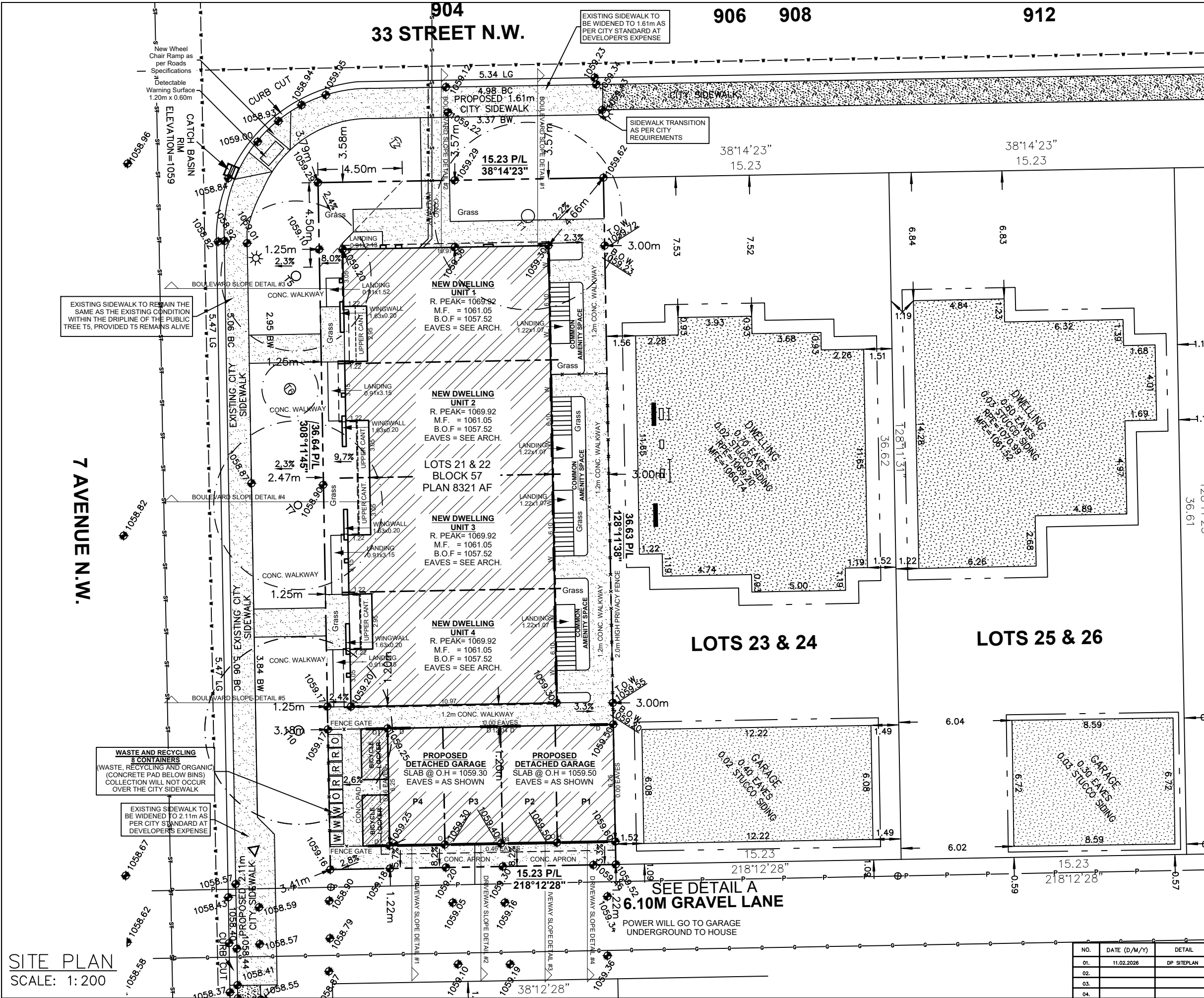




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

$\bullet$	denotes Calculation points
$\blacklozenge$	denotes Water Valve
$\blacklozenge$	denotes Gas Valve
$\bullet$	denotes Manhole
$\odot$	denotes Tree
$\oplus$	denotes Power Pole
$\triangle$	denotes Sign
$\odot$	denotes Light Standard
$\times$	denotes Fire Hydrant
-X-X-	denotes Fence
-S-	denotes Sanitary Line
-SF-	denotes Storm Line
-W-	denotes Water Line
-G-	denotes Gas Line
-E-	denotes Electrical Line
-A.G.T-	denotes A.G.T Line
- - - - -	denotes Utility Right of Way Line
- - - - -	denotes Property Line
- - - - -	denotes Door
- - - - -	denotes Main Floor Windows
- - - - -	denotes Second Floor Windows
- - - - -	denotes Basement Floor Windows
	denotes Shed Hatch
	denotes Detached Garage Hatch
	denotes Main Building Hatch
	denotes Concrete and Asphalt Hatch
	denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
Lots 21 & 22
Block 57
Plan 8321 AF

MUNICIPAL ADDRESS:
904 33 St. N.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(MULTI HOUSE)

LOT SIZE: 557.602 SQ M	TOTAL UNITS: 4
HOUSE: 252.944 SQ M	LOT SIZE: 557.602 SQ M (0.0557602 ha)
MAIN CANT: 0.000 SQ M	DENSITY: 72 UNITS/ha
GARAGE: 76.179 SQ M	
COVERED PORCH: 7.308 SQ M	PARKING PROVIDED: 4 STALLS
WING WALL: 0.407 SQ M	

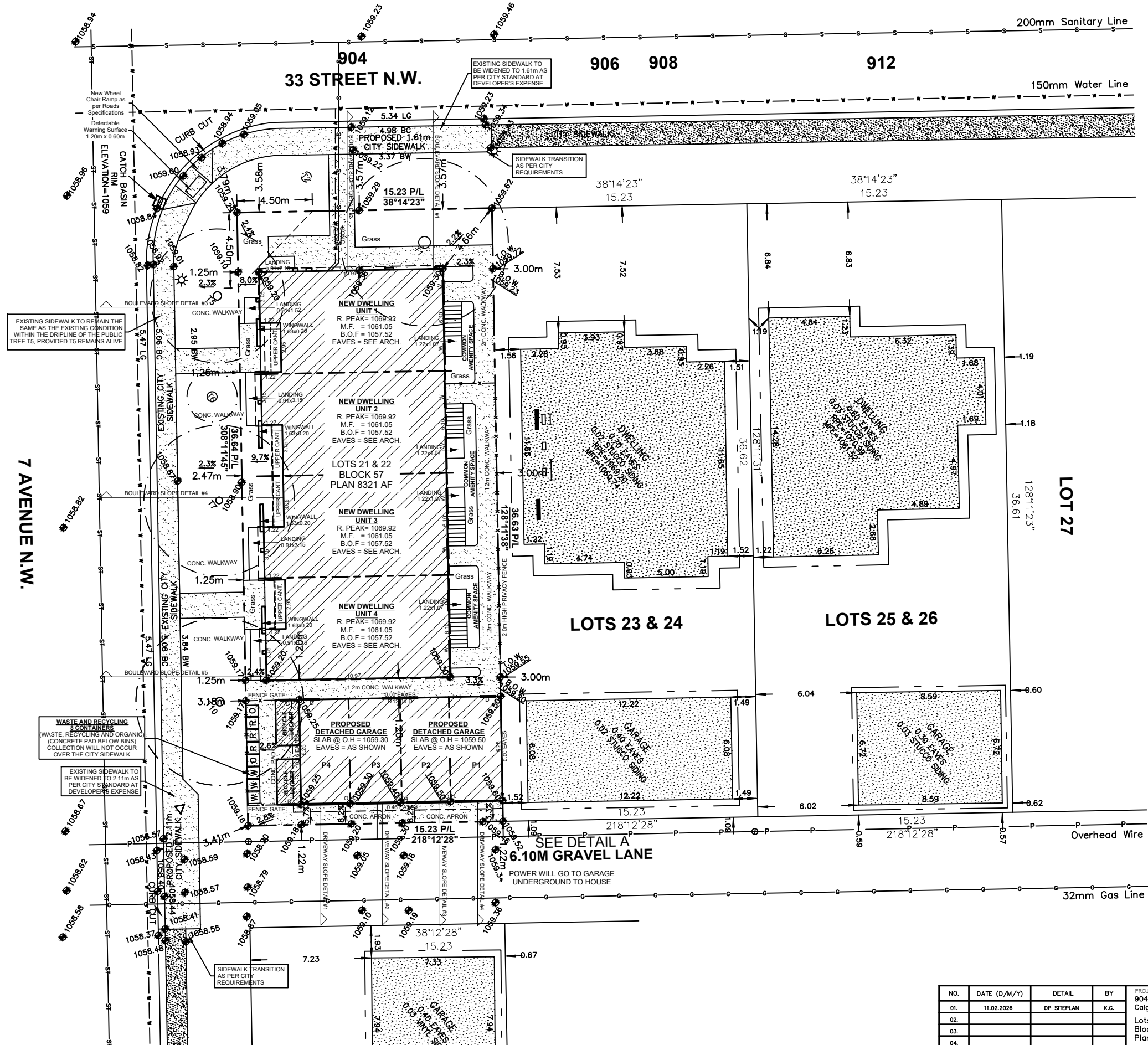
TOTAL : $\frac{336.838}{557.602}$
= 60.00%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	11.02.2026	DP SITEPLAN	K.G.	904 33 St. N.W. Calgary, Alberta	Multi-Family	1: 200
02.				Lots 21 & 22 Block 57		
03.				Plan 8321 AF		
04.						

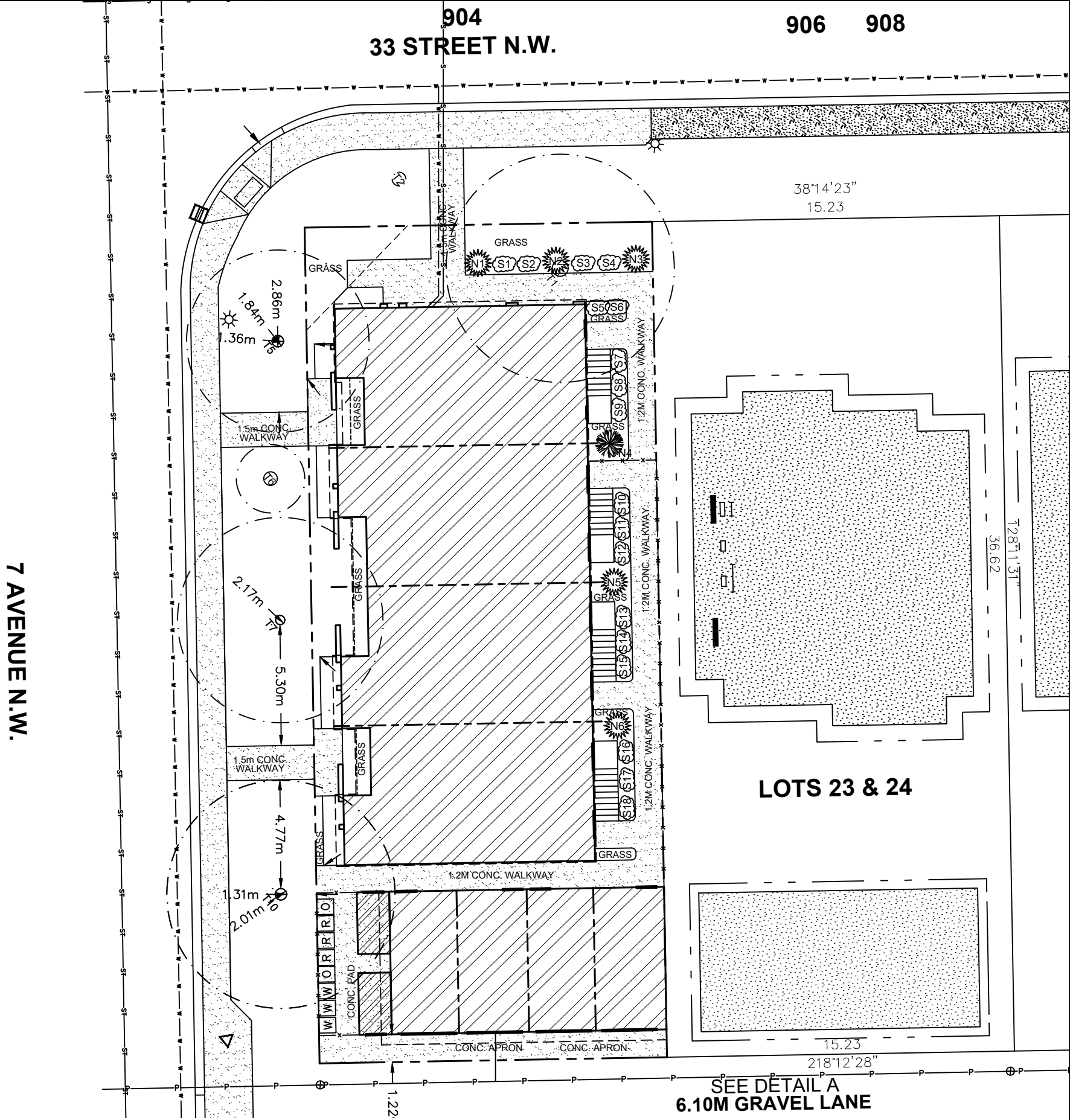
DATE:	DIVISION:	NUMBER:
FEB 11, 2026	S	01

SITE PLAN
SCALE: 1: 200

BLOCK PLAN
SCALE: 1:250



NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	11.02.2026	DP SITEPLAN	K.G.	904 33 St. N.W. Calgary, Alberta	Multi-Family	1: 250
02.				Lots 21 & 22 Block 57 Plan 8321 AF		
03.					DATE:	DIVISION NUMBER:
04.					FEB 11, 2026	S 02



LANDSCAPING PLAN

SCALE: 1:200

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Cutleaf Weeping Birch	0.70	10.00	8.00	In Subject Property	To Be Removed*
T2	Bush	—	0.60	1.00	In City Property	To Stay
T3	Bush	—	1.10	1.30	In Subject Property	To Be Removed
T4	Bush	—	1.25	1.20	In Subject Property	To Be Removed
T5	Green Ash	0.50	8.00	6.00	In City Property	To Stay
T6	Bush	0.60	3.00	3.00	In City Property	To Stay
T7	Green Ash	0.40	9.00	8.00	In City Property	To Stay
T8	Deciduous	0.60	10.00	9.00	In Subject Property	To Be Removed
T9	Deciduous	0.30	3.00	4.00	In Subject Property	To Be Removed
T10	Green Ash	0.50	10.00	6.00	In City Property	To Stay

NOTES:

—AN ACTIVE BIRD NEST IS PRESENT IN A TREE CAVITY IN THE CUTLEAF WEEPING BIRCH TREE 'T1' THE BIRD SPECIES IS A NORTHERN FLICKER — COLAPTES AURATUS, A PROTECTED SPECIES UNDER THE MBCA.
—T1 CAN ONLY BE REMOVED PROVIDED A QUALIFIED BIOLOGIST VERIFIES THE NEST CAVITY IS NO LONGER BEING INHABITED BY THE NORTHERN FLICKER SPECIES AND THE NEST CAVITY IS NOT SUITABLE FOR OTHER PROTECTED WOODPECKER SPECIES, SUCH AS THE PILEATED WOODPECKER.
—T5 IS PROPOSED TO STAY ONSITE. IF AT ANY POINT REMOVAL IS REQUIRED, DEVELOPER WILL NEED TO PAY THE REQUIRED COMPENSATION AND REMOVE AND REPLACE THE CITY SIDEWALK AS PER CITY REQUIREMENTS.

LANDSCAPING LEGEND

-  ----- denotes Deciduous Tree
-  ----- denotes Coniferous Tree
-  ----- denotes Shrubs

LANDSCAPING REQUIREMENTS:

LOT SIZE: 557.602 SQ M
1 TREE PER/110.000 SQM
3 SHRUBS PER/110.000 SQM
557.602/110.000 = 5.1

6 TREES
18 SHRUBS

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Amur Maple (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S2	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S3	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S4	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S5	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S6	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S7	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S8	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S9	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S10	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S11	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S12	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S13	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S14	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S15	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S16	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S17	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S18	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New

LANDSCAPE COVERAGE

LOT SIZE = 557.602 SQ. M
LANDSCAPE AREA = 141.570 SQ. M
HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 66.601 SQ. M
SOFT LANDSCAPE (GRASS + MULCH) = 74.969 SQ. M

66.601 / 141.570 = 47.04% OF HARD LANDSCAPE
74.969 / 141.570 = 53.00% OF SOFT LANDSCAPE

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

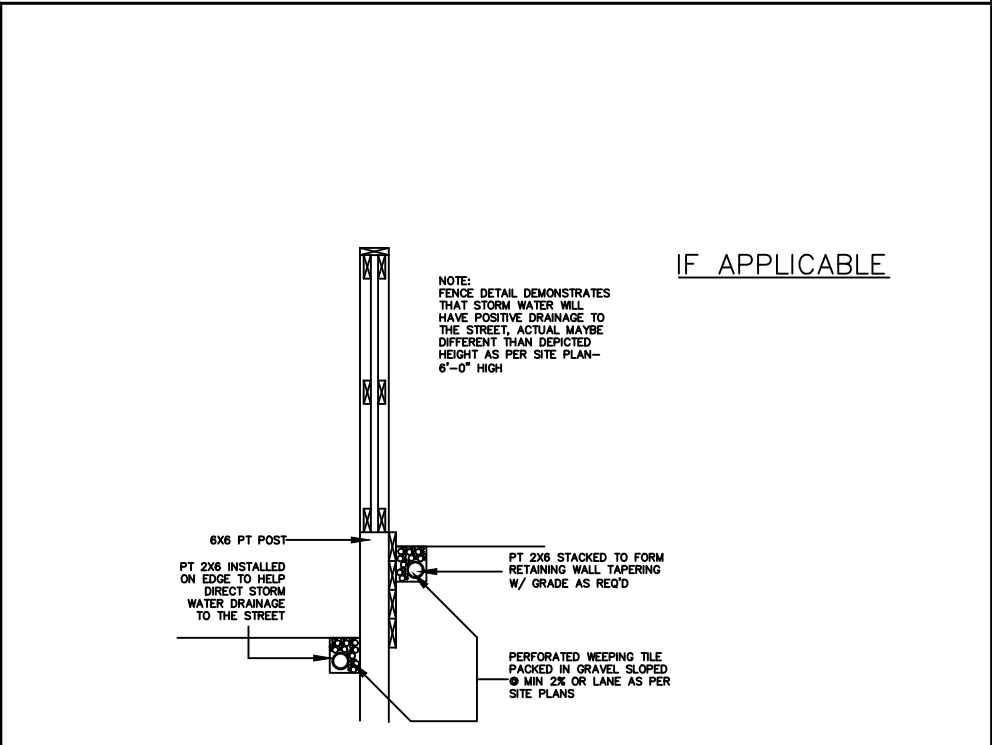
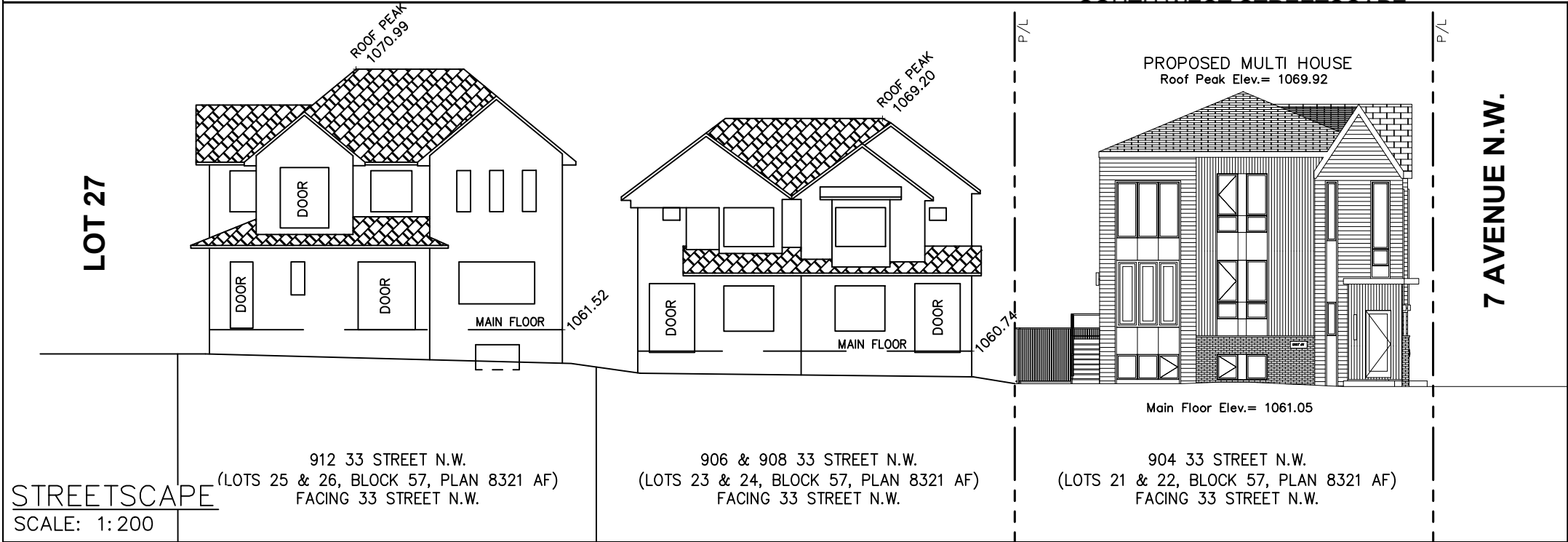
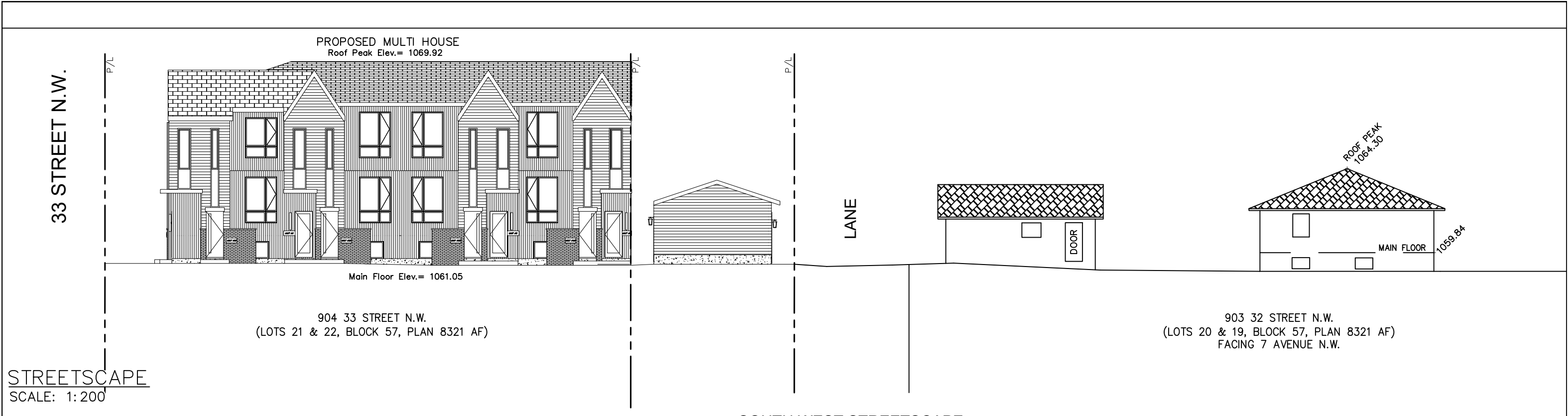
NOTE:
"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

NO.	DATE (D/M/Y)	DETAIL	BY
01.	11.02.2026	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:
904 33 St. N.W.
Calgary, Alberta
Lots 21 & 22
Block 57
Plan 8321 AF

PROJECT:
Multi-Family
DATE:
FEB 11, 2026

SCALE:
1: 200
DIVISION NUMBER:
S 03



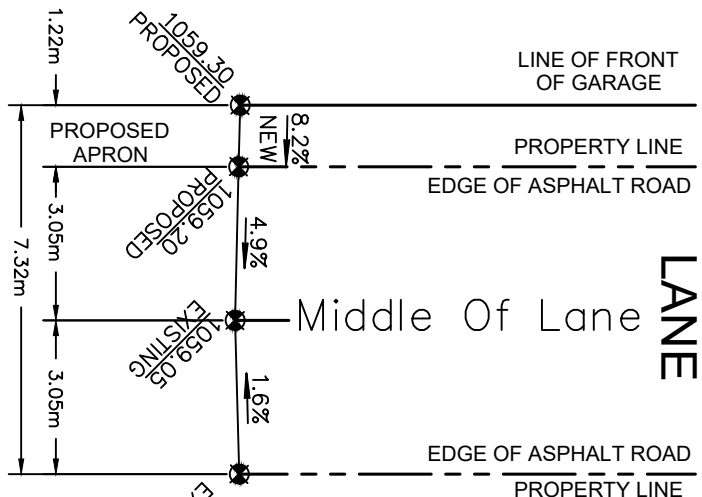
BUILDING AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	681.33 SQ.FT.	681.33 SQ.FT.	681.33 SQ.FT.	681.33 SQ.FT.
MAIN FLOOR	681.33 SQ.FT.	680.00 SQ.FT.	680.00 SQ.FT.	681.33 SQ.FT.
UPPER FLOOR	700.67 SQ.FT.	700.23 SQ.FT.	700.23 SQ.FT.	700.67 SQ.FT.
TOTAL AREA	1382.00 SQ.FT.	1380.23 SQ.FT.	1380.23 SQ.FT.	1382.00 SQ.FT.

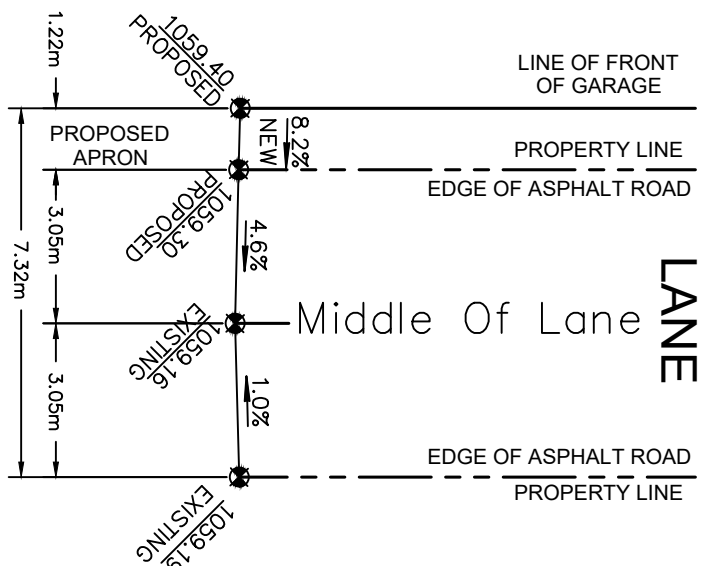
FENCE SECTION DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	11.02.2026	DP SITEPLAN	K.G.	904, 33 St. N.W. Calgary, Alberta	Multi-Family	AS SHOWN
02.				Lots 21 & 22 Block 57	DATE:	DIVISION NUMBER
03.				Plan 8321 AF	FEB 11, 2026	S 04
04.						

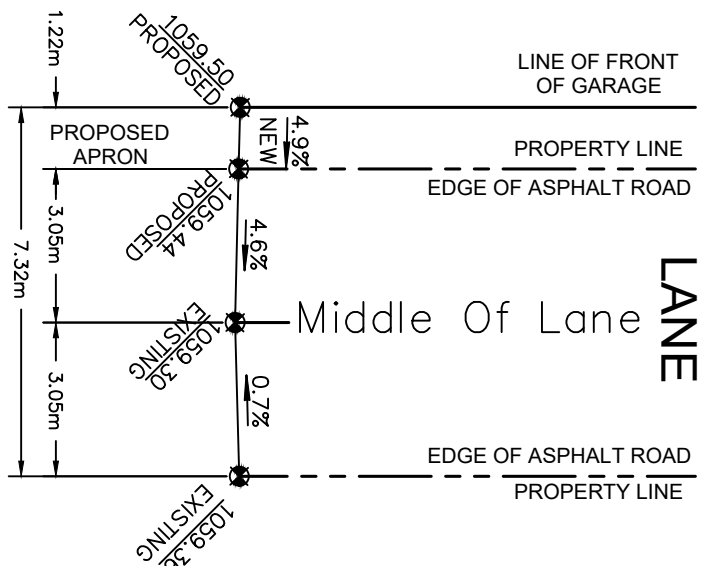
DRIVE WAY SLOPE DETAIL #1



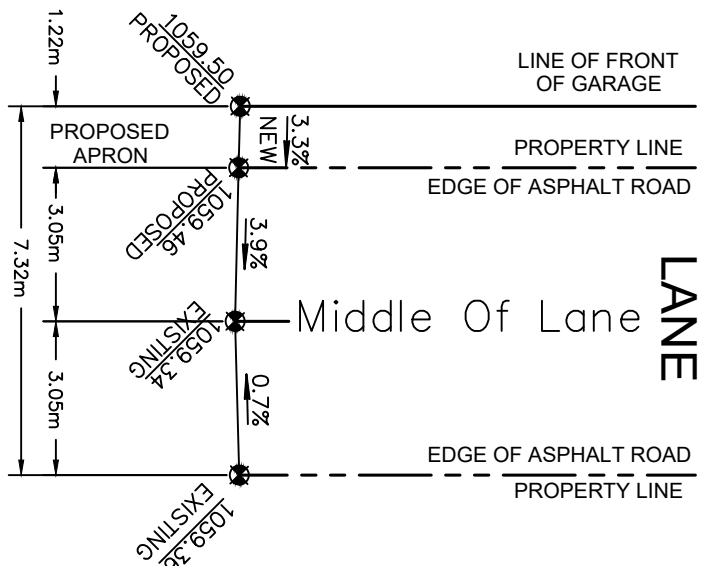
DRIVE WAY SLOPE DETAIL #2



DRIVE WAY SLOPE DETAIL #3



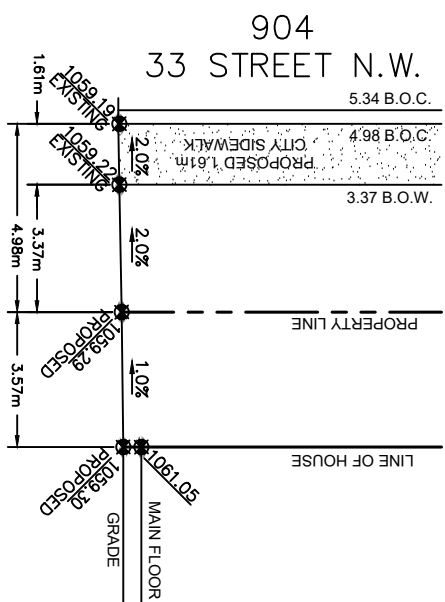
DRIVE WAY SLOPE DETAIL #4



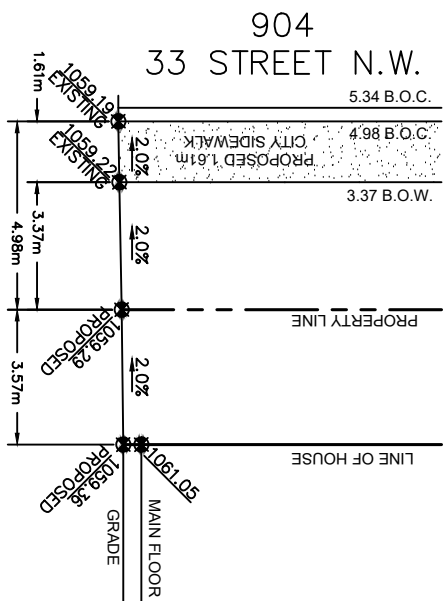
DRIVEWAY/LANE SLOPE DETAILS

SCALE: NTS

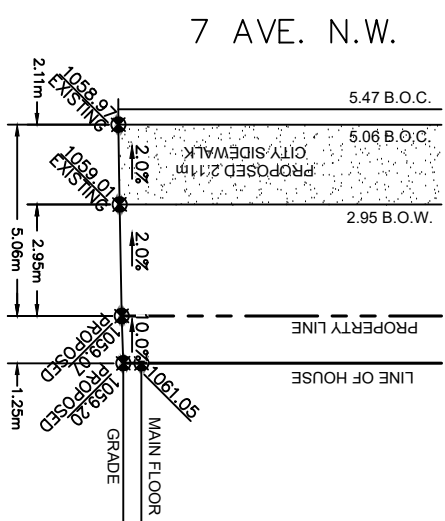
BOULEVARD SLOPE DETAIL #1



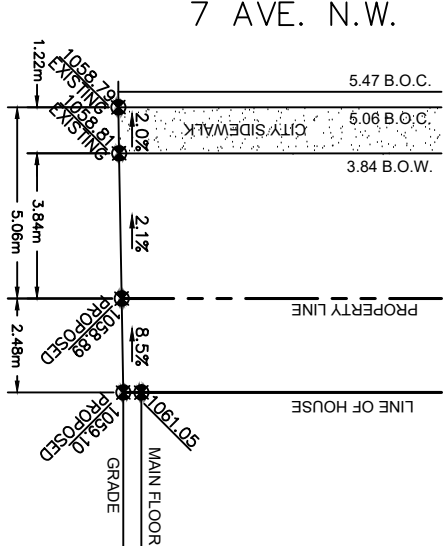
BOULEVARD SLOPE DETAIL #2



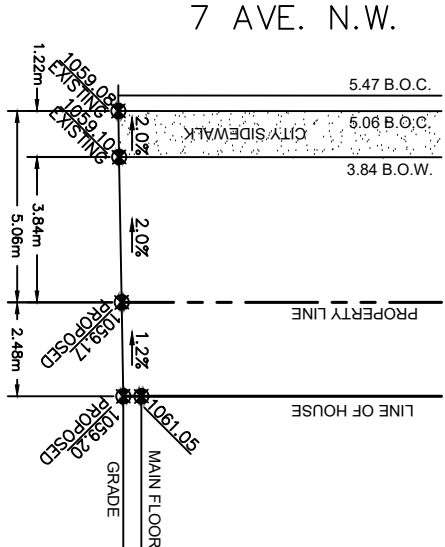
BOULEVARD SLOPE DETAIL #3



BOULEVARD SLOPE DETAIL #4



BOULEVARD SLOPE DETAIL #5



BOULEVARD SLOPE DETAILS

SCALE: NTS

PROJECT NAME AND ADDRESS				PROJECT	SCALE
904 33 St. N.W. Calgary, Alberta				Multi-Family	AS SHOWN
NO.	DATE (D/M/Y)	DETAIL	BY		
01.	11.02.2026	DP SITEPLAN	K.G.		
02.					
03.					
04.					
Lots 21 & 22 Block 57 Plan 8321 AF				FEB 11, 2026	DIVISION NUMBER S 05



LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections



FLOOR AREA - UNIT #1

BASEMENT = 681.33 SQ. FT.

MAIN = 681.33 SQ. FT.

UPPER = 700.67 SQ. FT.

TOTAL = 1382.00 SQ. FT.

FLOOR AREA - UNIT #2

BASEMENT = 681.33 SQ. FT.

MAIN = 680.00 SQ. FT.

UPPER = 700.23 SQ. FT.

TOTAL = 1380.23 SQ. FT.

FLOOR AREA - UNIT #3

BASEMENT = 681.33 SQ. FT.

MAIN = 680.00 SQ. FT.

UPPER = 700.23 SQ. FT.

TOTAL = 1380.23 SQ. FT.

FLOOR AREA - UNIT #4

BASEMENT = 681.33 SQ. FT.

MAIN = 681.33 SQ. FT.

UPPER = 700.67 SQ. FT.

TOTAL = 1382.00 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-07-24 10:24:17 AM



PROJECT NAME:

904 33 STREET N.W.
CALGARY, AB

DESIGNER:

JT

JOB #:

113-26

SCALE:

AS SHOWN

SHEET:

A-0.0

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

10" ALUM. FASCIA
- 3

HARDIE BOARD - WHITE
- 4

HARDIE BOARD - GRAY
- 5

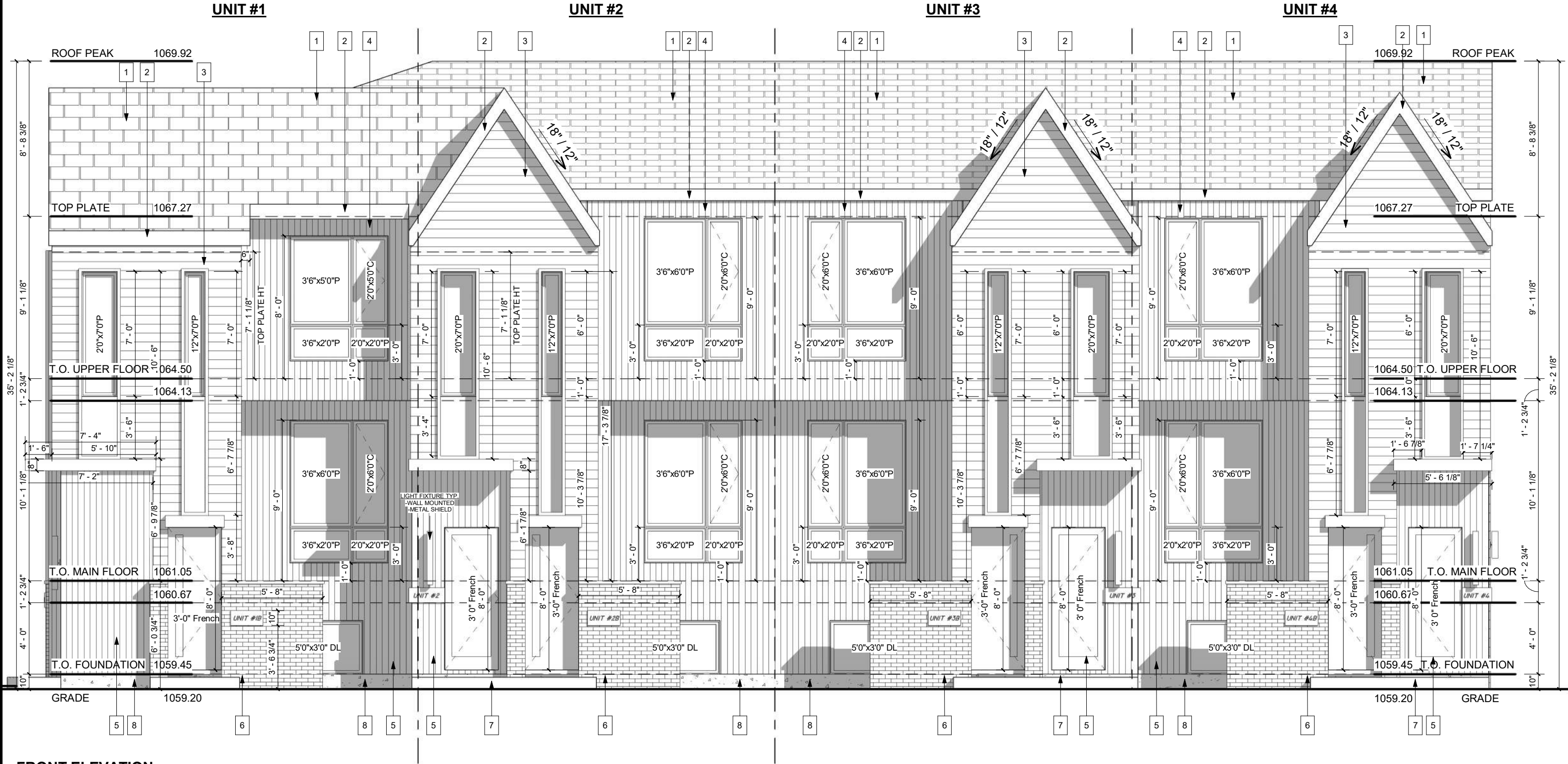
HARDIE BOARD - BROWN
- 6

BRICK - GRAY
- 7

CAST IN PLACE CONC.
- 8

CONCRETE PARGING
- 9

SMART BOARD - BLACK



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

VENTED SOFFIT NOTES:
- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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ISSUES:			
NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:	FOUR UNIT ROWHOUSE
STATUS:	-
SIGNATURES:	X
PRINTED:	2026-07-24 10:24:22 AM



PROJECT NAME: 904 33 STREET N.W. CALGARY, AB	
DESIGNER: JT	JOB #: 113-26
SCALE: AS SHOWN	SHEET: A-2.0

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

10" ALUM. FASCIA
- 3

HARDIE BOARD - WHITE
- 4

HARDIE BOARD - GRAY
- 5

HARDIE BOARD - BROWN
- 6

BRICK - GRAY
- 7

CAST IN PLACE CONC.
- 8

CONCRETE PARGING
- 9

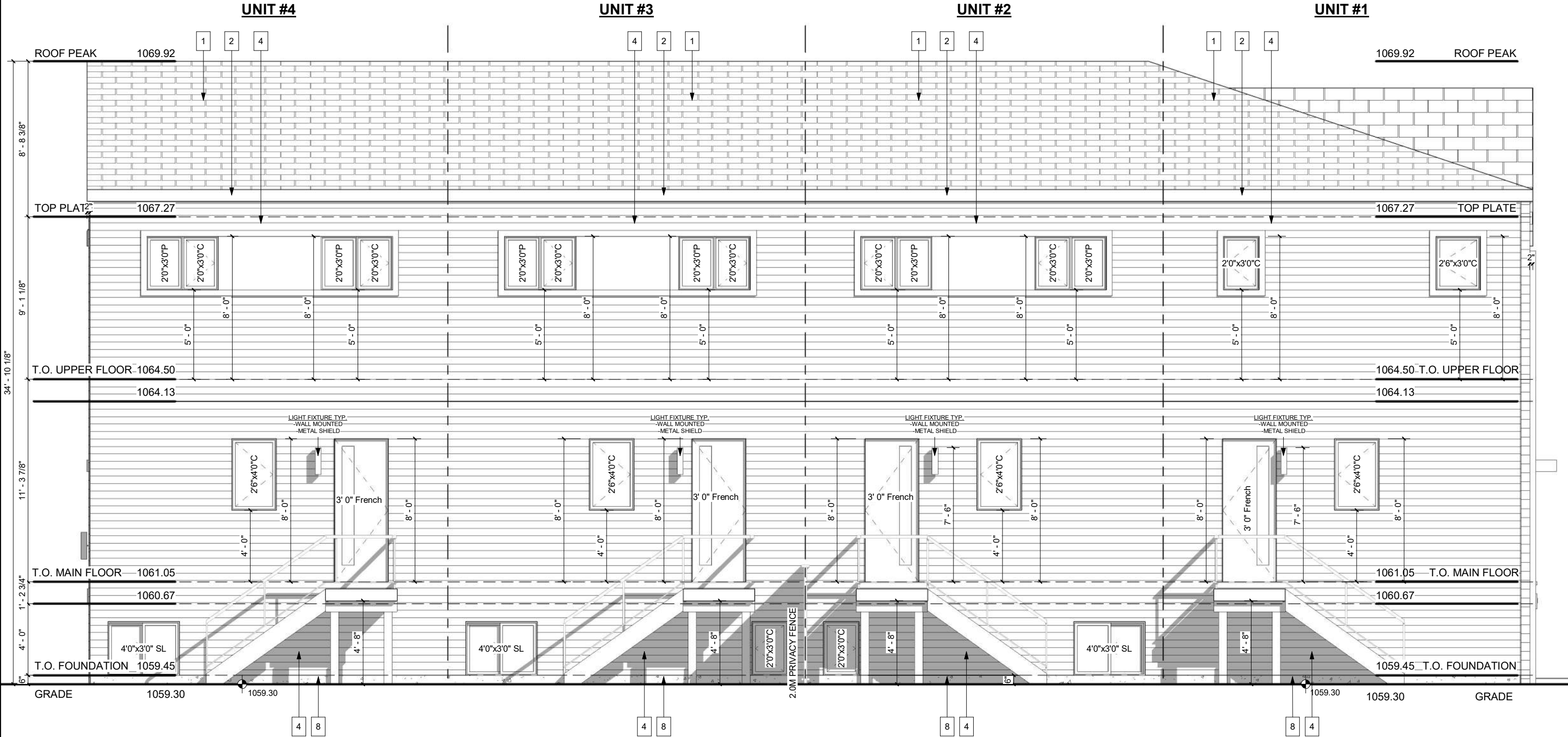
SMART BOARD - BLACK

UNIT 1 & 2 WINDOW CALCULATION
(3.00m LIMITING DISTANCE)

WALL AREA = 1046.11 SQ. FT.
WINDOW AREA = 75.84 SQ. FT.
TOTAL: 75.84 / 1046.11 = 7.25%

UNIT 3 & 4 WINDOW CALCULATION
(3.00m LIMITING DISTANCE)

WALL AREA = 1046.11 SQ. FT.
WINDOW AREA = 96.64 SQ. FT.
TOTAL: 96.64 / 1046.11 = 9.24%



REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

VENTED SOFFIT NOTES:
- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-07-24 10:24:24 AM



PROJECT NAME:

904 33 STREET N.W.
CALGARY, AB

DESIGNER:

JT

JOB #:

113-26

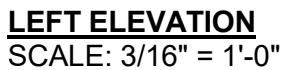
SCALE:

AS SHOWN

SHEET:

A-2.1

1	ASPHALT SHINGLES	4	HARDIE BOARD - GRAY	7	CAST IN PLACE CONC.
2	10" ALUM. FASCIA	5	HARDIE BOARD - BROWN	8	CONCRETE PARGING
3	HARDIE BOARD - WHITE	6	BRICK - GRAY	9	SMART BOARD - BLACK



VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
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ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

STATUS: -

SIGNATURES:

X _____

PRINTED: 2026-07-24 10:24:25 AM



DESIGNER: JT	JOB #: 113-26
SCALE: AS SHOWN	SHEET: A-2.2

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 4

HARDIE BOARD - GRAY
- 7

CAST IN PLACE CONC.
- 2

10" ALUM. FASCIA
- 5

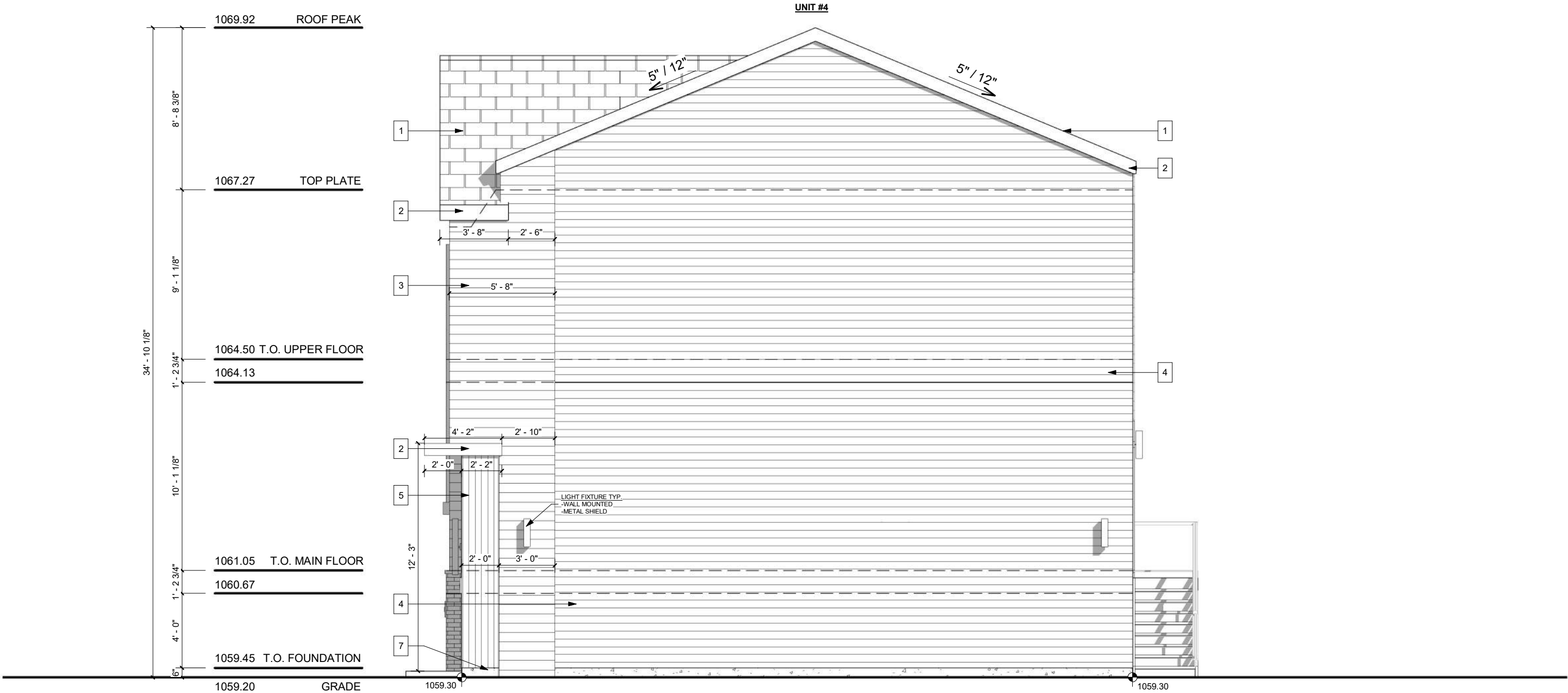
HARDIE BOARD - BROWN
- 8

CONCRETE PARGING
- 3

HARDIE BOARD - WHITE
- 6

BRICK - GRAY
- 9

SMART BOARD - BLACK



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES: X

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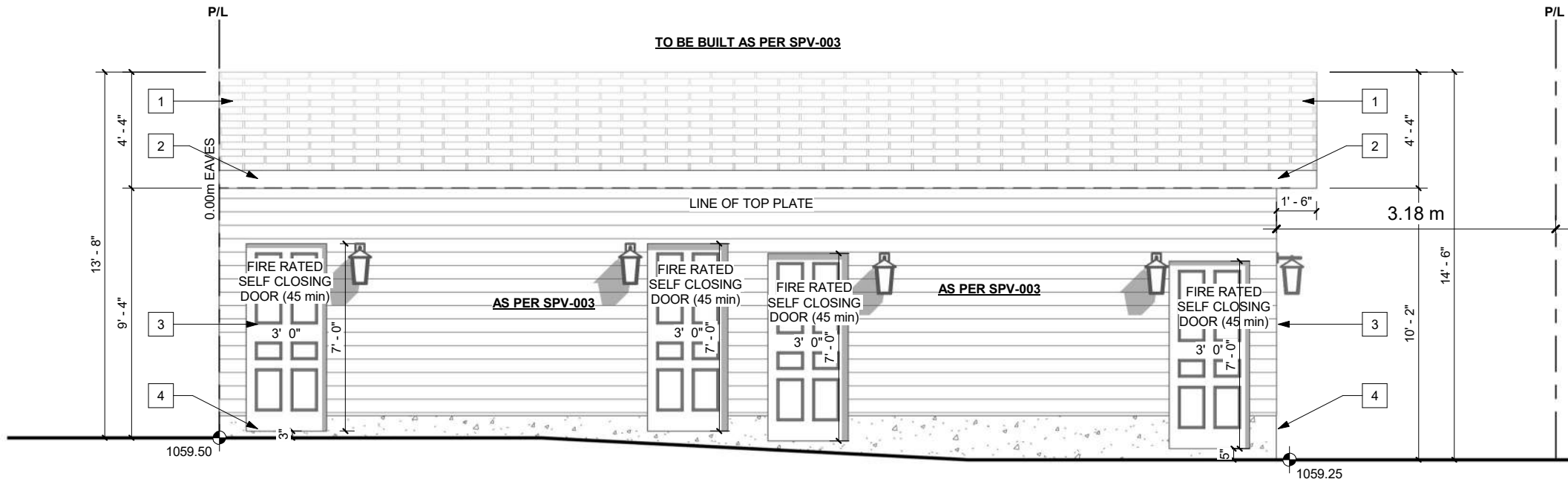


PROJECT NAME: 904 33 STREET N.W. CALGARY, AB

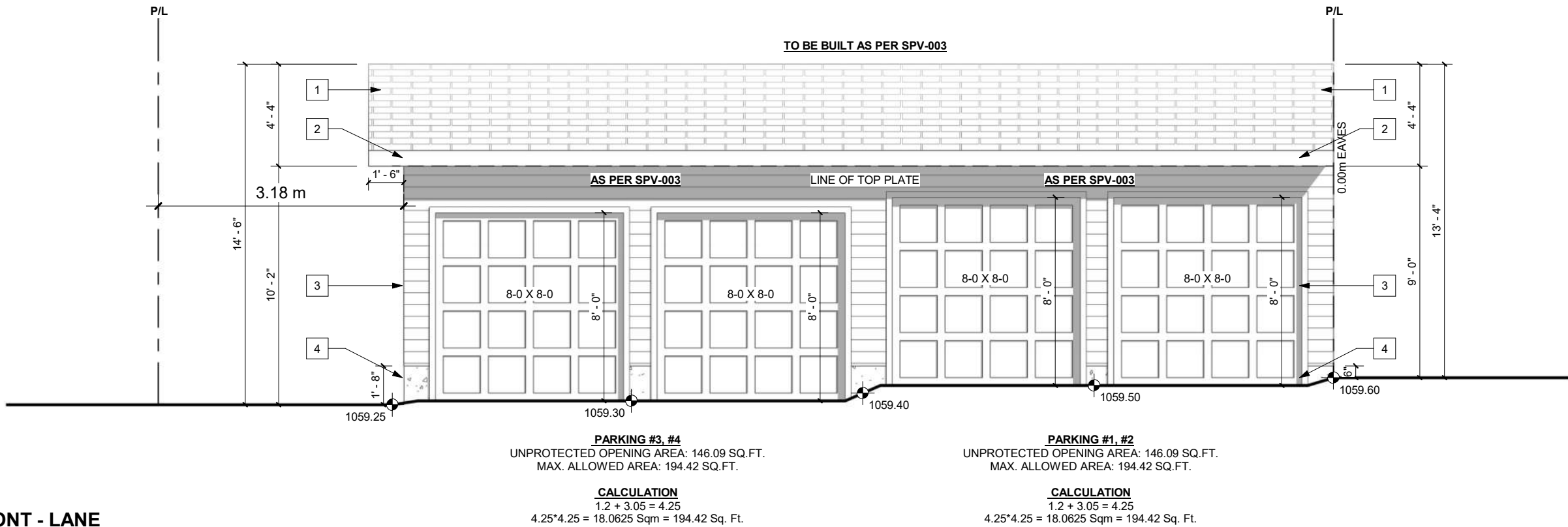
DESIGNER: JT	JOB #: 113-26
SCALE: AS SHOWN	SHEET: A-2.3

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" FASCIA
- 3 SMART BOARD - WHITE
- 4 CONCRETE PARGING
- 5 CEDAR FINISH



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE FRONT - LANE
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

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PROJECT:
FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES:
X _____

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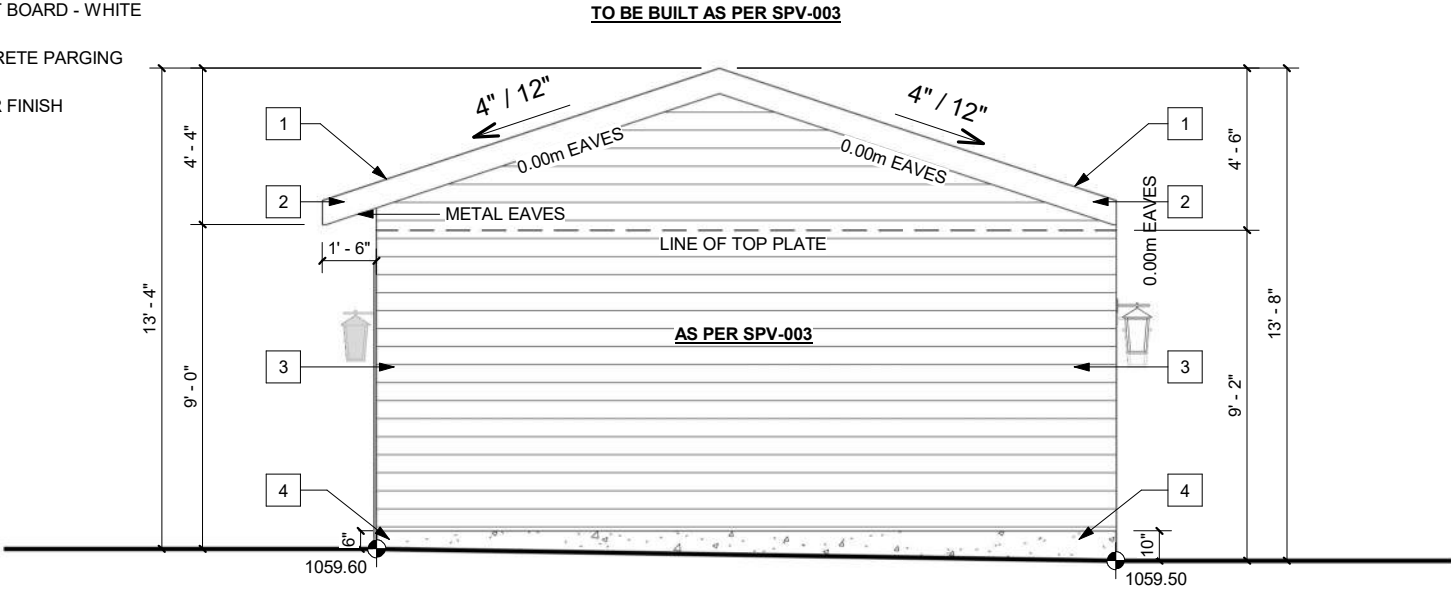
PROJECT NAME:
904 33 STREET N.W.
CALGARY, AB

DESIGNER: JT JOB #: 113-26

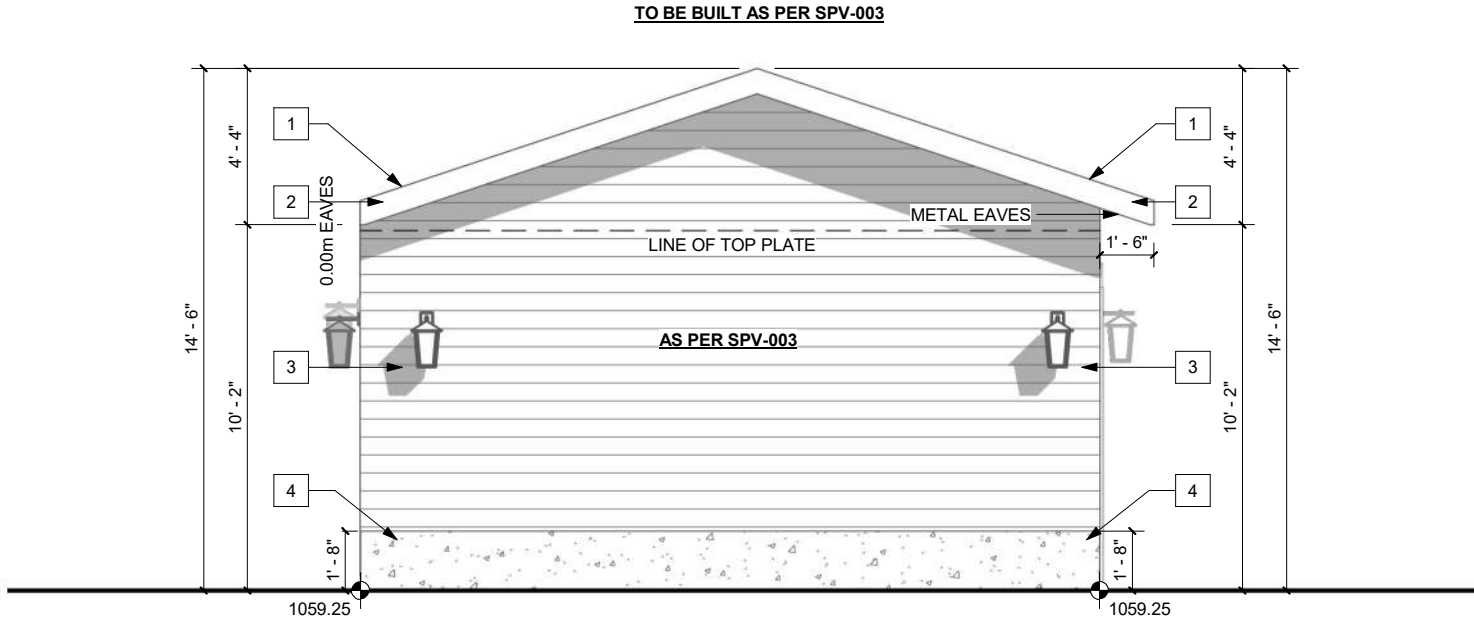
SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

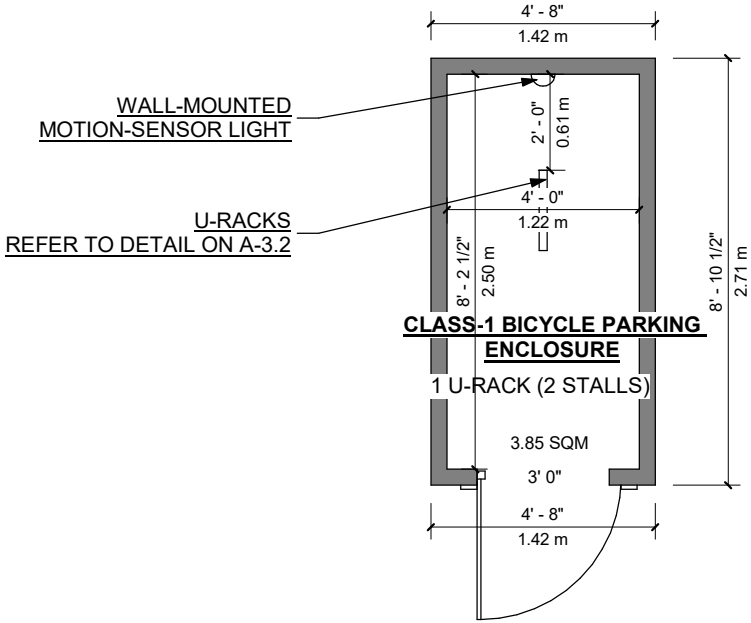
- 1 ASPHALT SHINGLES
- 2 8" FASCIA
- 3 SMART BOARD - WHITE
- 4 CONCRETE PARGING
- 5 CEDAR FINISH



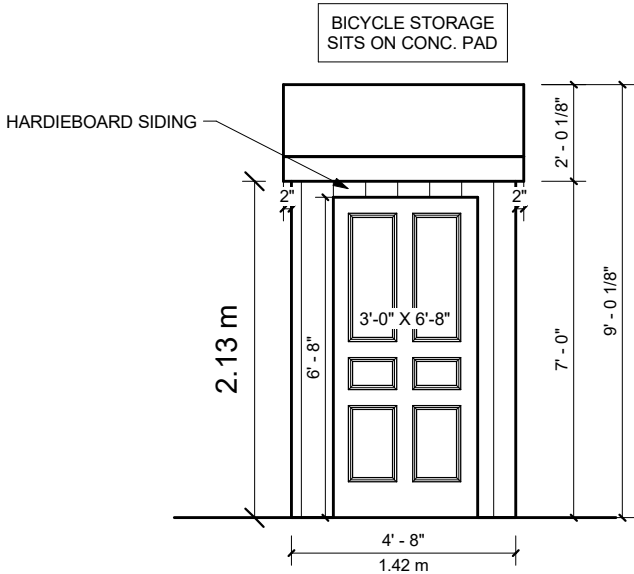
GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"



CLASS-1 BICYCLE ENCLOSURE FLOOR PLAN
SCALE: NTS



CLASS-1 BICYCLE ENCLOSURE FRONT ELEVATION
SCALE: NTS

ULINE
1-LOOP WAVE STYLE BIKE RACK



MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27

CLASS-1 BICYCLE PARKING STALL DETAILS
SCALE: NTS

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PROJECT:
FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-24 10:24:28 AM

PROJECT NAME:
904 33 STREET N.W.
CALGARY, AB

DESIGNER: JT
JOB #: 113-26

SCALE: AS SHOWN
SHEET: A-3.2