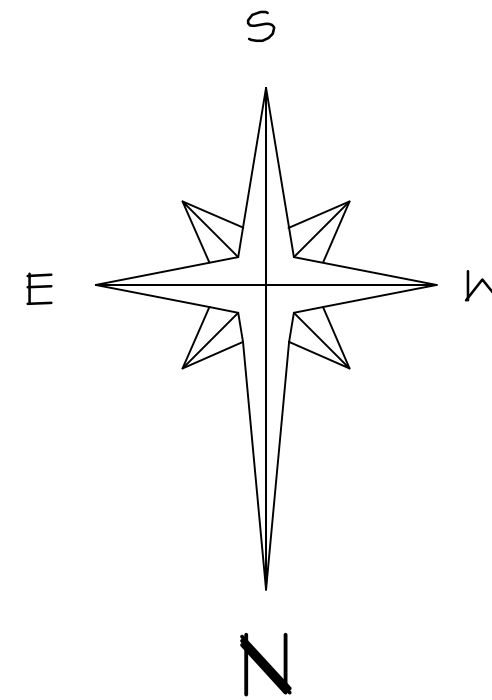
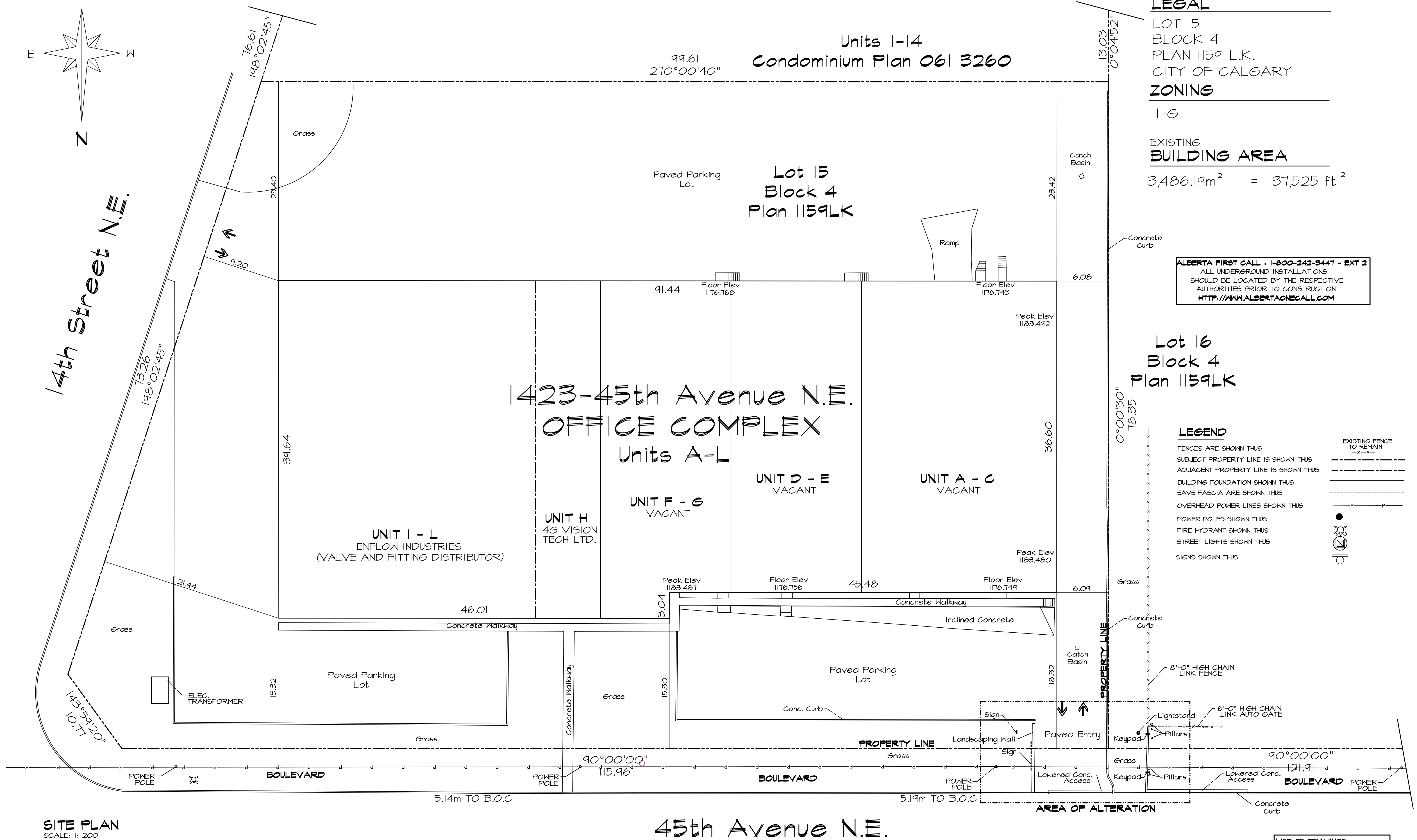




14th Street N.E.



SITE PLAN
SCALE: 1: 200

MUNICIPAL ADDRESS

1423 45 AVENUE N.E. CALGARY, AB

LEGAL

LOT 15
BLOCK 4
PLAN 1159 L.K.
CITY OF CALGARY

ZONING

I-G

EXISTING BUILDING AREA

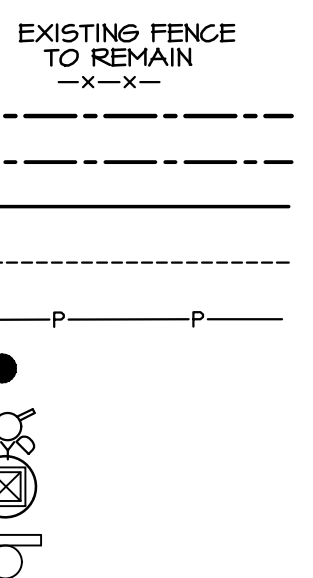
3,486.19m² = 37,525 ft²

ALBERTA FIRST CALL : 1-800-242-3447 - EXT 2
ALL UNDERGROUND INSTALLATIONS
SHOULD BE LOCATED BY THE RESPECTIVE
AUTHORITIES PRIOR TO CONSTRUCTION
[HTTP://WWW.ALBERTAONECALL.COM](http://www.albertaonecall.com)

Lot 16
Block 4
Plan 1159LK

LEGEND

FENCES ARE SHOWN THUS
SUBJECT PROPERTY LINE IS SHOWN THUS
ADJACENT PROPERTY LINE IS SHOWN THUS
BUILDING FOUNDATION SHOWN THUS
EAVE FASCIA ARE SHOWN THUS
OVERHEAD POWER LINES SHOWN THUS
POWER POLES SHOWN THUS
FIRE HYDRANT SHOWN THUS
STREET LIGHTS SHOWN THUS
SIGNS SHOWN THUS



LIST OF DRAWINGS	
1/2	- SITE PLANS
2/2	- ENTRY ALTERATION PLANS & DETAILS

1/2

JG Design

JG Design

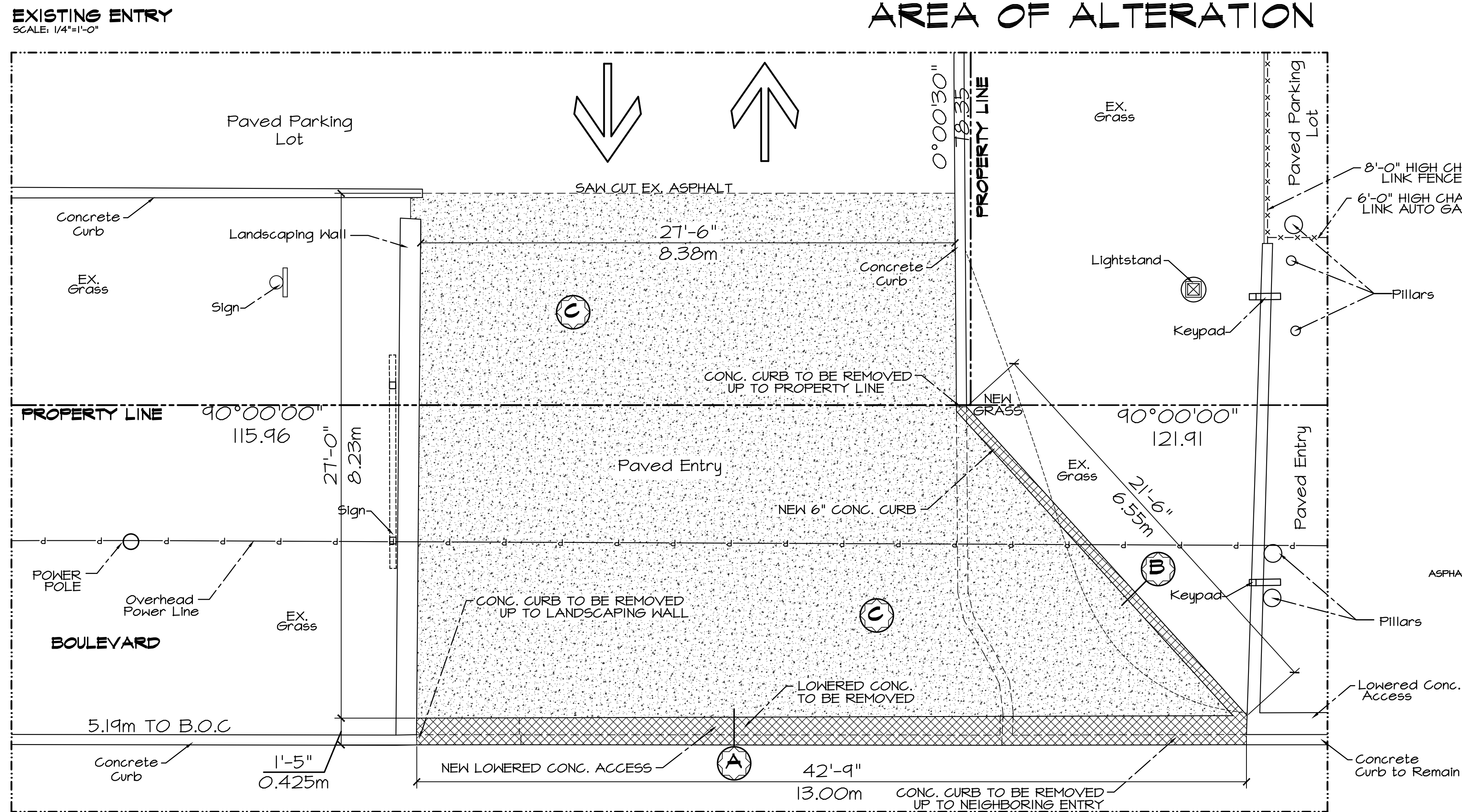
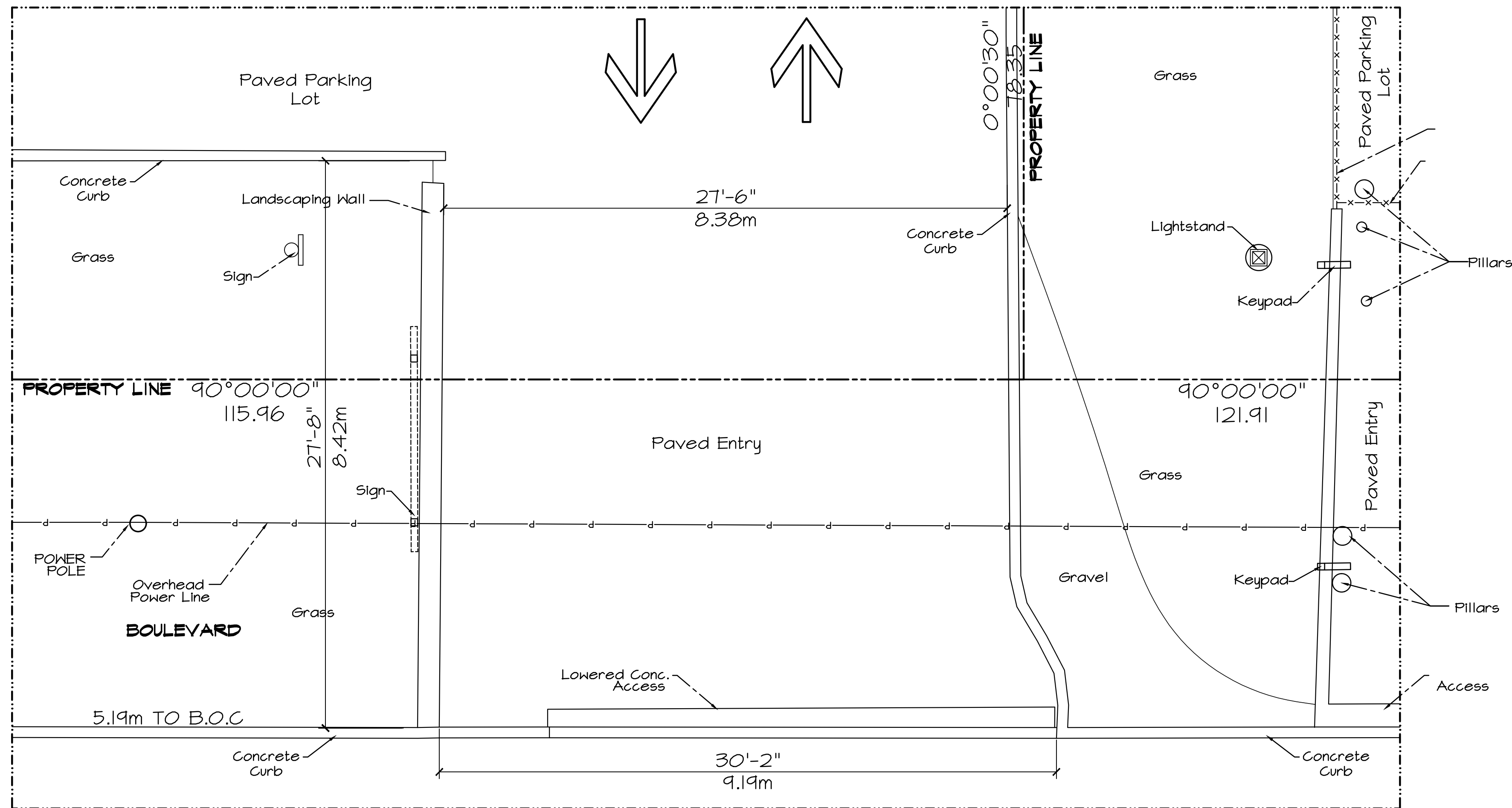
SCALE: 1: 200
CHECKED: JGUKERT
APPROVED: JGUKERT

DATE: JAN. 23 '26
FILE NO.

SITE PLAN

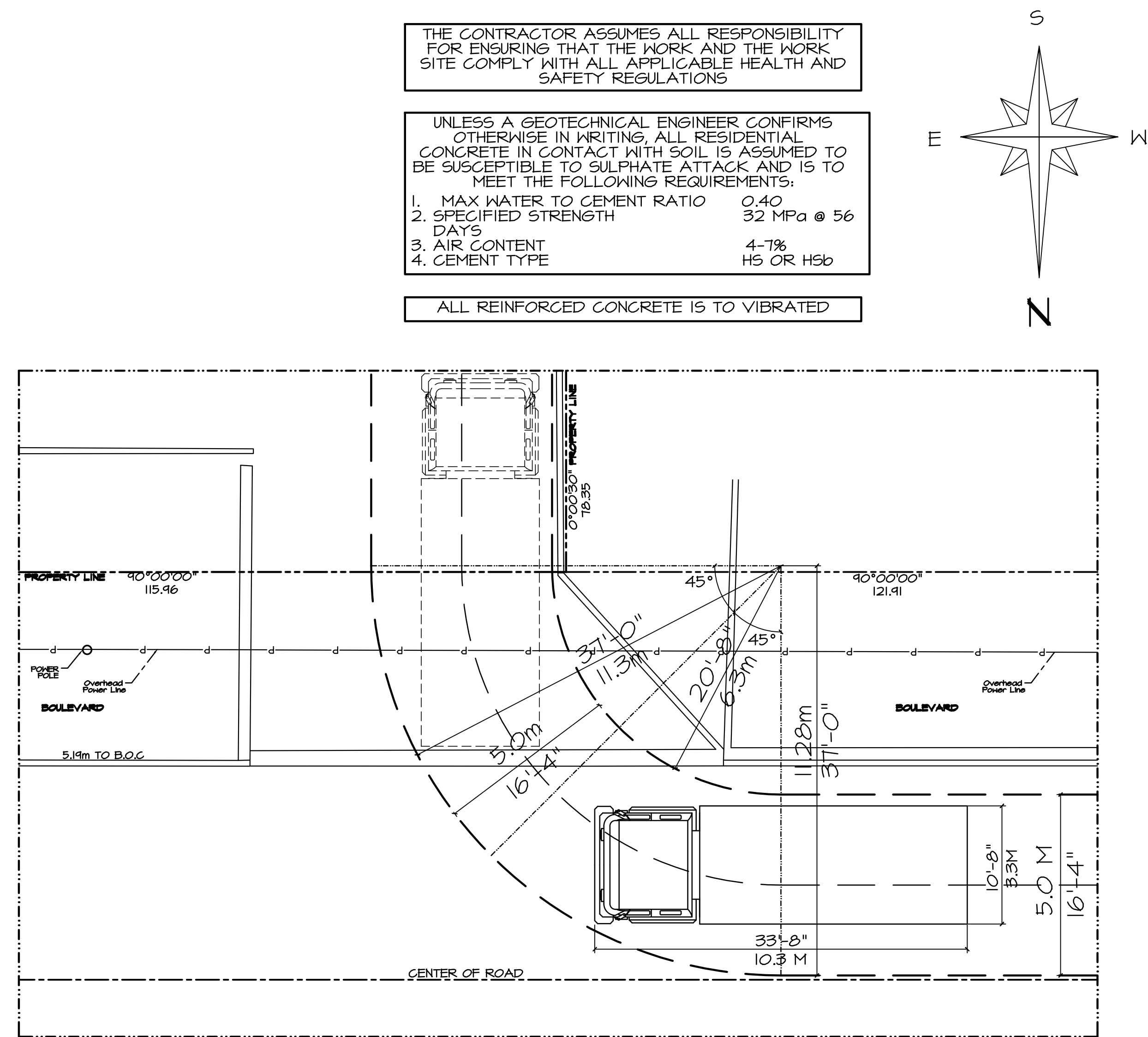
1423 45 AVENUE N.E.
COMMERCIAL
CHANGES TO SITE PLAN
TOTAL ALTERATION AREA = 496 SQ/FT

DP

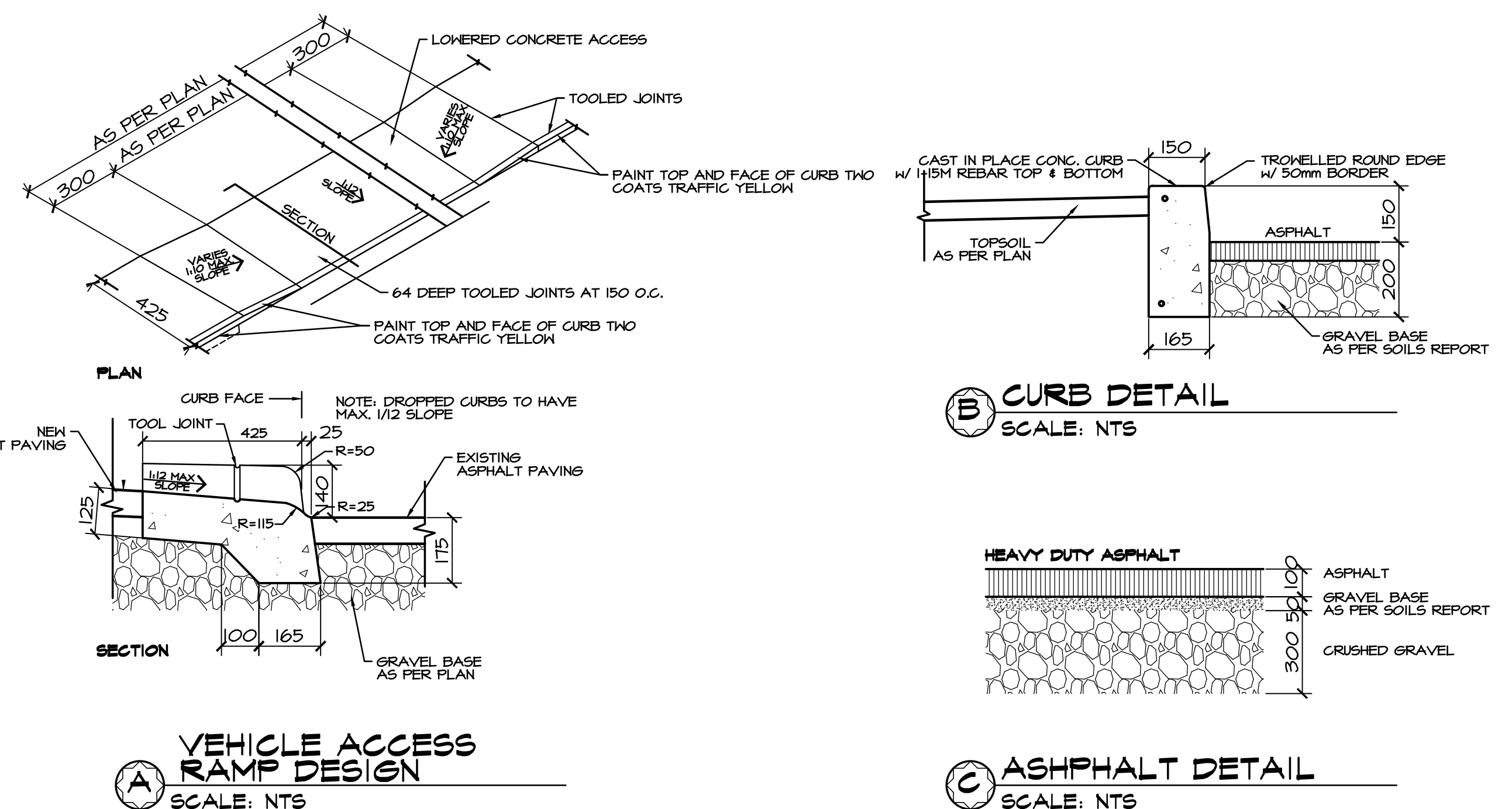


PROPOSED ENTRY ALTERATION
SCALE: 1/4"=1'-0"

- INDICATES AREA OF NEW CONC. 76 SQ/FT
- INDICATES AREA OF NEW OR ASPHALT TO BE REPLACED 860 SQ/FT



PROPOSED LARGE VEHICLE TURNING DETAIL
SCALE: 1/8"=1'-0"

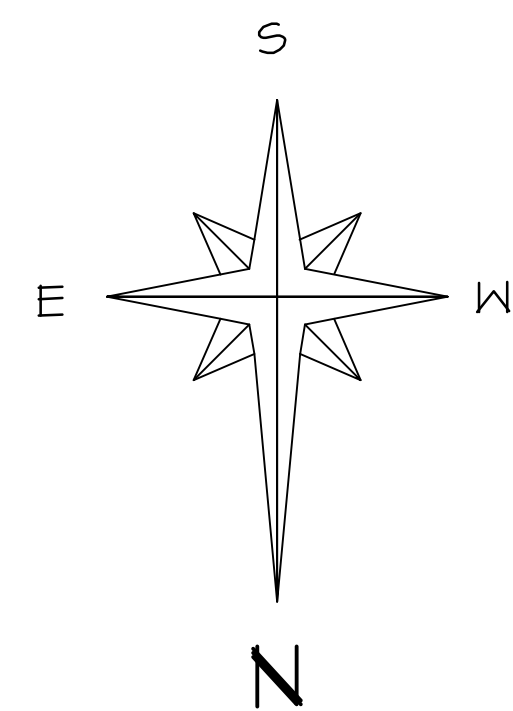


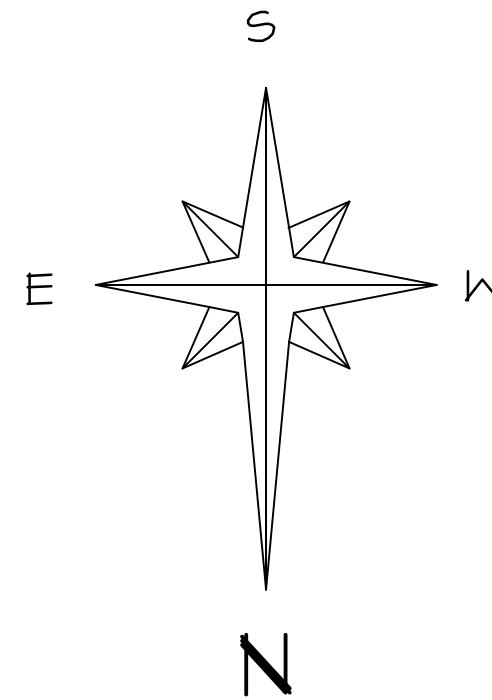
THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ENSURING THAT THE WORK AND THE WORK SITE COMPLY WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS

UNLESS A GEOTECHNICAL ENGINEER CONFIRMS OTHERWISE IN WRITING, ALL RESIDENTIAL CONCRETE IN CONTACT WITH SOIL IS ASSUMED TO BE SUSCEPTIBLE TO SULPHATE ATTACK AND IS TO MEET THE FOLLOWING REQUIREMENTS:

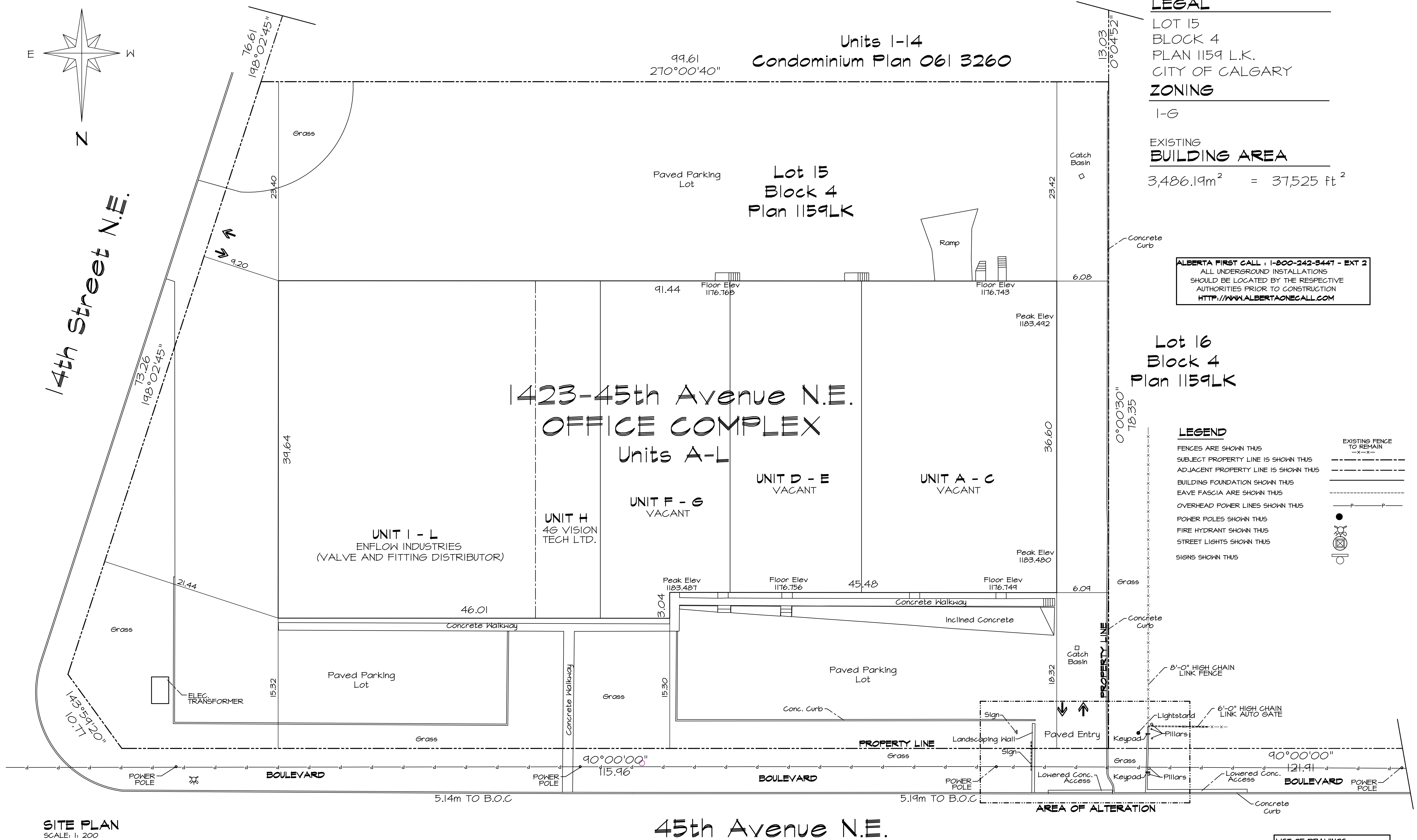
1. MAX WATER TO CEMENT RATIO	0.40
2. SPECIFIED STRENGTH	32 MPa @ 56 DAYS
3. AIR CONTENT	4-7%
4. CEMENT TYPE	HS OR HSB

ALL REINFORCED CONCRETE IS TO VIBRATED





14th Street N.E.



SITE PLAN
SCALE: 1: 200

MUNICIPAL ADDRESS

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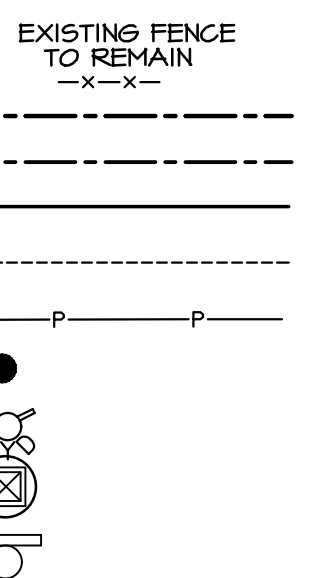
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1/2

JG Design
14 SILVERDALE CRES. NW
CALGARY, AB T2B 3P1
JEREMY@JGDESIGN.CA
PH. 805-2970

SCALE 1: 200
DRAWN JGUKERT
CHECKED JGUKERT
DATE JAN. 23 '26
FILE NO. APPROVED

SITE PLAN

1423 45 AVENUE N.E.
COMMERCIAL
CHANGES TO SITE PLAN

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