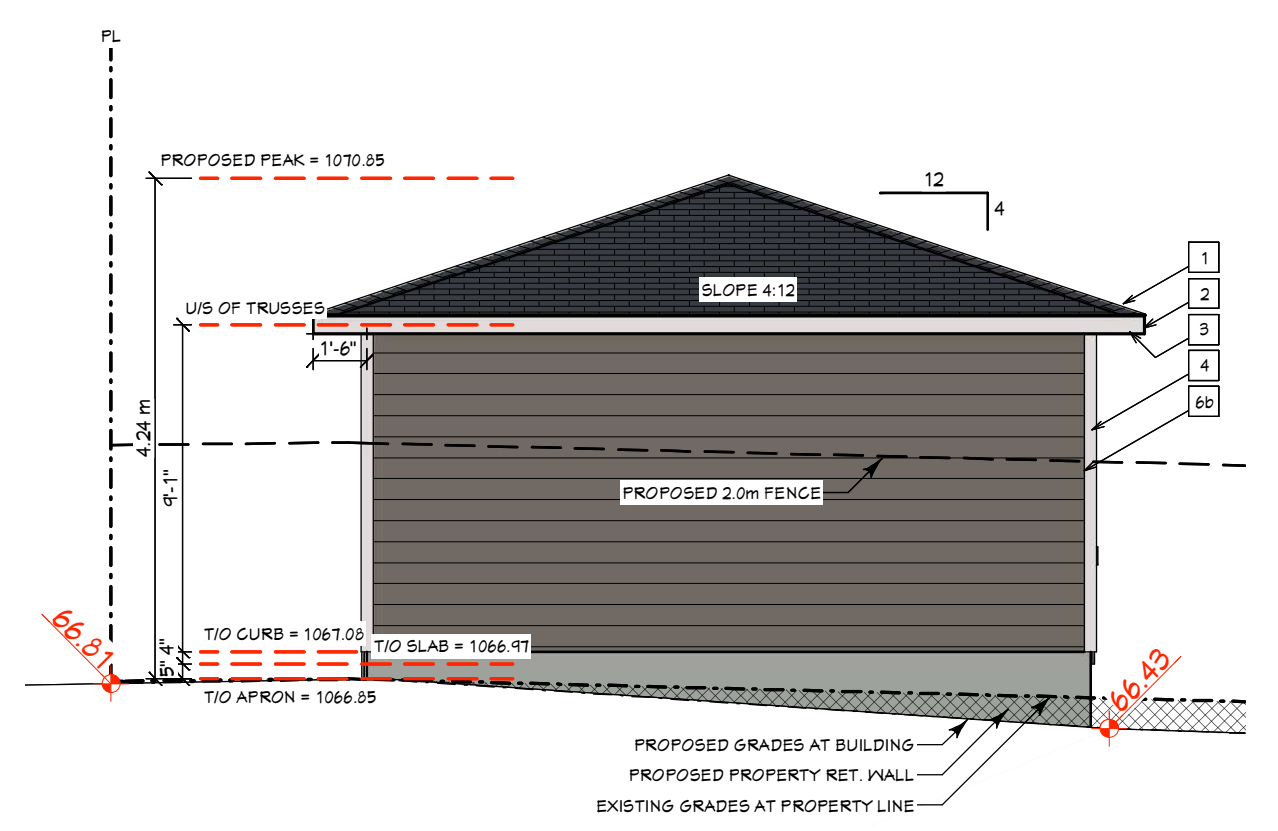
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2026-05-07

EXTERIOR CLADDING SCHEDULE

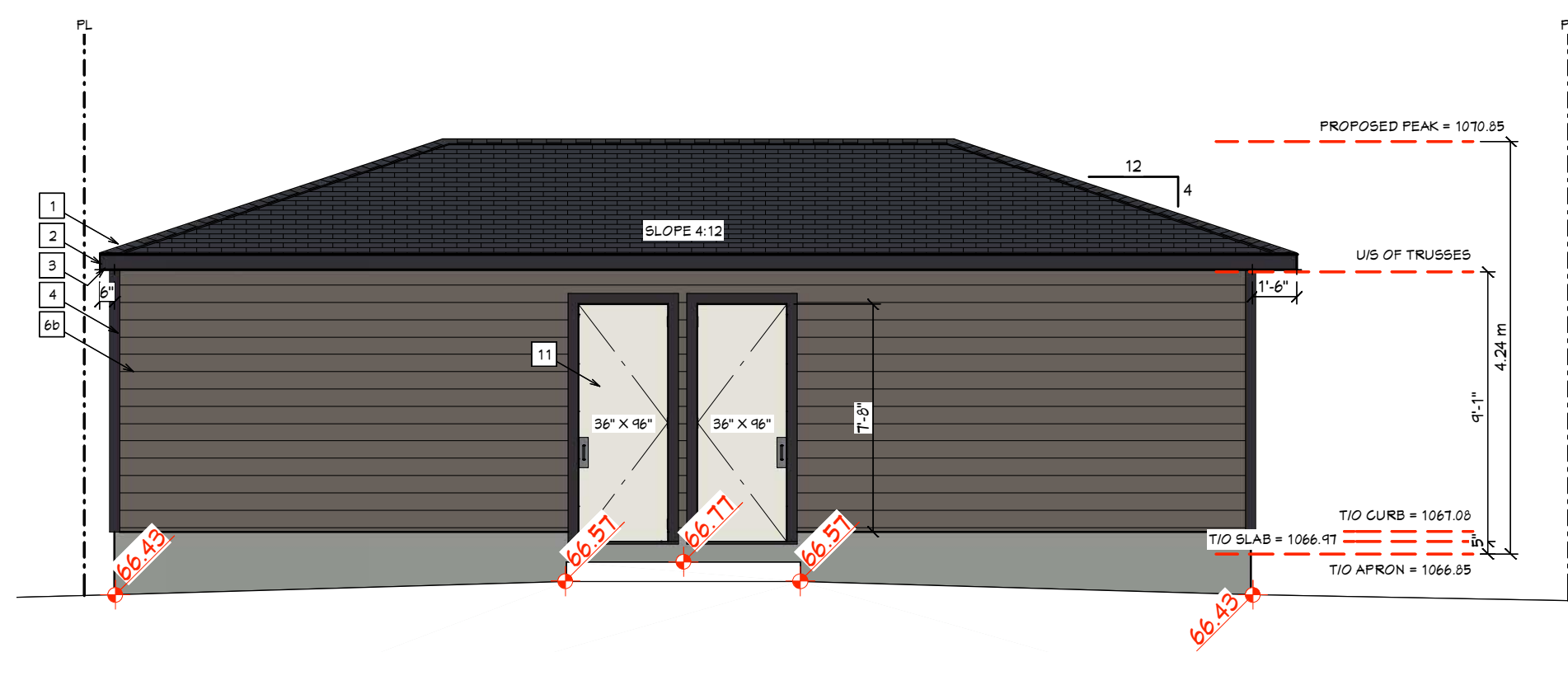
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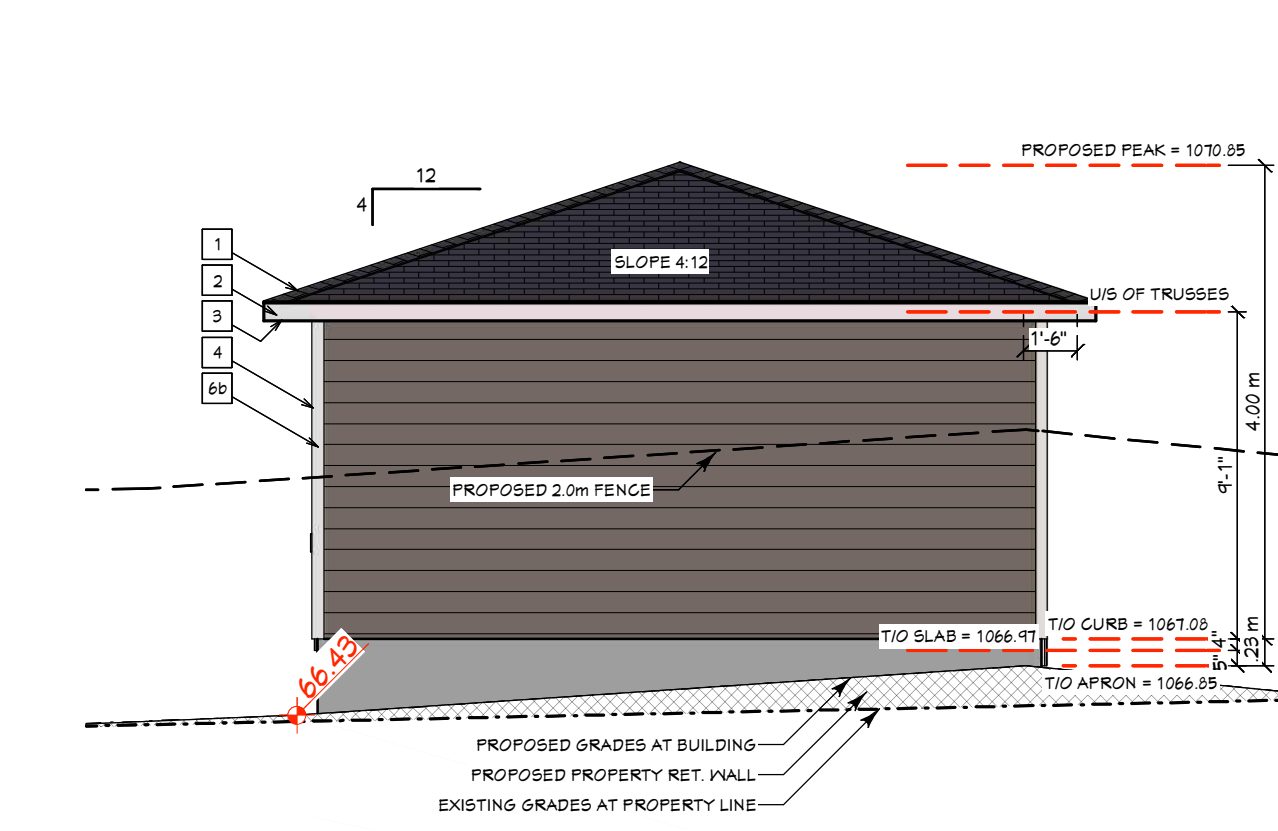
LANE ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



YARD ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



LEFT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

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