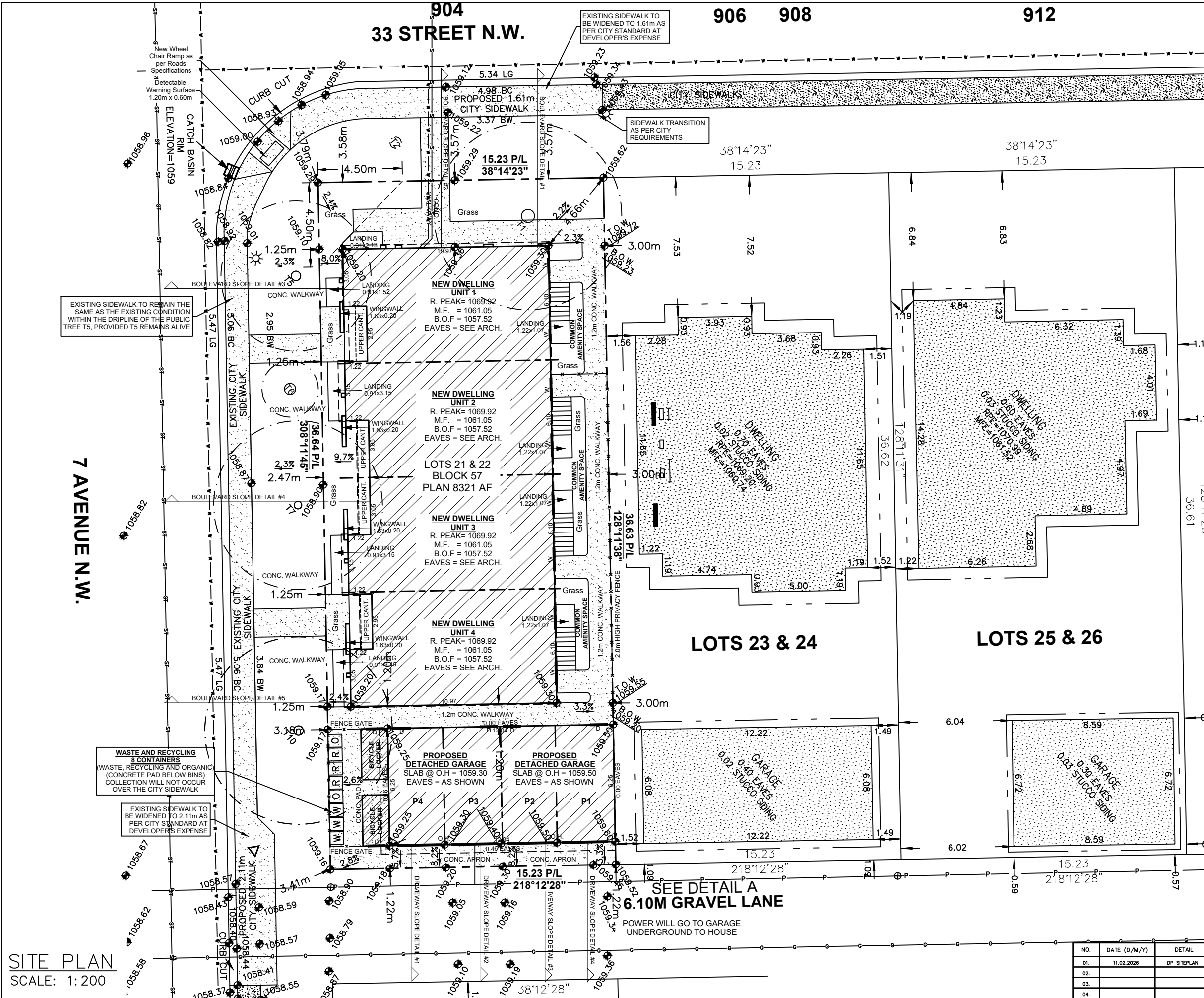




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

$\bullet$	denotes Calculation points
$\blacklozenge$	denotes Water Valve
$\blacklozenge$	denotes Gas Valve
$\bullet$	denotes Manholes
$\odot$	denotes Tree
$\oplus$	denotes Power Pole
$\triangle$	denotes Sign
$\odot$	denotes Light Standard
$\times$	denotes Fire Hydrant
-X-X-	denotes Fence
-S-	denotes Sanitary Line
-SF-	denotes Storm Line
-W-	denotes Water Line
-G-	denotes Gas Line
-E-	denotes Electrical Line
-A.G.T-	denotes A.G.T Line
-U.R.O.W-	denotes Utility Right of Way Line
-P.L-	denotes Property Line
-D-	denotes Door
-M.F.W-	denotes Main Floor Windows
-S.F.W-	denotes Second Floor Windows
-B.F.W-	denotes Basement Floor Windows
-S.H-	denotes Shed Hatch
-D.G.H-	denotes Detached Garage Hatch
-M.B.H-	denotes Main Building Hatch
-C.A.H-	denotes Concrete and Asphalt Hatch
-W.H-	denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
Lots 21 & 22
Block 57
Plan 8321 AF

MUNICIPAL ADDRESS:
904 33 St. N.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(MULTI HOUSE)

LOT SIZE: 557.602 SQ M	TOTAL UNITS: 4
HOUSE: 252.944 SQ M	LOT SIZE: 557.602 SQ M (0.0557602 ha)
MAIN CANT: 0.000 SQ M	DENSITY: 72 UNITS/ha
GARAGE: 76.179 SQ M	
COVERED PORCH: 7.308 SQ M	PARKING PROVIDED: 4 STALLS
WING WALL: 0.407 SQ M	

TOTAL : 336.838/557.602
= 60.00%

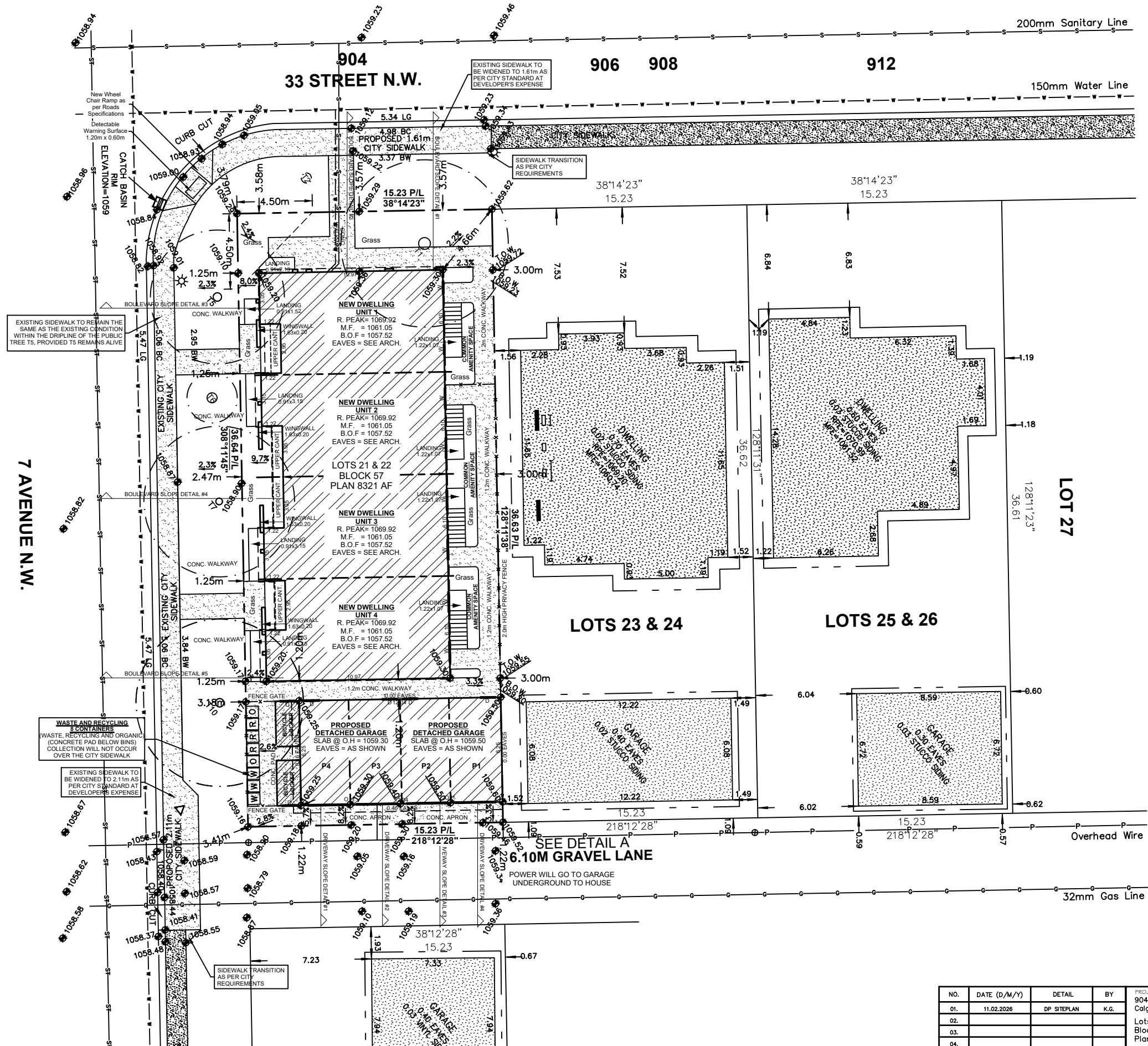
NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	11.02.2026	DP SITEPLAN	K.G.	904 33 St. N.W. Calgary, Alberta	Multi-Family	1: 200
02.				Lots 21 & 22 Block 57 Plan 8321 AF		
03.					DATE: FEB 11, 2026	DIVISION NUMBER: S 01
04.						

AMENDED DRAWINGS
DP No 2026-01107
Date Received 2026-07-27
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

SITE PLAN
SCALE: 1:200

BLOCK PLAN
SCALE: 1:250



AMENDED DRAWINGS
DP No Date Received
DP2026-01107 2026-07-27
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	11.02.2026	DP SITEPLAN	K.G.	904 33 St. N.W. Calgary, Alberta	Multi-Family	1: 250
02.				Lots 21 & 22 Block 57 Plan 8321 AF		
03.						
04.						

DATE:	DIVISION:	NUMBER:
FEB 11, 2026	S	02

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

7 AVENUE N.W.

904
33 STREET N.W.

906 908

38°14'23"
15.23

AMENDED DRAWINGS

DP No DP2026-01107
Date Received 2026-07-27

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

LOTS 23 & 24

SEE DETAIL A
6.10M GRAVEL LANE

MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS
WITH SHRUBS AND 300MM IN ALL OTHER AREAS

LANDSCAPING PLAN

SCALE: 1:200

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Cutleaf Weeping Birch	0.70	10.00	8.00	In Subject Property	To Be Removed*
T2	Bush	—	0.60	1.00	In City Property	To Stay
T3	Bush	—	1.10	1.30	In Subject Property	To Be Removed
T4	Bush	—	1.25	1.20	In Subject Property	To Be Removed
T5	Green Ash	0.50	8.00	6.00	In City Property	To Stay
T6	Bush	0.60	3.00	3.00	In City Property	To Stay
T7	Green Ash	0.40	9.00	8.00	In City Property	To Stay
T8	Deciduous	0.60	10.00	9.00	In Subject Property	To Be Removed
T9	Deciduous	0.30	3.00	4.00	In Subject Property	To Be Removed
T10	Green Ash	0.50	10.00	6.00	In City Property	To Stay

NOTES:

—AN ACTIVE BIRD NEST IS PRESENT IN A TREE CAVITY IN THE CUTLEAF WEEPING BIRCH TREE 'T1' THE BIRD SPECIES IS A NORTHERN FLICKER — COLAPTES AURATUS, A PROTECTED SPECIES UNDER THE MBCA.
—T1 CAN ONLY BE REMOVED PROVIDED A QUALIFIED BIOLOGIST VERIFIES THE NEST CAVITY IS NO LONGER BEING INHABITED BY THE NORTHERN FLICKER SPECIES AND THE NEST CAVITY IS NOT SUITABLE FOR OTHER PROTECTED WOODPECKER SPECIES, SUCH AS THE PILEATED WOODPECKER.
—T5 IS PROPOSED TO STAY ONSITE. IF AT ANY POINT REMOVAL IS REQUIRED, DEVELOPER WILL NEED TO PAY THE REQUIRED COMPENSATION AND REMOVE AND REPLACE THE CITY SIDEWALK AS PER CITY REQUIREMENTS.

LANDSCAPING LEGEND

-  ----- denotes Deciduous Tree
 ----- denotes Coniferous Tree
 ----- denotes Shrubs

LANDSCAPING REQUIREMENTS:

LOT SIZE: 557.602 SQ M
1 TREE PER/110.000 SQM
3 SHRUBS PER/110.000 SQM
557.602/110.000 = 5.1

6 TREES
18 SHRUBS

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Amur Maple (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S2	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S3	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S4	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S5	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S6	Hawthorn (Crataegus Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S7	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S8	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S9	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S10	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S11	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S12	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S13	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S14	Mugo Pine (Pinus Mugo) (Shrub)	—	0.61	0.61	In Subject Property	New
S15	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S16	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S17	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New
S18	Lilac (Syringa Spp.) (Shrub)	—	0.61	0.61	In Subject Property	New

LANDSCAPE COVERAGE

LOT SIZE = 557.602 SQ. M
LANDSCAPE AREA = 141.570 SQ. M
HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 66.601 SQ. M
SOFT LANDSCAPE (GRASS + MULCH) = 74.969 SQ. M

66.601 / 141.570 = 47.04% OF HARD LANDSCAPE
74.969 / 141.570 = 53.00% OF SOFT LANDSCAPE

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

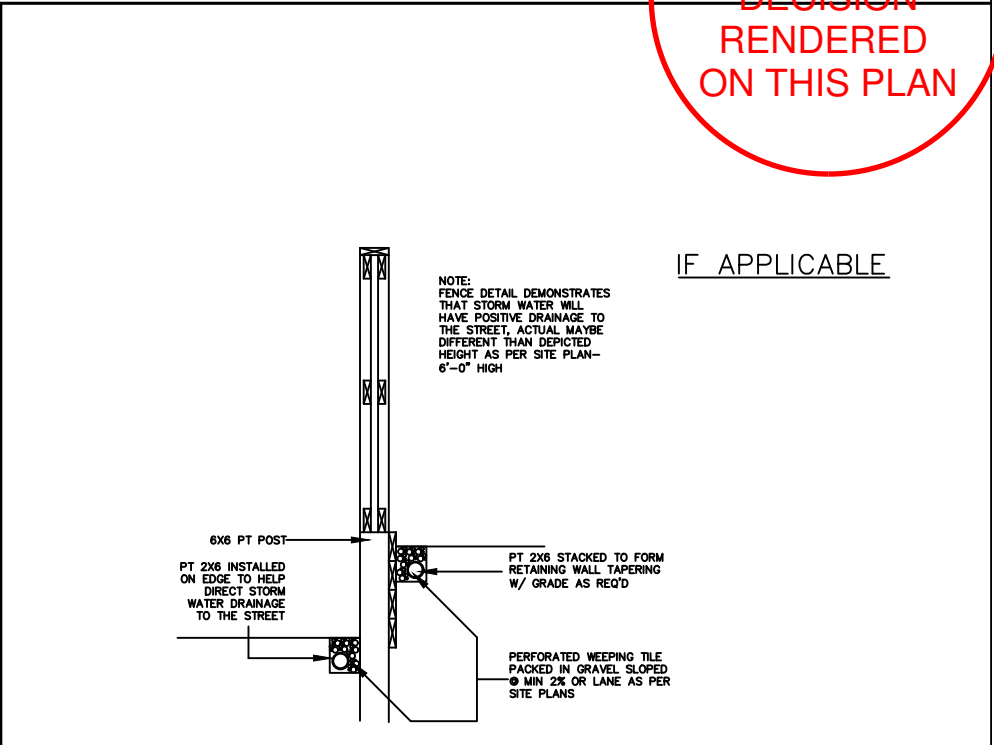
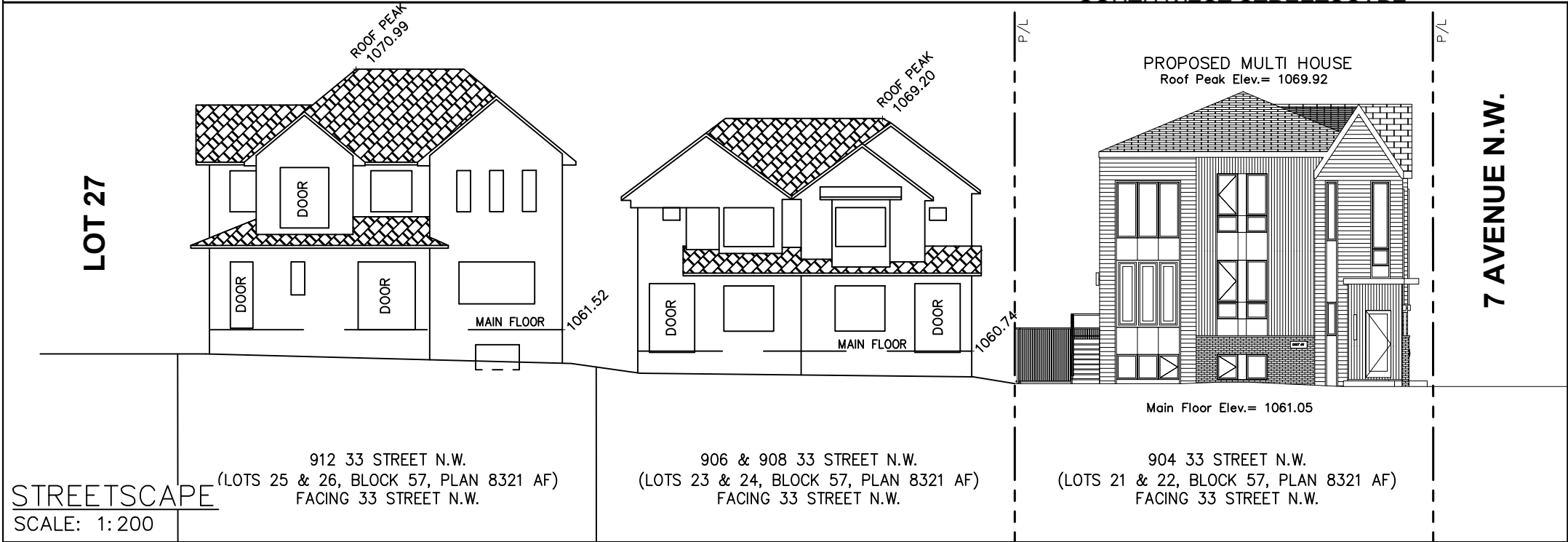
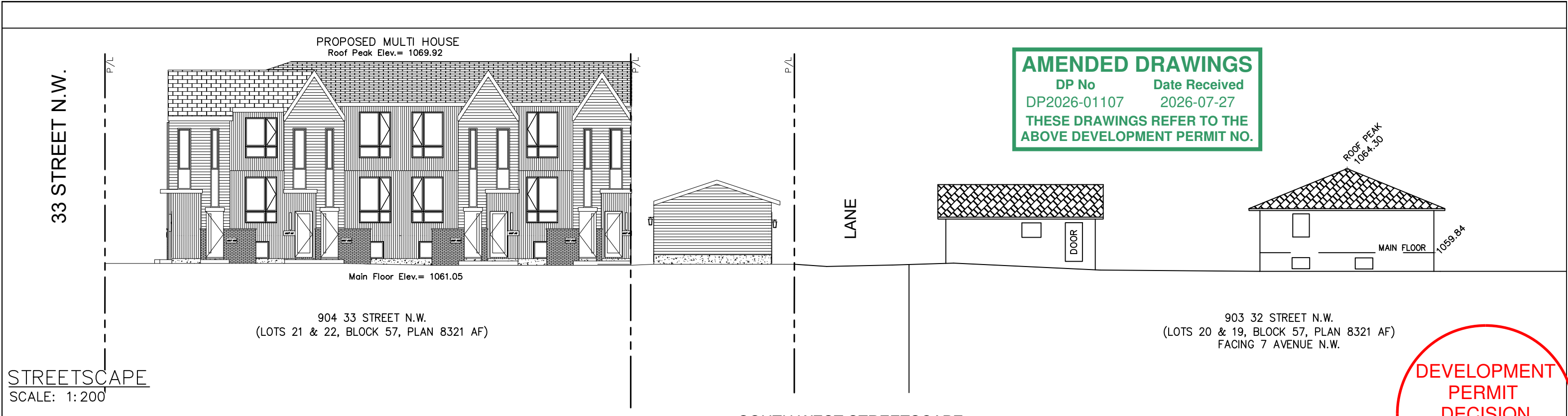
NOTE:
"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

NO.	DATE (D/M/Y)	DETAIL	BY
01.	11.02.2026	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:
904 33 St. N.W.
Calgary, Alberta
Lots 21 & 22
Block 57
Plan 8321 AF

PROJECT:
Multi-Family
DATE:
FEB 11, 2026

SCALE:
1: 200
DIVISION NUMBER:
S 03



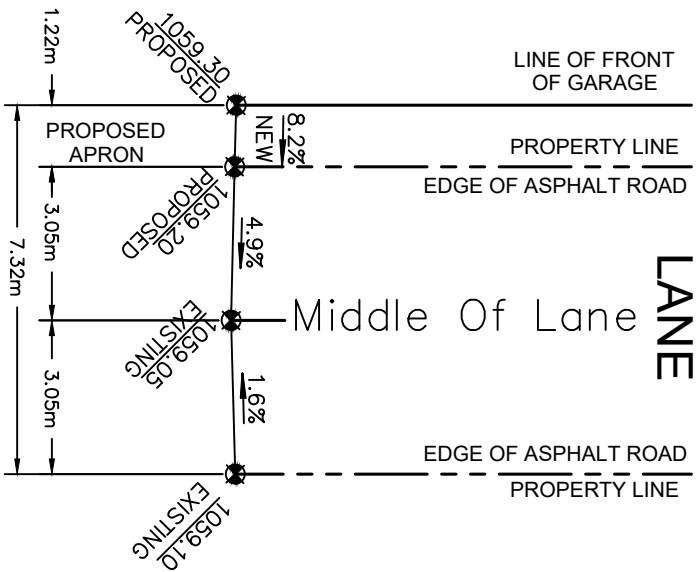
BUILDING AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	681.33 SQ.FT.	681.33 SQ.FT.	681.33 SQ.FT.	681.33 SQ.FT.
MAIN FLOOR	681.33 SQ.FT.	680.00 SQ.FT.	680.00 SQ.FT.	681.33 SQ.FT.
UPPER FLOOR	700.67 SQ.FT.	700.23 SQ.FT.	700.23 SQ.FT.	700.67 SQ.FT.
TOTAL AREA	1382.00 SQ.FT.	1380.23 SQ.FT.	1380.23 SQ.FT.	1382.00 SQ.FT.

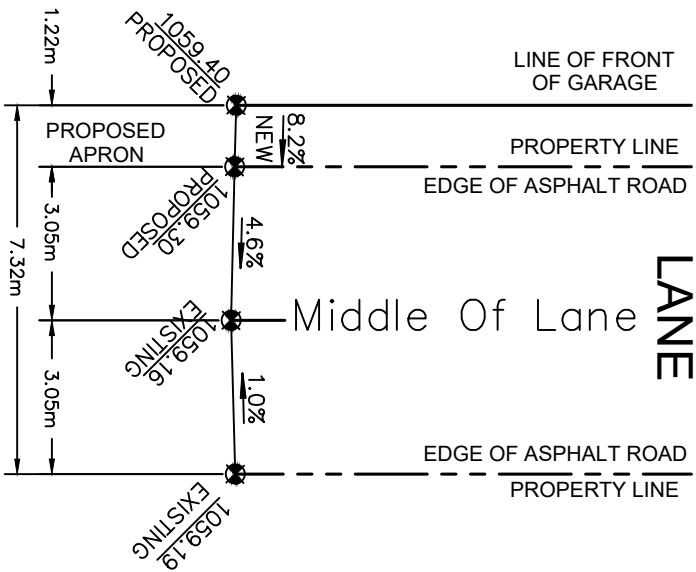
FENCE SECTION DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	11.02.2026	DP SITEPLAN	K.G.	904 33 St. N.W. Calgary, Alberta	Multi-Family	AS SHOWN
02.				Lots 21 & 22 Block 57		
03.				Plan 8321 AF		
04.						
				DATE:	DIVISION	NUMBER
				FEB 11, 2026	S	04

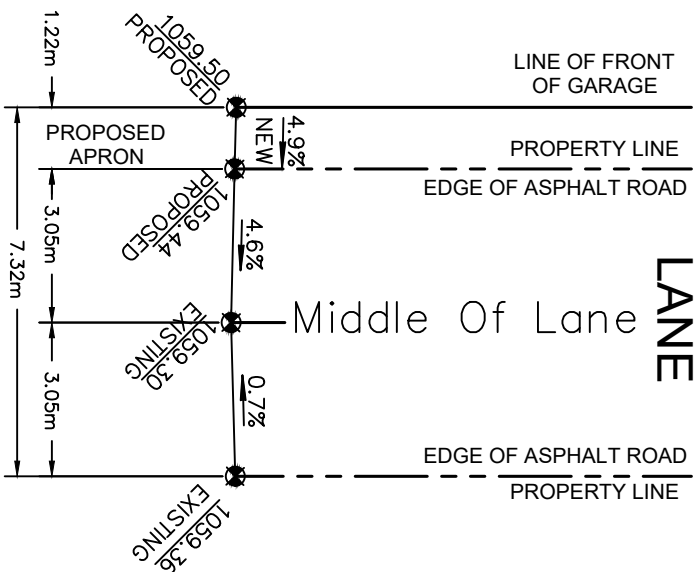
DRIVE WAY SLOPE DETAIL #1



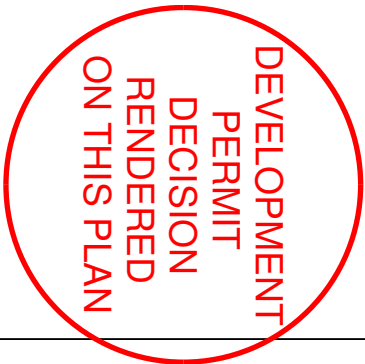
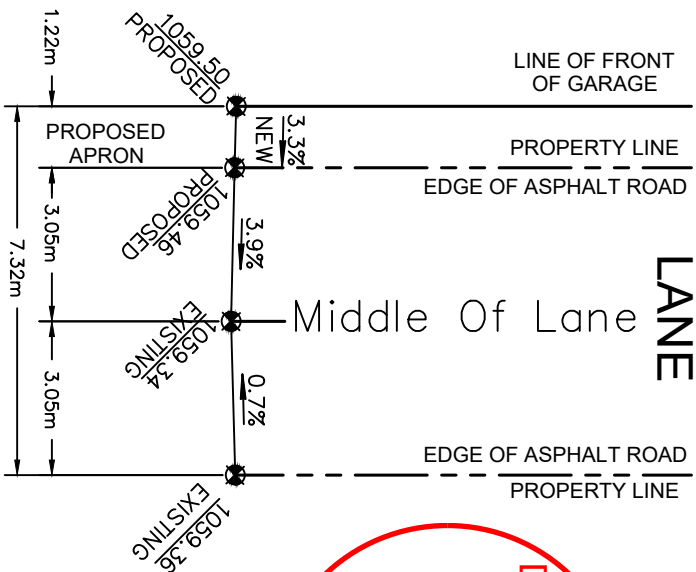
DRIVE WAY SLOPE DETAIL #2



DRIVE WAY SLOPE DETAIL #3



DRIVE WAY SLOPE DETAIL #4

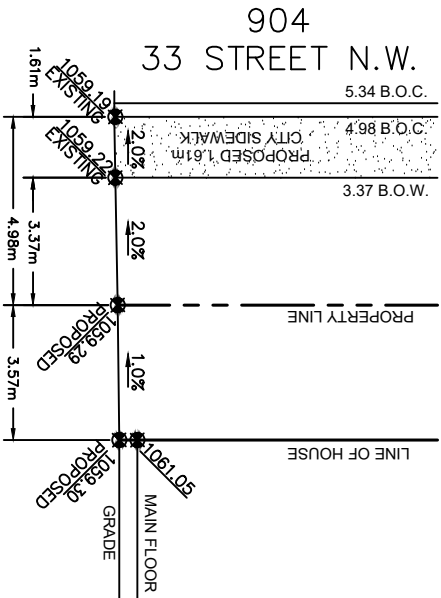


DRIVEWAY/LANE SLOPE DETAILS

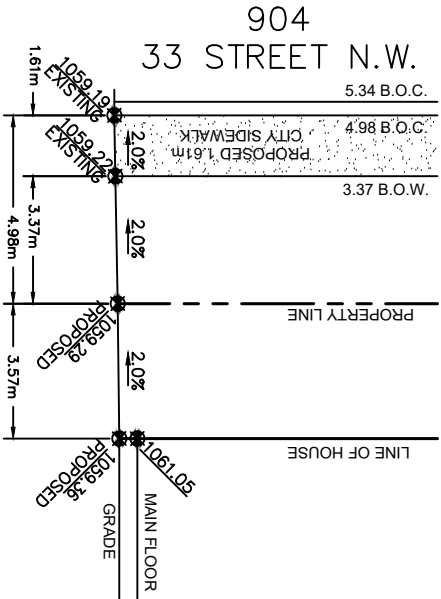
SCALE: NTS

AMENDED DRAWINGS
DP No DP2026-01107 Date Received 2026-07-27
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

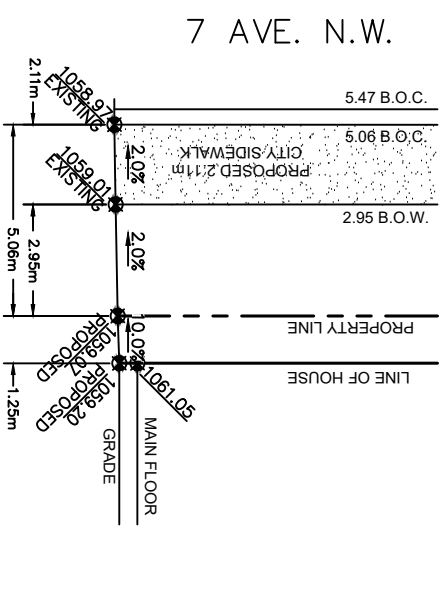
BOULEVARD SLOPE DETAIL #1



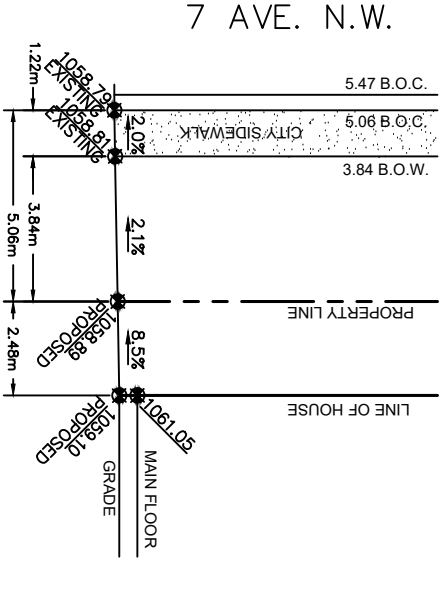
BOULEVARD SLOPE DETAIL #2



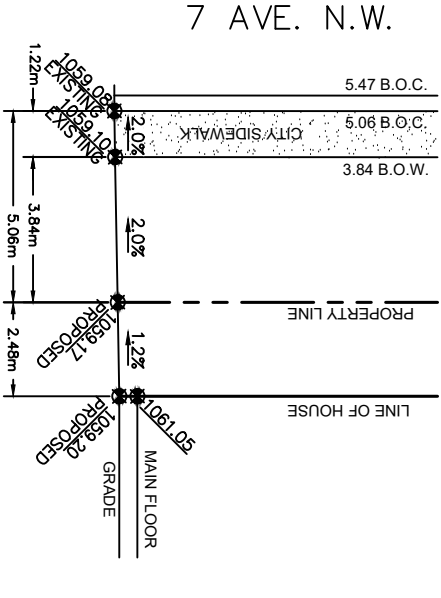
BOULEVARD SLOPE DETAIL #3



BOULEVARD SLOPE DETAIL #4



BOULEVARD SLOPE DETAIL #5



BOULEVARD SLOPE DETAILS

SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	11.02.2026	DP SITE PLAN	K.S.	904 33 ST. N.W. Calgary, Alberta Lots 21 & 22 Block 57 Plan 8321 AF	Multi-Family	AS SHOWN
02.						
03.						
04.						
					DATE: FEB 11, 2026	DRAWN: S 05



AMENDED DRAWINGS

DP No Date Received
DP2026-01107 2026-07-27

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



FLOOR AREA - UNIT #1

BASEMENT = 681.33 SQ. FT.

MAIN = 681.33 SQ. FT.

UPPER = 700.67 SQ. FT.

TOTAL = 1382.00 SQ. FT.

FLOOR AREA - UNIT #2

BASEMENT = 681.33 SQ. FT.

MAIN = 680.00 SQ. FT.

UPPER = 700.23 SQ. FT.

TOTAL = 1380.23 SQ. FT.

FLOOR AREA - UNIT #3

BASEMENT = 681.33 SQ. FT.

MAIN = 680.00 SQ. FT.

UPPER = 700.23 SQ. FT.

TOTAL = 1380.23 SQ. FT.

FLOOR AREA - UNIT #4

BASEMENT = 681.33 SQ. FT.

MAIN = 681.33 SQ. FT.

UPPER = 700.67 SQ. FT.

TOTAL = 1382.00 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-07-24 10:24:17 AM



PROJECT NAME:

904 33 STREET N.W.
CALGARY, AB

DESIGNER:

JT

JOB #:

113-26

SCALE:

AS SHOWN

SHEET:

A-0.0

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

10" ALUM. FASCIA
- 3

HARDIE BOARD - WHITE
- 4

HARDIE BOARD - GRAY
- 5

HARDIE BOARD - BROWN
- 6

BRICK - GRAY
- 7

CAST IN PLACE CONC.
- 8

CONCRETE PARGING
- 9

SMART BOARD - BLACK

AMENDED DRAWINGS

DP No Date Received
DP2026-01107 2026-07-27
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

UNIT #1

UNIT #2

UNIT #3

UNIT #4



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL, ROUGH-IN AND PLUMBING
NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-07-24 10:24:22 AM



PROJECT NAME:

904 33 STREET N.W.
CALGARY, AB

DESIGNER:

JT

JOB #:

113-26

SCALE:

AS SHOWN

SHEET:

A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	HARDIE BOARD - GRAY	7	CAST IN PLACE CONC.
2	10" ALUM. FASCIA	5	HARDIE BOARD - BROWN	8	CONCRETE PARGING
3	HARDIE BOARD - WHITE	6	BRICK - GRAY	9	SMART BOARD - BLACK

AMENDED DRAWINGS

DP No Date Received
DP2026-01107 2026-07-27
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

UNIT 1 & 2 WINDOW CALCULATION
(3.00m LIMITING DISTANCE)

WALL AREA = 1046.11 SQ. FT.
WINDOW AREA = 75.84 SQ. FT.
TOTAL: 75.84 / 1046.11 = 7.25%

UNIT 3 & 4 WINDOW CALCULATION
(3.00m LIMITING DISTANCE)

WALL AREA = 1046.11 SQ. FT.
WINDOW AREA = 96.64 SQ. FT.
TOTAL: 96.64 / 1046.11 = 9.24%



REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-07-24 10:24:24 AM



PROJECT NAME:

904 33 STREET N.W.
CALGARY, AB

DESIGNER:

JT

JOB #:

113-26

SCALE:

AS SHOWN

SHEET:

A-2.1

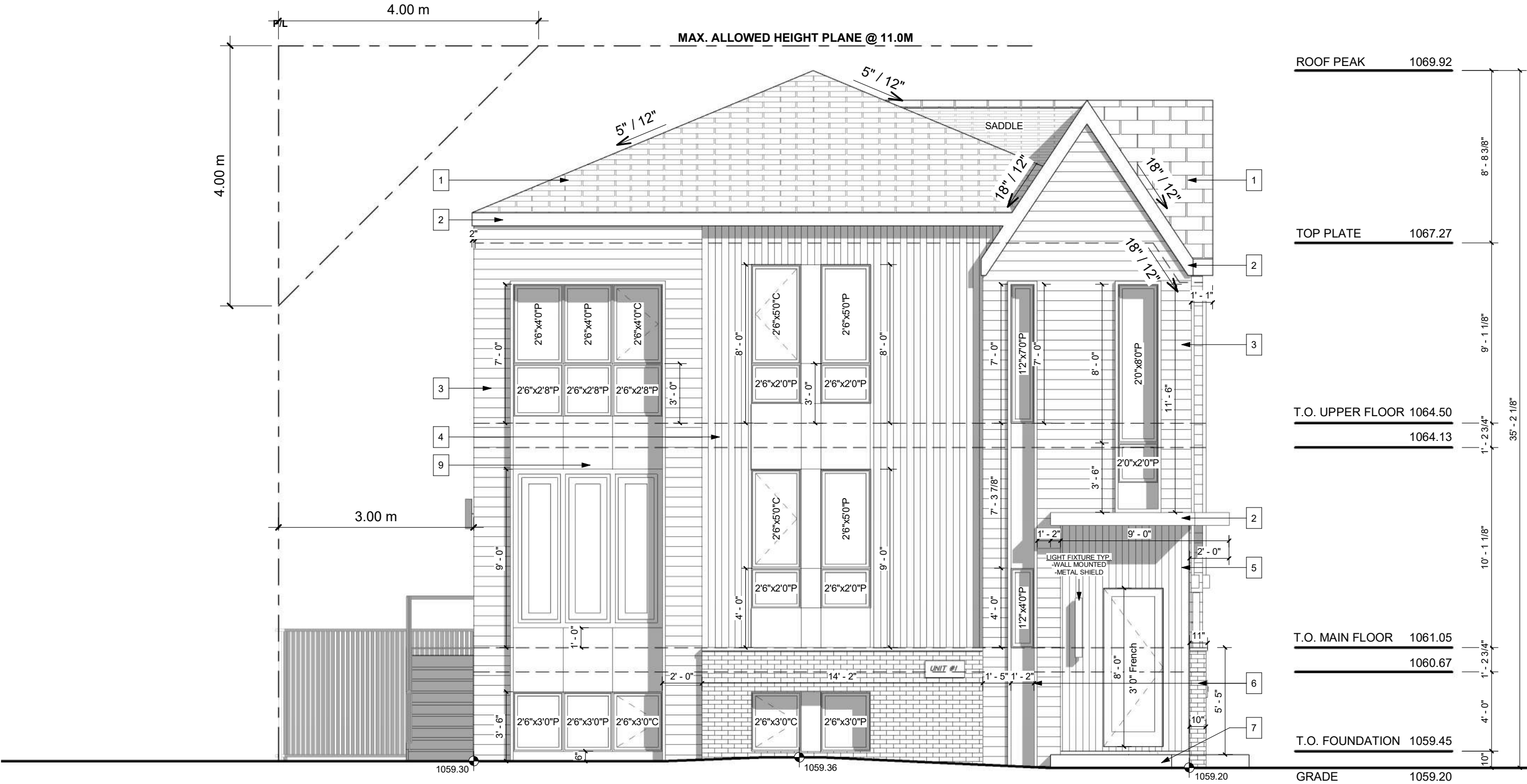
EXTERIOR FINISHES:

1 ASPHALT SHINGLES	4 HARDIE BOARD - GRAY	7 CAST IN PLACE CONC.
2 10" ALUM. FASCIA	5 HARDIE BOARD - BROWN	8 CONCRETE PARGING
3 HARDIE BOARD - WHITE	6 BRICK - GRAY	9 SMART BOARD - BLACK

AMENDED DRAWINGS

DP No Date Received
DP2026-01107 2026-07-27
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

UNIT #1



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

VENTED SOFFIT NOTES:
- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:			
NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:	FOUR UNIT ROWHOUSE
STATUS:	-
SIGNATURES:	X
PRINTED:	2026-07-24 10:24:25 AM



PROJECT NAME:	
904 33 STREET N.W. CALGARY, AB	
DESIGNER:	JT
JOB #:	113-26
SCALE:	AS SHOWN
SHEET:	A-2.2

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 4

HARDIE BOARD - GRAY
- 7

CAST IN PLACE CONC.
- 2

10" ALUM. FASCIA
- 5

HARDIE BOARD - BROWN
- 8

CONCRETE PARGING
- 3

HARDIE BOARD - WHITE
- 6

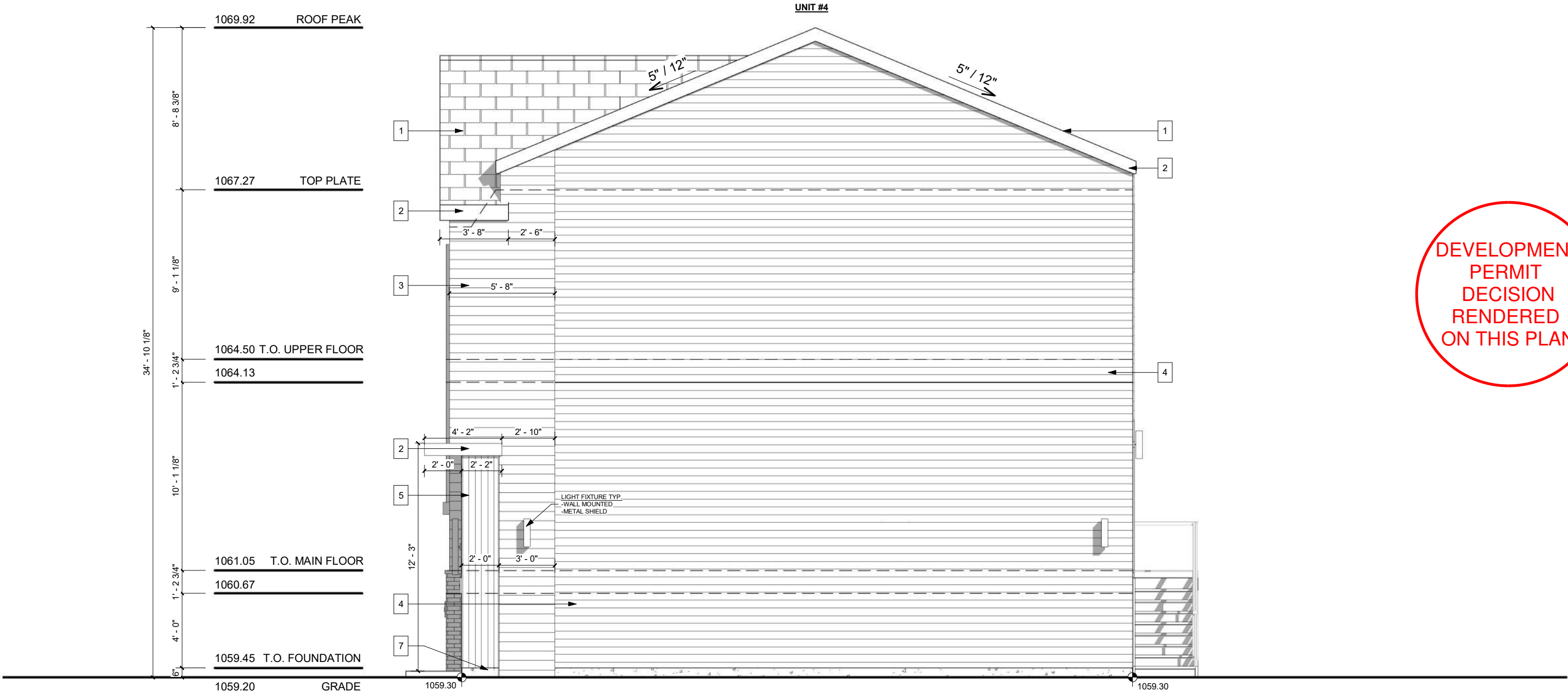
BRICK - GRAY
- 9

SMART BOARD - BLACK

AMENDED DRAWINGS

DP No Date Received
DP2026-01107 2026-07-27

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	09/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:
FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES:
X

PRINTED: 2026-07-24 10:24:26 AM



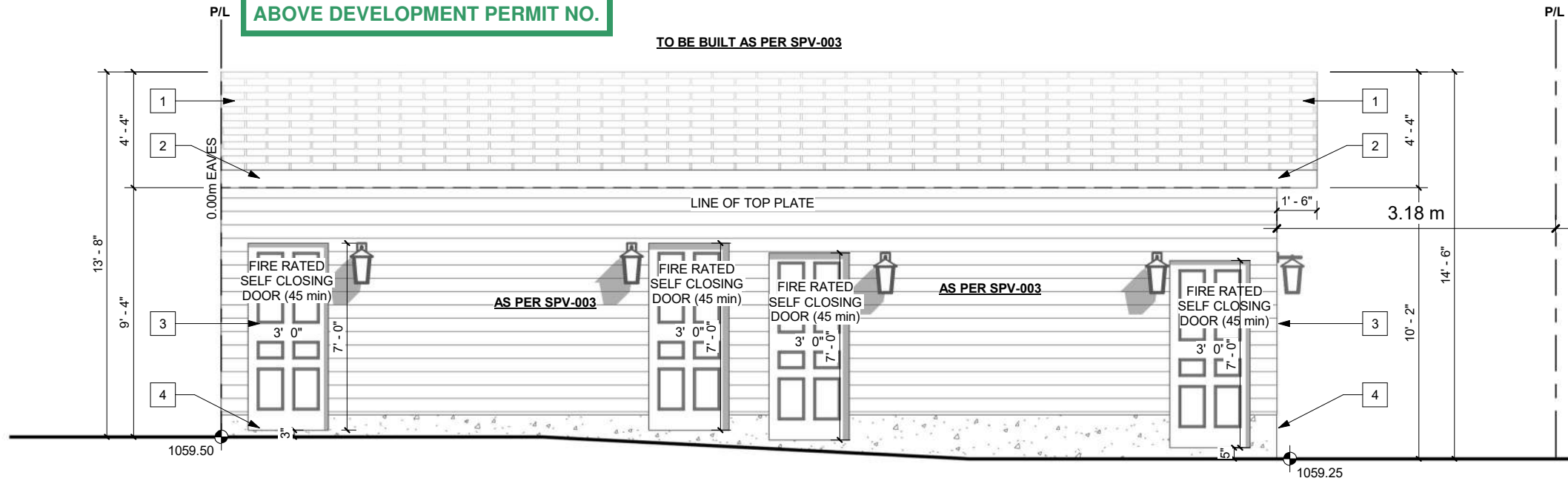
PROJECT NAME:
904 33 STREET N.W.
CALGARY, AB

DESIGNER: JT	JOB #: 113-26
SCALE: AS SHOWN	SHEET: A-2.3

- EXTERIOR FINISHES:
- 1 ASPHALT SHINGLES
 - 2 8" FASCIA
 - 3 SMART BOARD - WHITE
 - 4 CONCRETE PAVING
 - 5 CEDAR FINISH

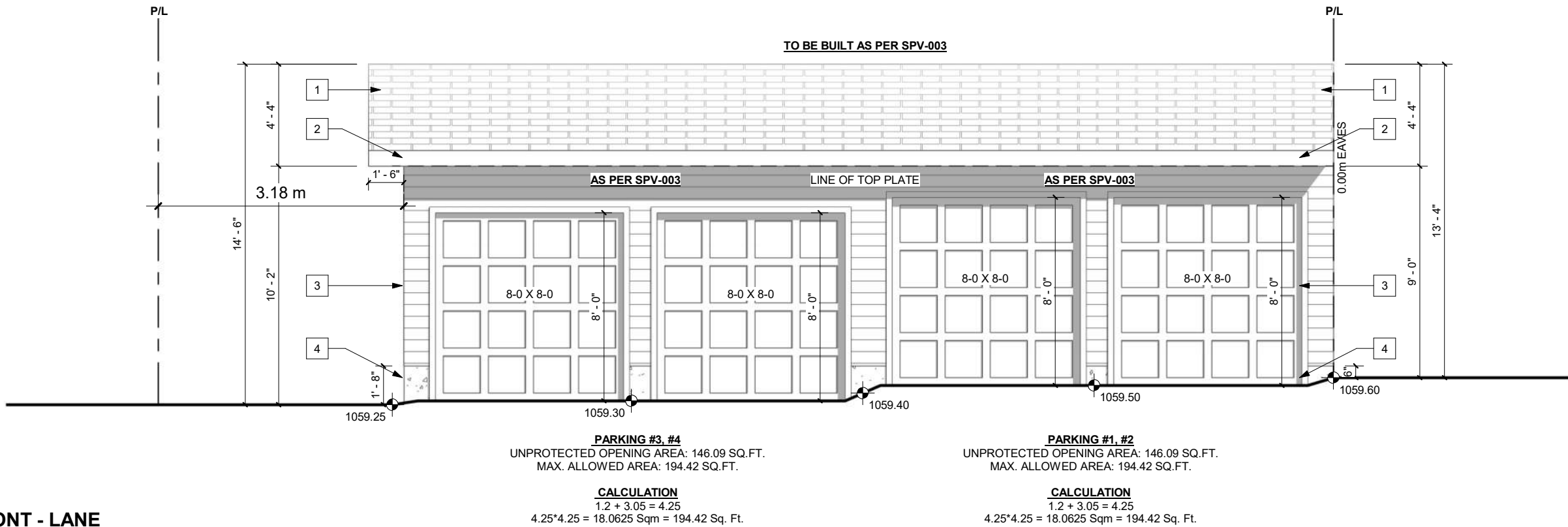
AMENDED DRAWINGS

DP No Date Received
DP2026-01107 2026-07-27
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



GARAGE REAR

SCALE: 3/16" = 1'-0"



GARAGE FRONT - LANE

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN
AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY
THIS DRAWING ARE OWNED BY JOHN TRINH
& ASSOCIATES INC. AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE
OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER
PERSON OR ORGANIZATION FOR ANY
PURPOSE WITHOUT THE WRITTEN
PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:
FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-24 10:24:27 AM

PROJECT NAME:
904 33 STREET N.W.
CALGARY, AB

DESIGNER: JT JOB #: 113-26

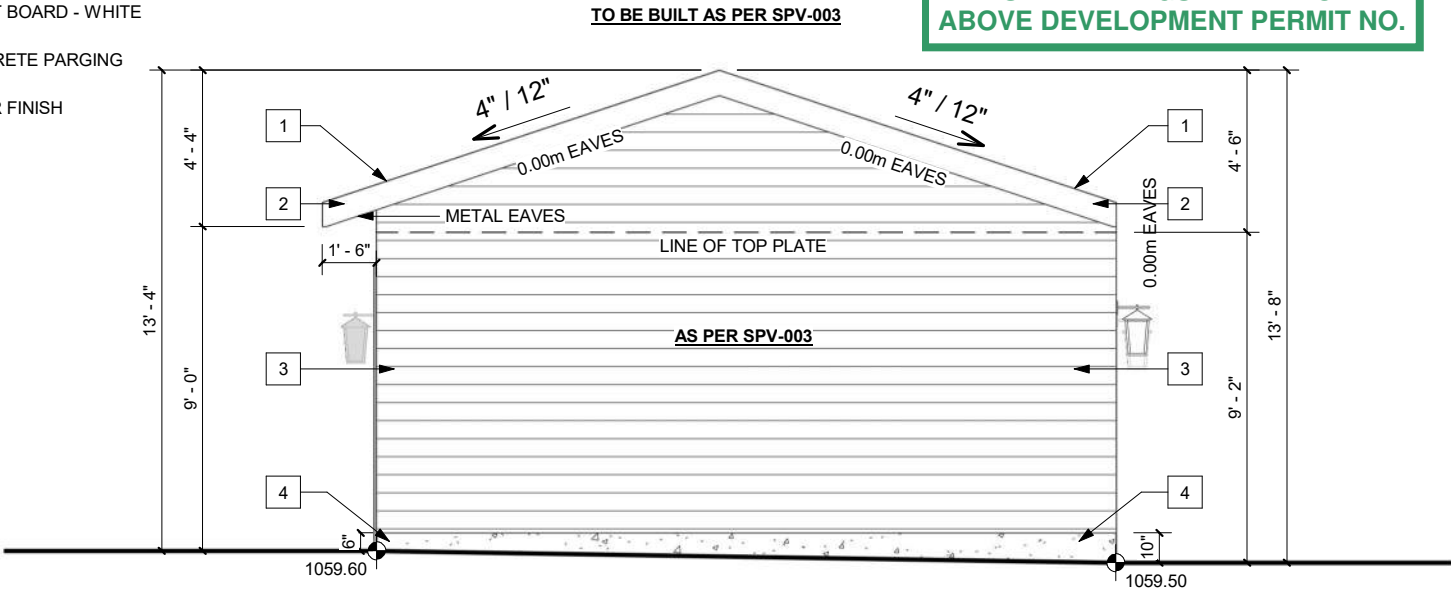
SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

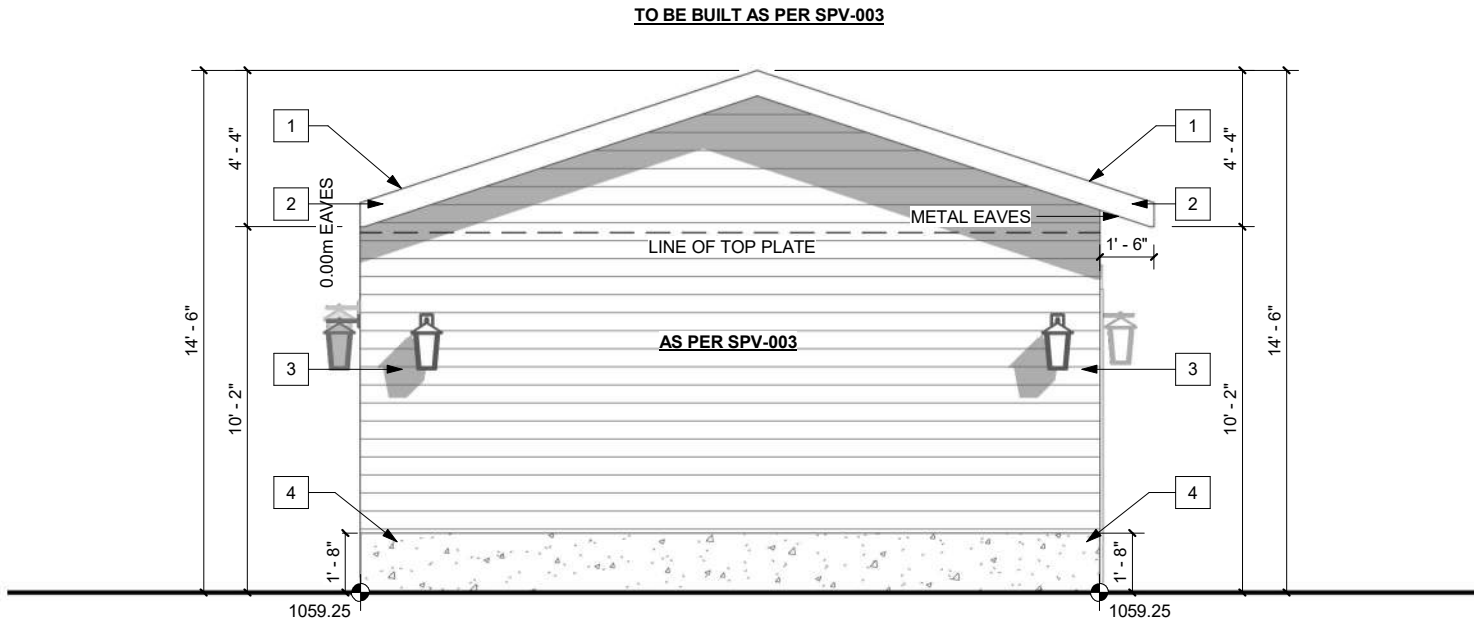
- 1 ASPHALT SHINGLES
- 2 8" FASCIA
- 3 SMART BOARD - WHITE
- 4 CONCRETE PARGING
- 5 CEDAR FINISH

AMENDED DRAWINGS

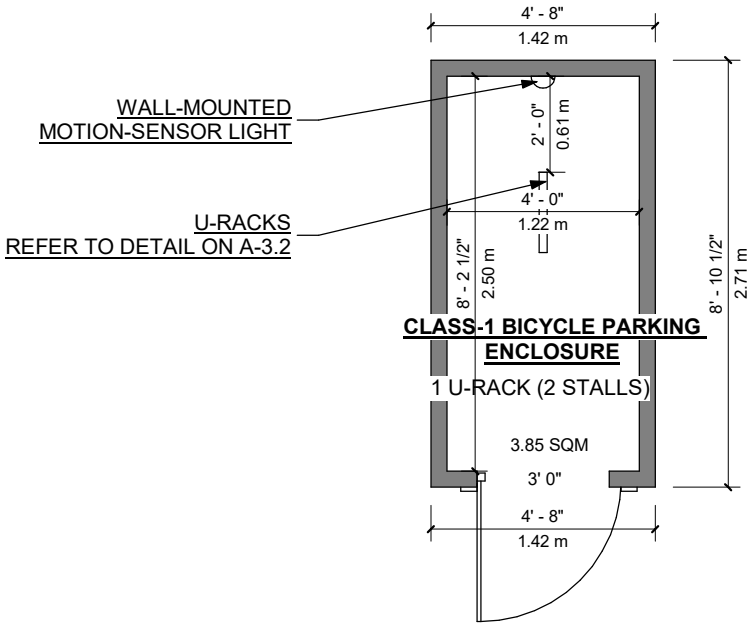
DP No Date Received
DP2026-01107 2026-07-27
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



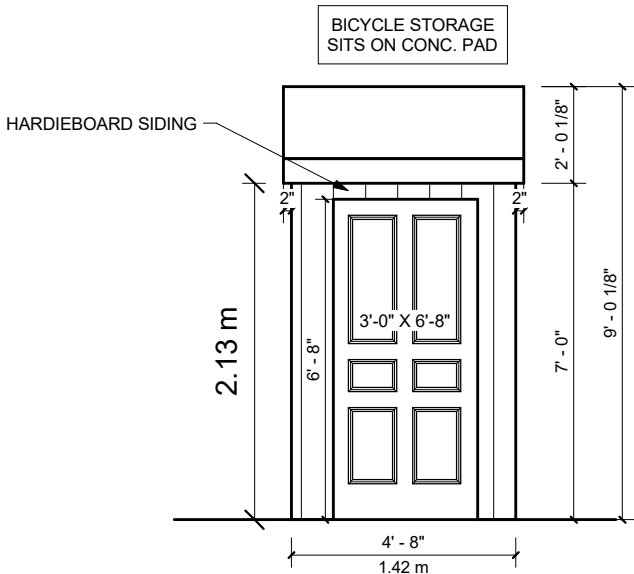
GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"



CLASS-1 BICYCLE ENCLOSURE FLOOR PLAN
SCALE: NTS



CLASS-1 BICYCLE ENCLOSURE FRONT ELEVATION
SCALE: NTS

ULINE
1-LOOP WAVE STYLE BIKE RACK



MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27

CLASS-1 BICYCLE PARKING STALL DETAILS
SCALE: NTS

PROJECT NOTES:

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN
AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY
THIS DRAWING ARE OWNED BY JOHN TRINH
& ASSOCIATES INC. AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE
OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER
PERSON OR ORGANIZATION FOR ANY
PURPOSE WITHOUT THE WRITTEN
PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:
FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-24 10:24:28 AM

PROJECT NAME:
904 33 STREET N.W.
CALGARY, AB

DESIGNER: JT JOB #: 113-26

SCALE: AS SHOWN SHEET: A-3.2