

PROPOSED STORAGE BUILDING

5150 -76th Ave SE, CALGARY ALBERTA (UNIT -2)

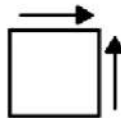
ISSUED FOR DEVELOPMENT PERMIT



HYBRIZZE DESIGN INC.

ARCHITECTURAL

- A0.1 - MUNICIPAL AND BYLAW REVIEW
- A0.2 - SITE PLAN
- A0.3- SITE PHOTOS
- A0.4- FOUNDATION PLAN/MAIN FLOOR/TRUSS PLAN
- A0.5- BUILDING CODE REVIEW AND EXTERIOR ELEVATIONS



RICHARDS CONSULTING
AND ASSOCIATED
LIMITED

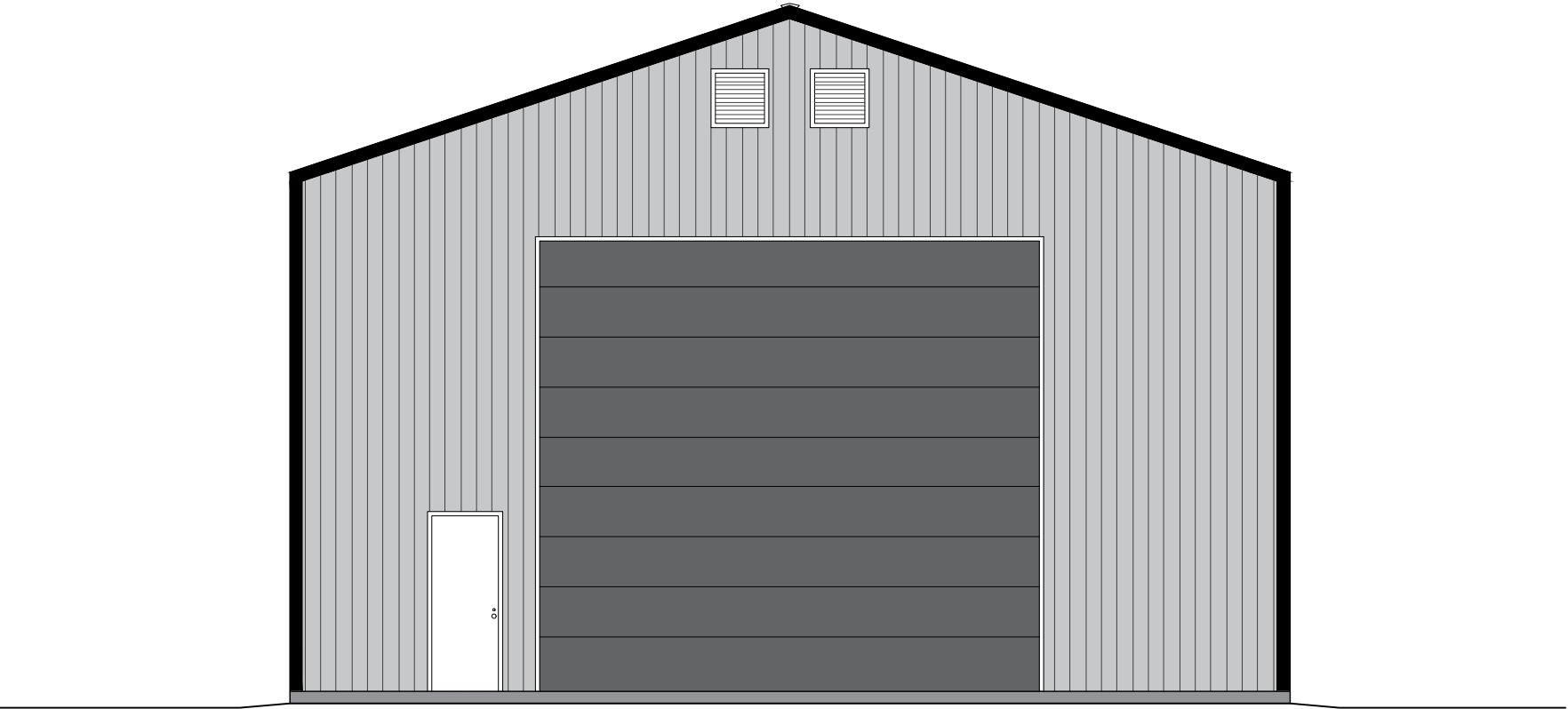
STRUCTURAL

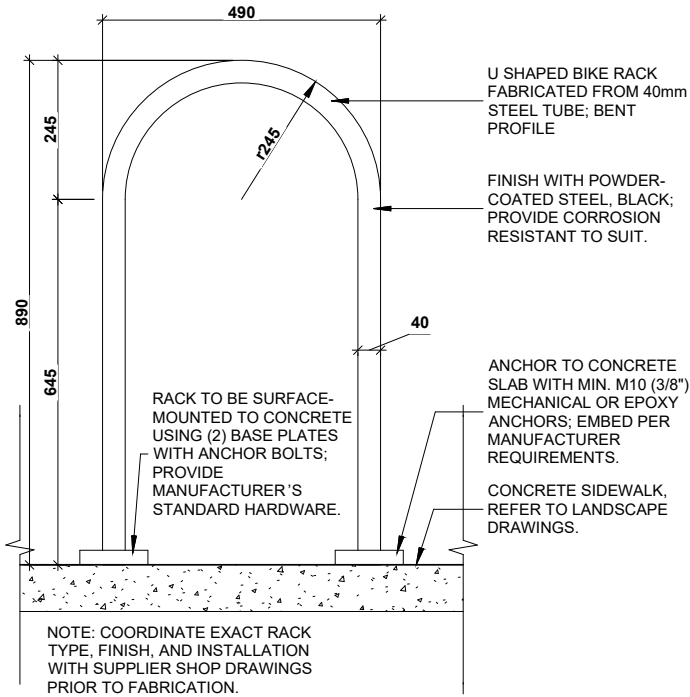
- A1.0 - SITE PLAN
- A2.0 - BUILDING ELEVATIONS
- A3.0 - MAIN FLOOR PLAN
- A5.0 - CONSTRUCTION ASSEMBLIES,
DOOR/WINDOW SCHEDULES & RSI
CALCULATIONS
- S1.0 - GENERAL NOTES
- S2.0 - FOUNDATION PLAN
- S3.0 - BUILDING SECTIONS
- S4.0 - WALL SECTIONS
- S6.0 - TRUSS PLAN
- S7.0 - DETAILS
- S7.1 - DETAILS
- S7.2 - DETAILS
- S7.3 - END WALL DETAILS
- S7.4 - SIDE WALL DETAILS

AMENDED DRAWINGS

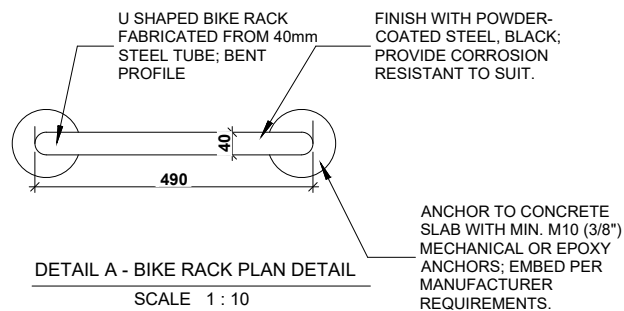
DP No Date Received
DP2026-01144 JUN 23 2026

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.





DETAIL A - BIKE RACK FRONT DETAIL
SCALE 1 : 10

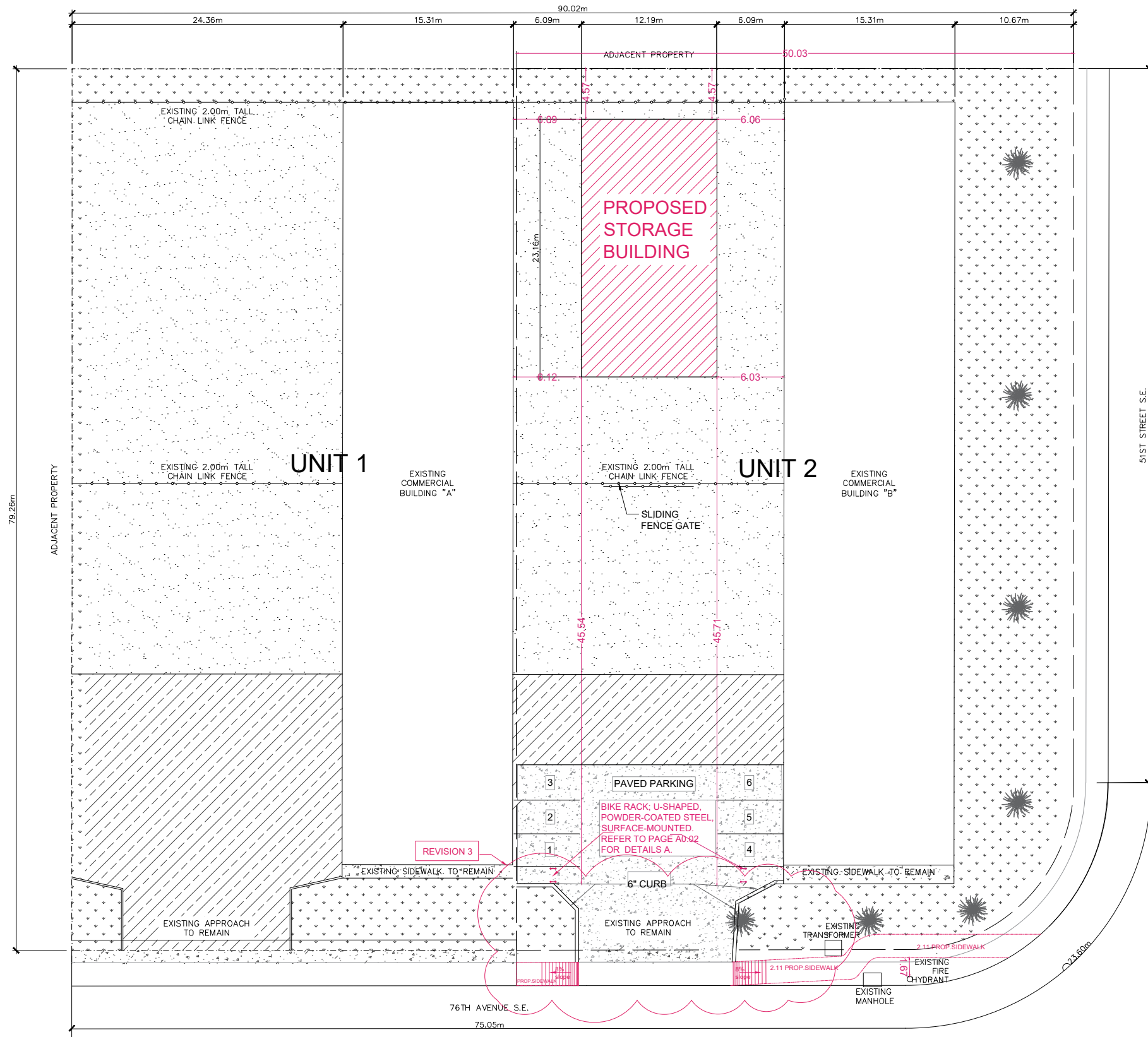
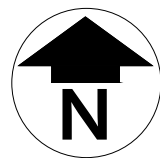


DETAIL A - BIKE RACK PLAN DETAIL
SCALE 1 : 10

CALGARY, ALBERTA

LEGAL LAND DESCRIPTION: LOT 3, BLOCK 7, PLAN 801 0816
CIVIL ADDRESS: 5150 – 76TH AVENUE SE
LAND ZONING: INDUSTRIAL – GENERAL (I-G)
BUILDING USE: LIGHT INDUSTRIAL

BUILDING USE:	LIGHT INDUSTRIAL	
REGULATION:	REQUIRED:	PROPOSED:
SITE AREA:	3912.92 m ² (42118 ft ²)	
BUILDING AREA:	BUILDING B: 1050.27 m ² (11305.01 ft ²) BUILDING C: 282.43 m ² (3040.00 ft ²) TOTAL: 1332.7 m ² (14343 ft ²)	
BUILDING HEIGHT:	NO RESTRICTION	8.38 m (27'-6")
SETBACKS:		
FRONT YARD SOUTH:	4.00 m (13'-1 1/2")	51.52m
REAR YARD NORTH:	1.20 m (3'-11 1/4")	4.57m
FRONT YARD EAST:	4.00 m (13'-1 1/2")	6.06m
SIDE YARD WEST:	1.20 m (3'-11 1/4")	6.09m



1
A1.0
SITE PLAN
SCALE : 1:200

AMENDED DRAWINGS
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ISSUES

17/06/26
05/05/26
23/01/26

REVISIONS
02



HYBRIZE DESIGN INC.
ARCHITECTURAL | ENGINEERING
DESIGN & BUILD
727 7th Avenue Calgary, AB

PROPOSED
STORAGE BUILDING

5150 -76th Ave SE, CALGARY ALBERTA
UNIT 2

SITE PLAN

PROJECT NO: J-333

SCALE

DRAWN BY :SP

CHECKED BY :PS

AUTHORITY HAVING JURISDICTION
SEAL (AS REQUIRED)

CERTIFIED PROFESSIONAL'S SEAL &
SIGNATURE (AS REQUIRED)

ITEM	NAME	DESCRIPTION	NOTES	REFERENCE
1	CONSTRUCTION TYPE	NEW-BUILD, COMBUSTIBLE CONSTRUCTION	Commercial storage building	Div. B, Articles 3.1.5. & 3.2.2.
2	MAJOR OCCUPANCY	GROUP F-3, LOW HAZARD INDUSTRIAL OCCUPANCY	Storage building	Div. B, Articles 3.1.2.1. & 1.4.1.2.
3	PROFESSIONAL DESIGN AND REVIEW	PROFESSIONAL INVOLVEMENT, GENERAL	Required per Alberta Safety Codes Act	2.4.1.1.(1)(b)
4	BUILDING AREA	282.43 m²	Gross building area	Div. B, Article 1.4.1.2. (Definitions)
5	NUMBER OF STOREYS	1 STOREY	No mezzanine	Div. B, Articles 1.4.1.2. & 3.2.2..
6	LIMITING DISTANCE	N = 4.57 m S = 5.47 m E = 6.06 m W = 6.09 m	Measured to nearest property line	Div. B, Article 3.2.3.1.
7	MAX BUILDING HEIGHT	8.33 m	Measured from finished grade to top of parapet	Div. B, Subsection 3.2.2.

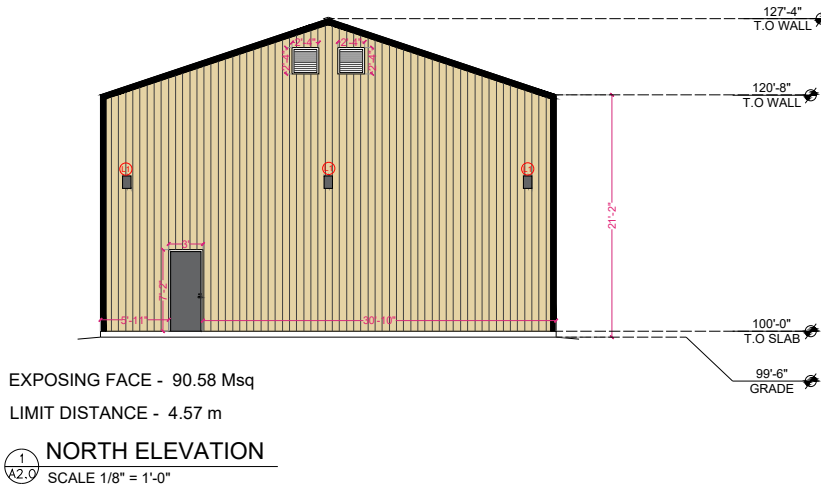
EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF, DOWNWARD DIRECTED AND SHIELDED TO PREVENT GLARE AND LIGHT TRESPASS ONTO ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT PERMIT PLANS.

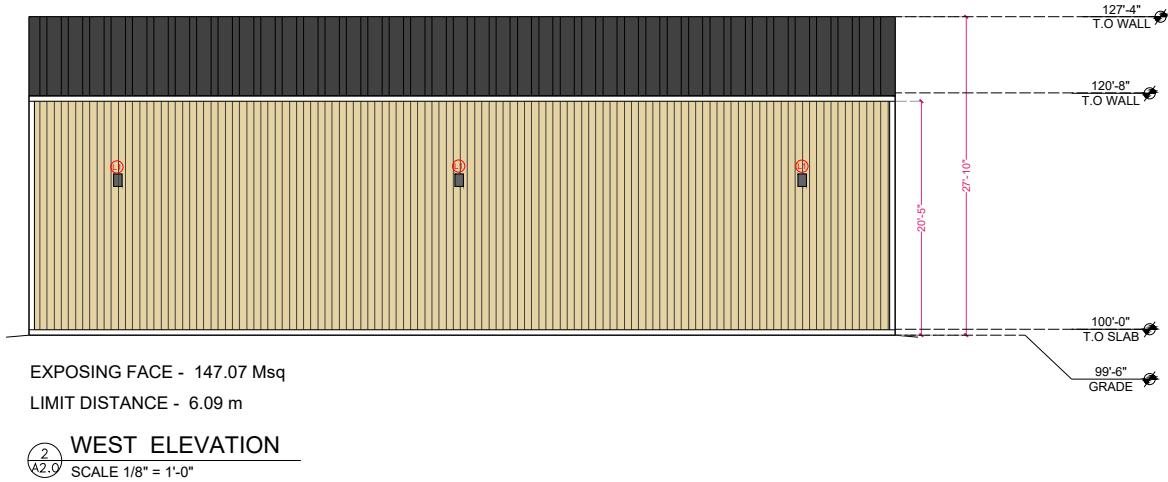
L1 - WALL MOUNTED FULL CUT-OFF LED FIXTURE
MOUNTING HEIGHT = 4.0 m AFG

AMENDED DRAWINGS

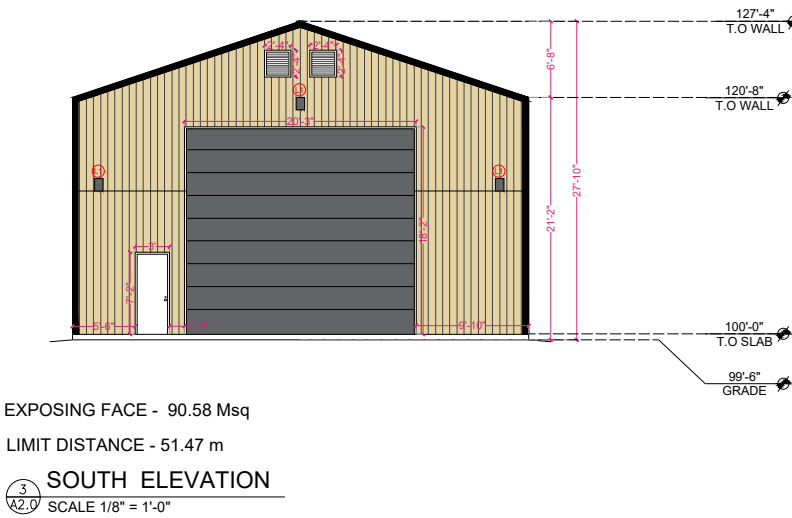
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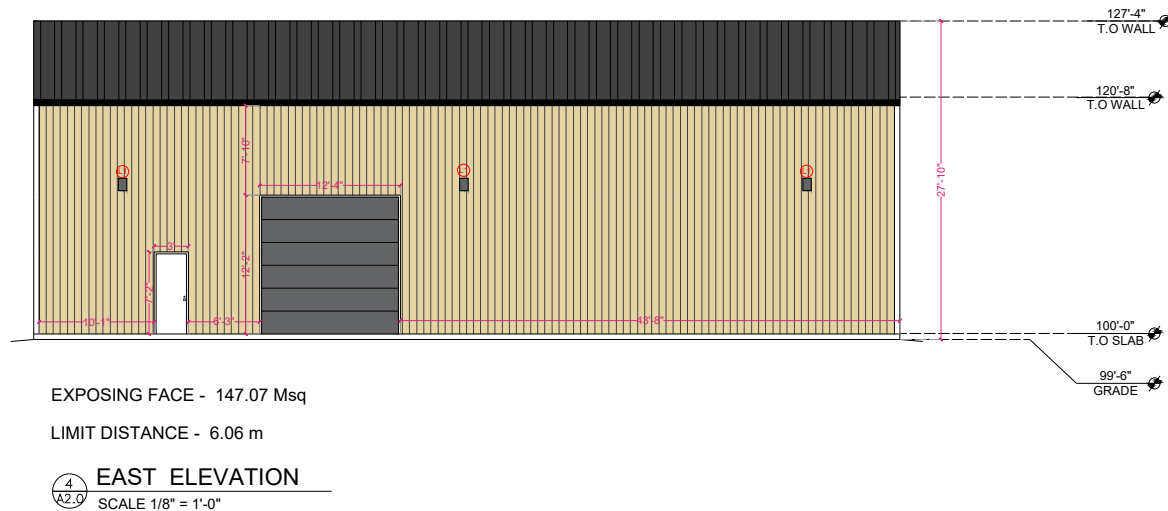
EXPOSING FACE - 90.58 Msq
LIMIT DISTANCE - 4.57 m



EXPOSING FACE - 147.07 Msq
LIMIT DISTANCE - 6.09 m



EXPOSING FACE - 90.58 Msq
LIMIT DISTANCE - 51.47 m



EXPOSING FACE - 147.07 Msq
LIMIT DISTANCE - 6.06 m

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23/01/26

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BUILDING CODE
REVIEW AND
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