

PROPOSED STORAGE BUILDING

5150 -76th Ave SE, CALGARY ALBERTA (UNIT -2)

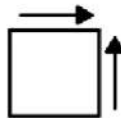
ISSUED FOR DEVELOPMENT PERMIT



HYBRIZZE DESIGN INC.

ARCHITECTURAL

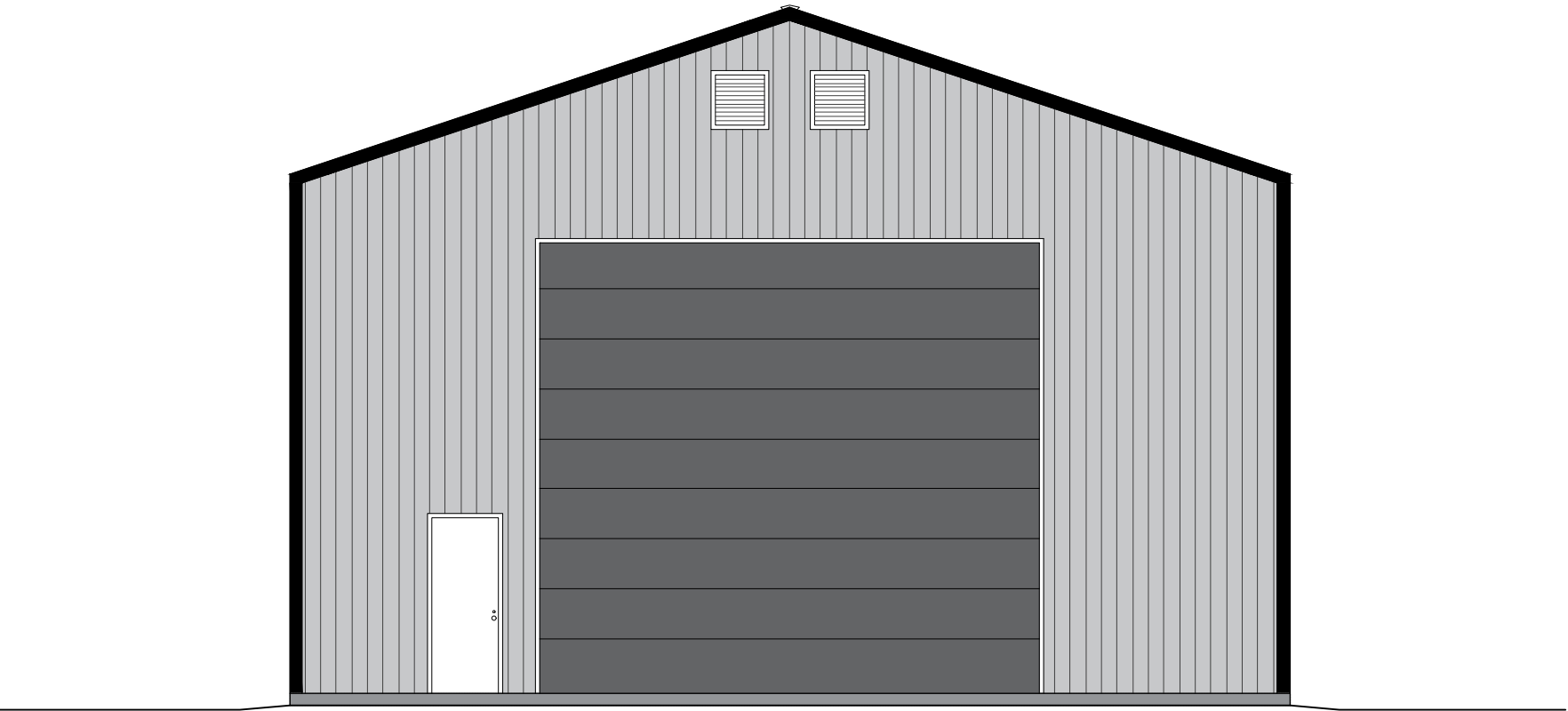
- A0.1 - MUNICIPAL AND BYLAW REVIEW
- A0.2 - SITE PLAN
- A0.3- SITE PHOTOS
- A0.4- FOUNDATION PLAN/MAIN FLOOR/TRUSS PLAN
- A0.5- BUILDING CODE REVIEW AND EXTERIOR ELEVATIONS



RICHARDS CONSULTING
AND ASSOCIATED
LIMITED

STRUCTURAL

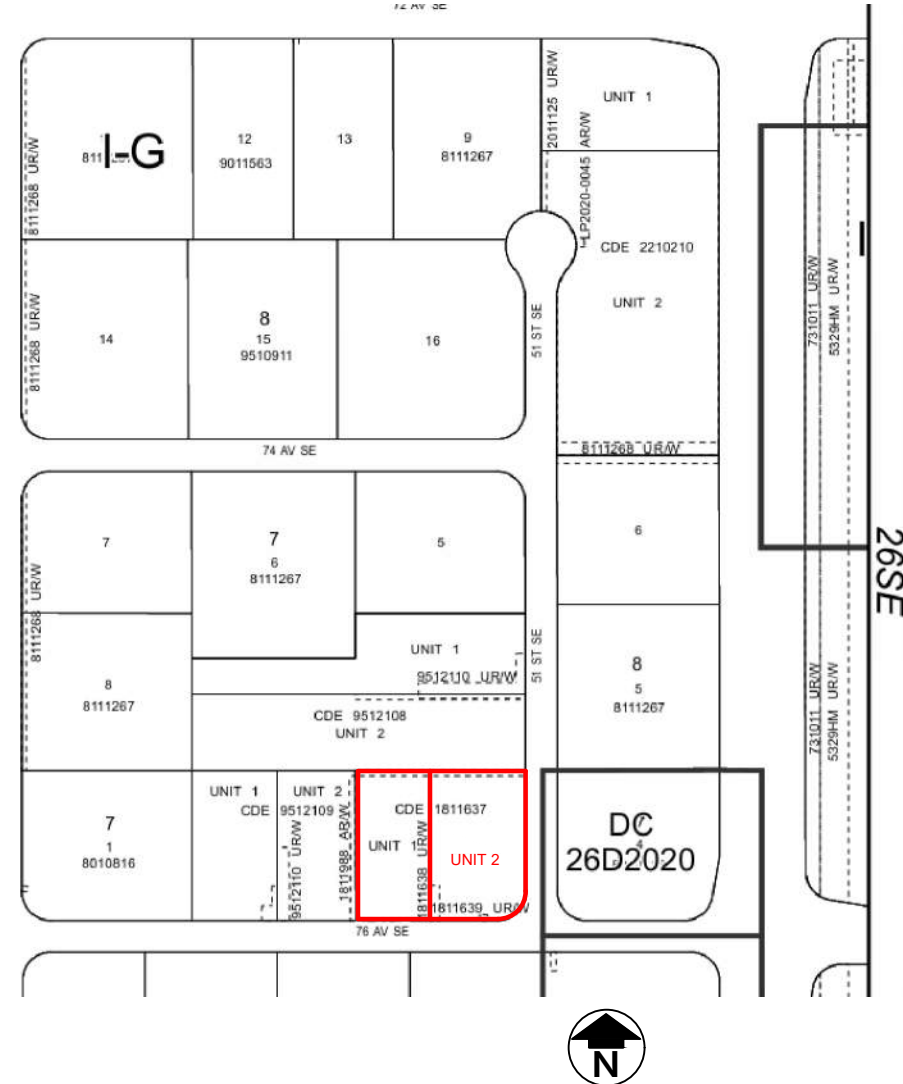
- A1.0 - SITE PLAN
- A2.0 - BUILDING ELEVATIONS
- A3.0 - MAIN FLOOR PLAN
- A5.0 - CONSTRUCTION ASSEMBLIES,
DOOR/WINDOW SCHEDULES & RSI
CALCULATIONS
- S1.0 - GENERAL NOTES
- S2.0 - FOUNDATION PLAN
- S3.0 - BUILDING SECTIONS
- S4.0 - WALL SECTIONS
- S6.0 - TRUSS PLAN
- S7.0 - DETAILS
- S7.1 - DETAILS
- S7.2 - DETAILS
- S7.3 - END WALL DETAILS
- S7.4 - SIDE WALL DETAILS



AMENDED DRAWINGS

DP No	Date Received
DP2026-01144	JUL 27 2026

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



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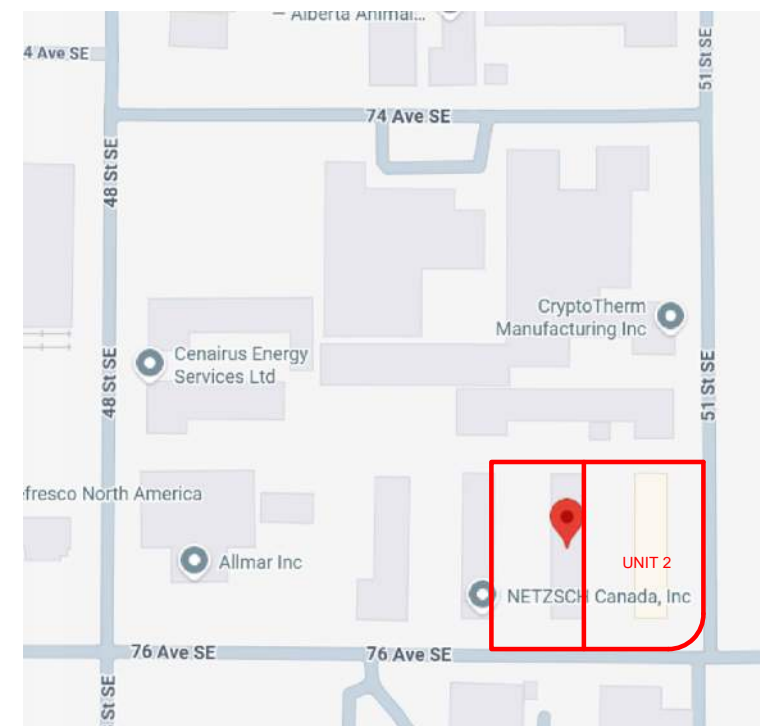


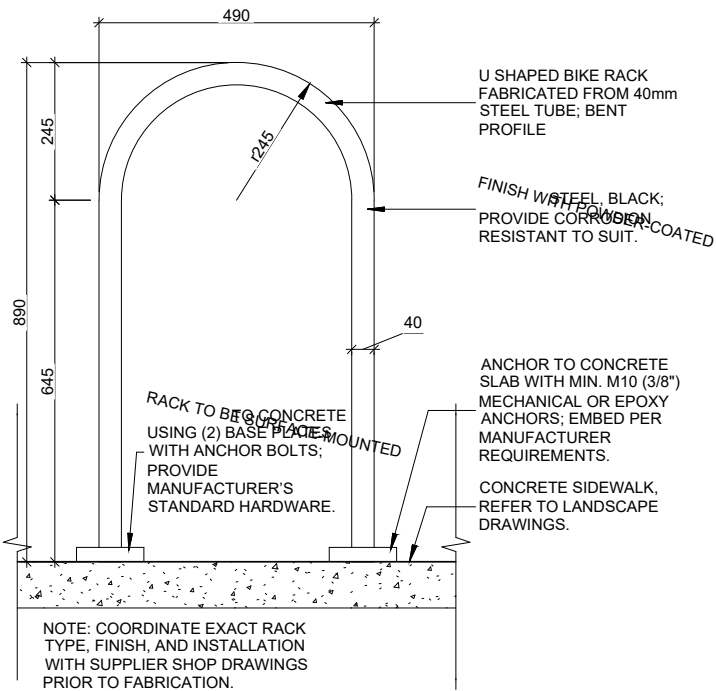
5150 -76th Ave SE, CALGARY ALBERTA
UNIT 2

CHECKED BY :PS

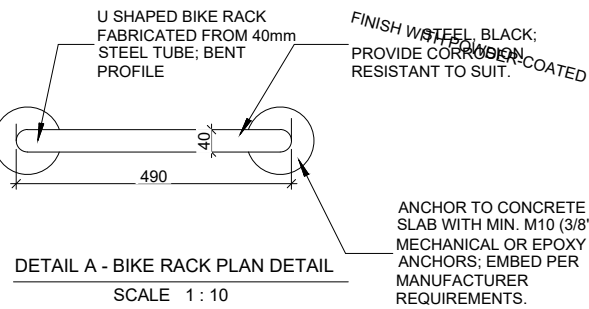
CERTIFIED PROFESSIONAL'S SEAL &
SIGNATURE (AS REQUIRED)

ITEM	NAME	DESCRIPTION	NOTES	REFERENCE
1	LAND USE DISTRICT	I4 – Industrial General District	As per Land Use Map	Part 8
2	LEGAL DESCRIPTION OF PROPERTY	Lot 3, Block 7, Plan 8010816	—	—
3	MUNICIPAL ADDRESS	5150 – 76 Avenue SE, Calgary, Alberta	—	—
4	BUILDING AREA (PROPOSED)	282.43 m ²	Ground Floor Area	—
5	PARCEL AREA	3912.92 m ²	From Land Title / RPR	—
6	PERMITTED / DISCRETIONARY USE	Storage Facility – Discretionary	Subject to approval	Part 3
7	FLOOR AREA RATIO (FAR)	1.0	0.34	Section 911
8	BUILDING HEIGHT	No Restriction	Proposed: 8.48 m	Section 912
9	USE AREA	No maximum use area specified	Entire building used for storage	Part 3
10	LOCATION OF USES WITHIN BUILDING	Entire building	Storage use	Section 907
11	FRONT SETBACK AREA	6	Provided: 51.47 m	Section 915
12	REAR SETBACK AREA	1.2	Provided: 4.57 m	Section 916
13	SIDE SETBACK AREA	1.2	Provided: 6.09 m	Section 917
14	PROJECTIONS INTO SETBACK AREAS	Eaves may project up to 0.6 m	Complies	Section 689
15	LANDSCAPING IN SETBACK AREAS	Required where setback provided	Refer Site Plan A0.03	918
16	MOTOR VEHICLE PARKING	No minimum requirement specified	Parking provided on site	
17	LOADING STALLS	0 loading stalls required where GFA ≤ 930.0 m ²	Complies (282.86 m ²)	Section 123(5)





DETAIL A - BIKE RACK FRONT DETAIL
SCALE 1 : 10

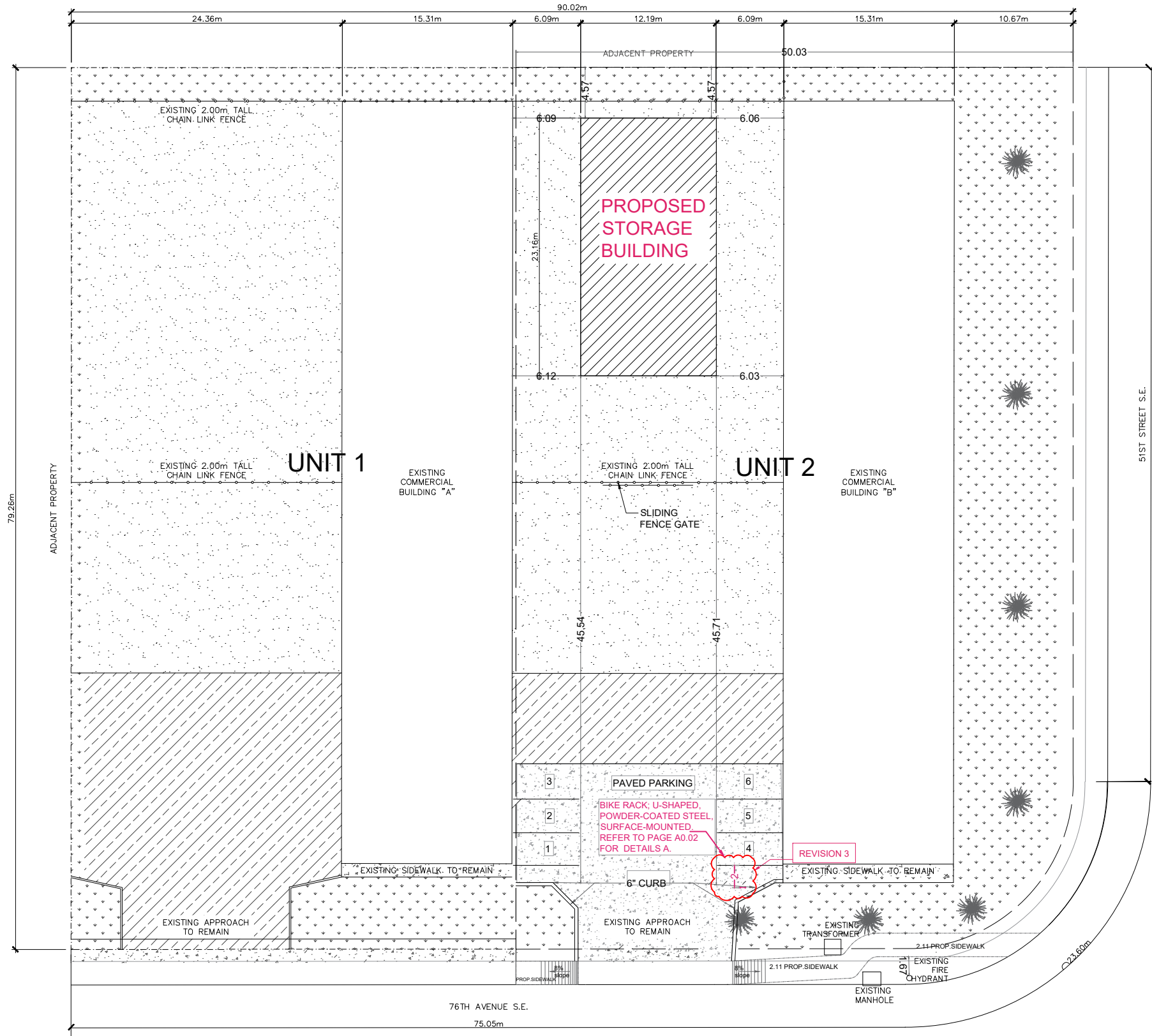
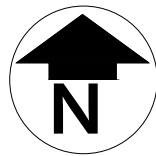


DETAIL A - BIKE RACK PLAN DETAIL
SCALE 1 : 10

CALGARY, ALBERTA

LEGAL LAND DESCRIPTION: LOT 3, BLOCK 7, PLAN 801 0816
CIVIL ADDRESS: 5150 – 76TH AVENUE SE
LAND ZONING: INDUSTRIAL – GENERAL (I-G)
BUILDING USE: LIGHT INDUSTRIAL

BUILDING USE:	LIGHT INDUSTRIAL	
REGULATION:	REQUIRED:	PROPOSED:
SITE AREA:	3912.92 m ² (42118 ft ²)	
BUILDING AREA:	BUILDING B: 1050.27 m ² (11305.01 ft ²) BUILDING C: 282.43 m ² (3040.00 ft ²) TOTAL: 1332.7 m ² (14343 ft ²)	
BUILDING HEIGHT:	NO RESTRICTION	8.38 m (27'-6")
SETBACKS:		
FRONT YARD SOUTH:	4.00 m (13'-1 1/2")	51.52m
REAR YARD NORTH:	1.20 m (3'-11 1/4")	4.57m
FRONT YARD EAST:	4.00 m (13'-1 1/2")	6.06m
SIDE YARD WEST:	1.20 m (3'-11 1/4")	6.09m



1
A1.0
SITE PLAN
SCALE : 1:200

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25/07/26	2	RE ISSUED FOR DP



HYBRIZE DESIGN INC.
+15195741993
info@hybrizedesign.com

PROPOSED
STORAGE
BUILDING

PROJECT NO: J-333

SITE PLAN

5150 -76th Ave SE, CALGARY ALBERTA
UNIT 2

DRAWN BY :SP

CHECKED BY :PS

CERTIFIED PROFESSIONAL'S SEAL &
SIGNATURE (AS REQUIRED)

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SITE PHOTOS

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UNIT 2

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CHECKED BY :PS

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1 PHOTO 1
NTS



2 PHOTO 2
NTS



3 PHOTO 3
NTS



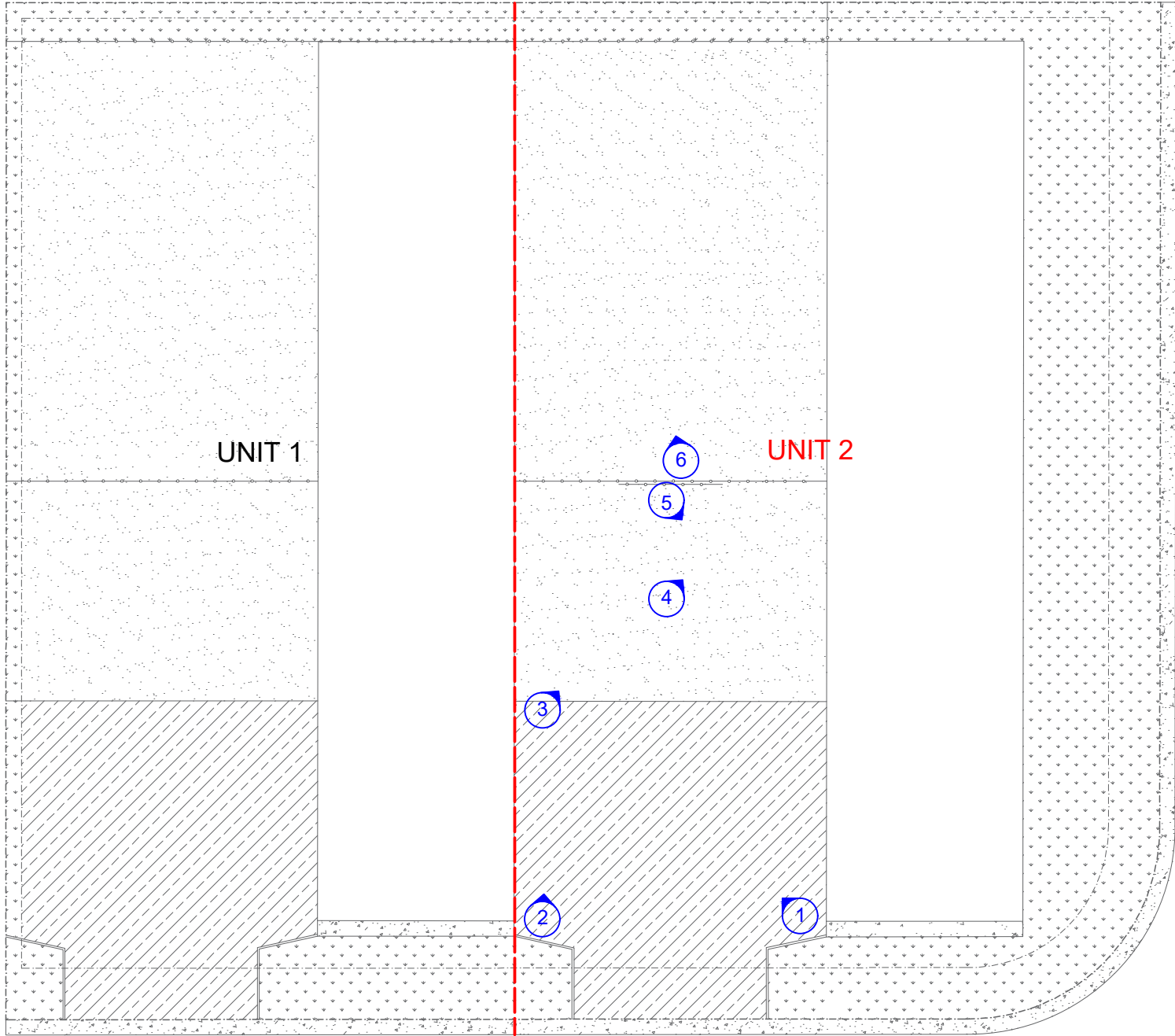
4 PHOTO 4
NTS



5 PHOTO 5
NTS



6 PHOTO 6
NTS



EXISTING SITE PHOTOS 1 KEY PLAN

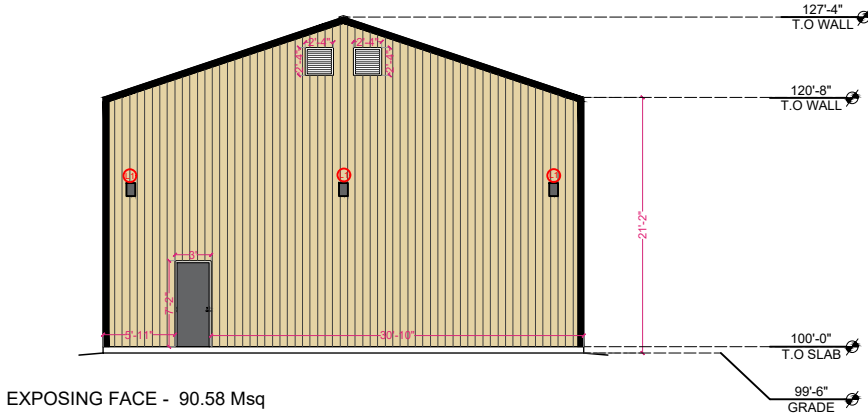
NATIONAL BUILDING CODE 2023 – ALBERTA EDITION

ITEM	NAME	DESCRIPTION	NOTES	REFERENCE
1	CONSTRUCTION TYPE	NEW-BUILD, COMBUSTIBLE CONSTRUCTION	Commercial storage building	Div. B, Articles 3.1.5. & 3.2.2.
2	MAJOR OCCUPANCY	GROUP F-3, LOW HAZARD INDUSTRIAL OCCUPANCY	Storage building	Div. B, Articles 3.1.2.1. & 1.4.1.2.
3	PROFESSIONAL DESIGN AND REVIEW	PROFESSIONAL INVOLVEMENT, GENERAL	Required per Alberta Safety Codes Act	2.4.1.1.(1)(b)
4	BUILDING AREA	282.43 m²	Gross building area	Div. B, Article 1.4.1.2. (Definitions)
5	NUMBER OF STOREYS	1 STOREY	No mezzanine	Div. B, Articles 1.4.1.2. & 3.2.2..
6	LIMITING DISTANCE	N = 4.57 m S = 5.47 m E = 6.06 m W = 6.09 m	Measured to nearest property line	Div. B, Article 3.2.3.1.
7	MAX BUILDING HEIGHT	8.33 m	Measured from finished grade to top of parapet	Div. B, Subsection 3.2.2.

EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF, DOWNWARD DIRECTED AND SHIELDED TO PREVENT GLARE AND LIGHT TRESPASS ONTO ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED DEVELOPMENT PERMIT PLANS.

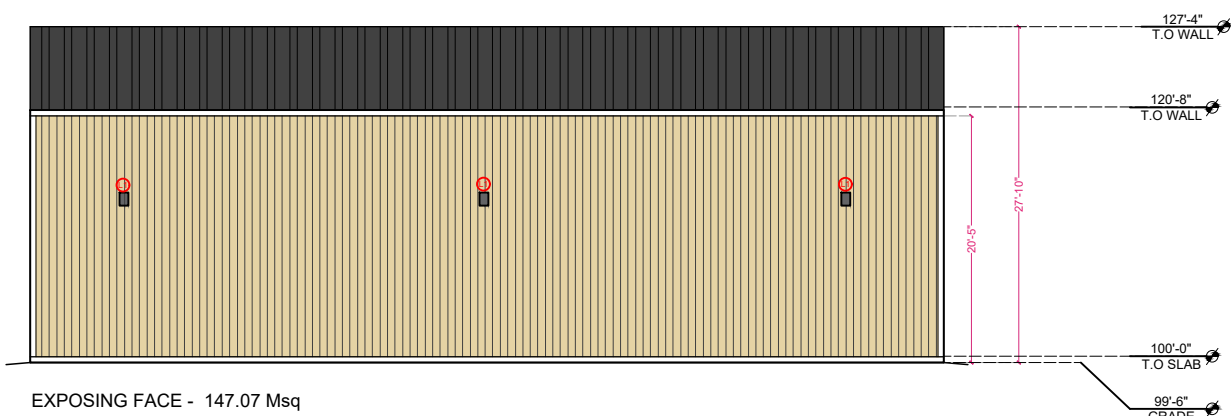
(L1) - WALL MOUNTED FULL CUT-OFF LED FIXTURE
MOUNTING HEIGHT = 4.0 m AFG



EXPOSING FACE - 90.58 Msq

LIMIT DISTANCE - 4.57 m

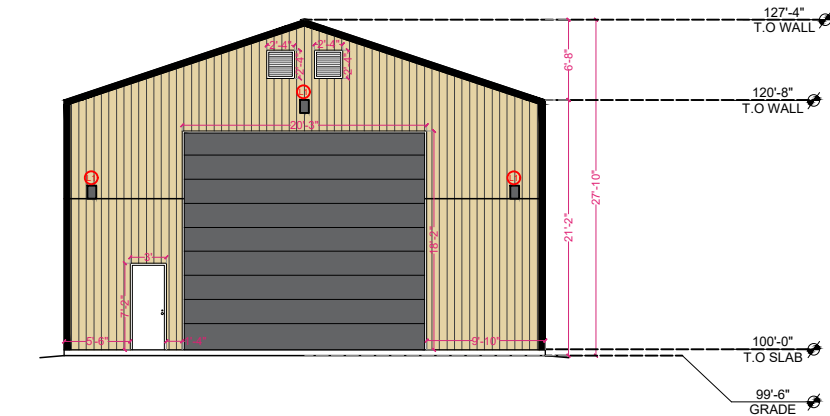
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



EXPOSING FACE - 147.07 Msq

LIMIT DISTANCE - 6.09 m

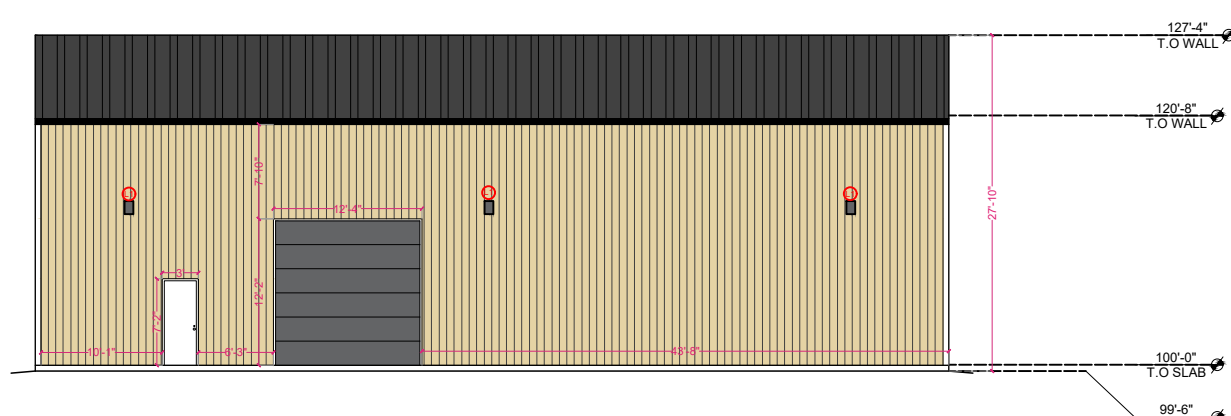
2 WEST ELEVATION
SCALE 1/8" = 1'-0"



EXPOSING FACE - 90.58 Msq

LIMIT DISTANCE - 51.47 m

3 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



EXPOSING FACE - 147.07 Msq

LIMIT DISTANCE - 6.06 m

4 EAST ELEVATION
SCALE 1/8" = 1'-0"

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