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PROPOSED

QUAD-726 KINGSLAND RESIDENTIAL DEVELOPMENT

726 69 AVENUE S.W. CALGARY, AB

LOT 13; BLOCK 13; PLAN 4658 GH

ISSUED FOR DEVELOPMENT PERMIT

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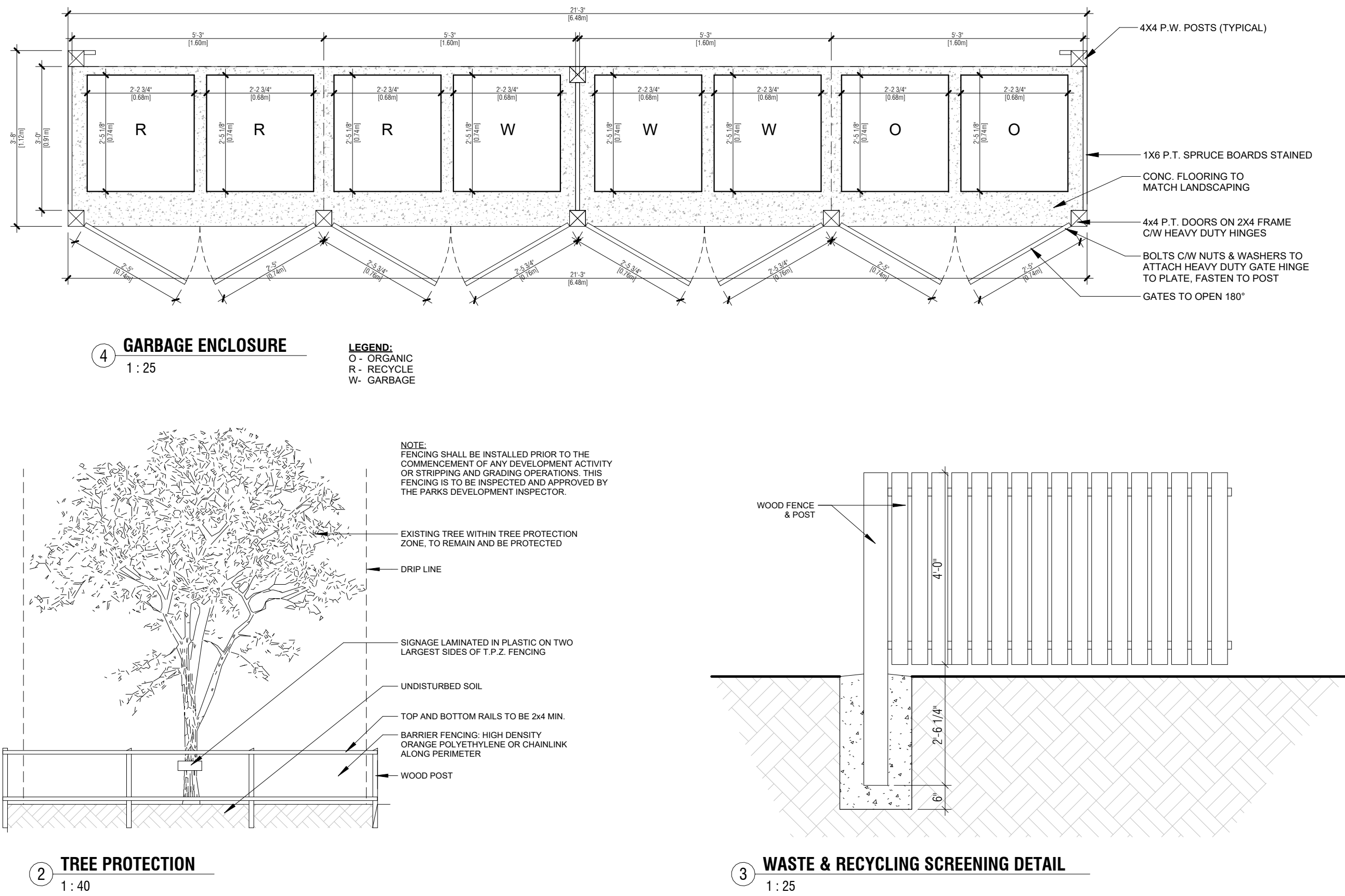
LEGEND	
Property Line.....	---
Setback Lines.....	---
Proposed Concrete.....	
Proposed Dwellings.....	
Proposed Cantilever.....	
Proposed Garage.....	
Proposed Roof Overhang.....	
Proposed Mulch.....	
Proposed Decorative Stone.....	
Proposed Sod.....	
Windows.....	W
Doors.....	D
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Overhead Door.....	OD
Existing Geodetic.....	101.23
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CODE REVIEW	
This analysis is based of the National Building Code of Canada, Alberta Edition, 2023	
DESCRIPTION: Rowhouse building and garage • Number of dwelling unit = 4.0 • Number of suites: = 4.0	
BUILDING AREA • Main Building = 274.43 m² • Garage = 79.32 m²	
GROSS FLOOR AREA • Main Floor = 259.52 m² • 2nd Floor = 260.04 m² • Garage = 80.00 m²	
• Basement = 259.52 m ²	
NUMBER OF STOREYS: • Main Building: 2.0 • Garage: 1.0	
OCCUPANCY CLASSIFICATION Group C - Residential Occupancy Rowhouse is classified under Part 9 - Small Buildings.	
OCCUPANT LOAD 2 persons per sleeping room	
FIRE & LIFE SAFETY: 9.10.9.16 • 1-hr FRR of wall assemblies between residential suites • 1-hr FRR of floor assemblies between stacked suites • 1-hr Load bearing elements • *4-hr Fire Wall to be provided between dwelling unit	
SMOKE AND CO ALARM 9.10.19.3 & 9.32.4.1 Hardwired and interconnected in each dwelling unit	
MEANS OF EGRESS • Each suite required to have a code complaint exit or shared protected exit path • Bedroom windows to meet egress size (0.35m2 clear operable window - 380mm min. width	
SOUND TRANSMISSION 9.11.1.1 (b) Min. STC between dewlling unit is 50	

ZONING BYLAW REVIEW	
This analysis is based of the City of Calgary Land Use Bylaw1P2007	
MUNICIPAL ADDRESS: • 726 69 Avenue S.W. Calgary, AB	
LEGAL ADDRESS: • Lot 13; Block 13; Plan 4685 GH	
LAND USE DESIGNATION: • H-GO: Housing - Grade-Oriented • Neighboring Lots' Designations: H-GO	
PROPOSED USES: • Dwelling Unit (Permitted) • Secondary Suite (Permitted)	
DESCRIPTION: Single residential building with a 4-Car detached garage • Number of dwelling units: 4.0 • Number of secondary suites: 4.0	
SITE AREA • 565.39 m² = 0.056539 ha • Density = 70.75 units/ha	
GROSS FLOOR AREA • Main Floor = 259.52 m² • 2nd Floor = 260.04 m² • Garage = 79.36 m²	
Floor Area Ratio = 1.06	
• Basement = 259.52 m ²	
Developed Area = 338.88 m ²	
SECTION	DESCRIPTION REQUIRED PROPOSED
GENERAL	
1390	Floor Area Ratio 1.5 max. 1.06
1392 (d)	Parcel Coverage 60.0 % max. 59.94 %
1393 (2)	Building Depth 66.12 %
SETBACK (Main Building)	
1395	Front Setback 3.0 m min. 3.00 m
1396 (1)	Side Setback 1.2 m min. 1.48 m
1397 (2)	Rear Setback 1.2 m min. 12.54 m
SETBACK & HEIGHT (Garage)	
1396 (4)	Side Setback 0.0 m min. 1.20 m
1396 (4)	Rear Setback 0.6 m min. 1.12 m
1401 (2)	Building Height 4.6 m max. 3.92 m
1401 (2)	Eaveline Height 3.0 max. 2.80 m
LANDSCAPE	
1402 (6)	Soft landscape 30.0% min. 50.77%
542.2 (2)	1.0 tree per 110 m ² 5.14 6.00 Trees
	3.0 shrubs per 110 m ² 15.42 18.00 Shrubs
OTHERS	
1405 (2)	Amenity Space 30.20 m ²
1411	0.5 Parking Stalls / Unit 4.00 Parking Stalls
1413	1.0 Bike Stalls / Suite 4.00 Class-1 Bike Stalls

OTHERS	
BIKE LOCKER SPECIFICATIONS: Provided 3.0 Dero Single (D1) in-ground mounted Bike Lockers (Class 1) or similar to accommodate bicycle parking stalls. As indicated on A101 Site plan. To be installed according to manufacturers' installation guide.	
GARBAGE/RECYCLING Shared Storage and collection	
LIGHT FIXTURES (OR EQUIVALENT) Fitting: E27 Max. Watt: 1X100W Standard Lamp: E27 Ships with: Bulbs not included Line voltage: 110-120V, 50-60Hz Operation Voltage: 110-120V, 50-60Hz Safety Class: 1 Safety Type: IP44 Certificated: ENEC	
DISCLAIMER The Gas line information shown on this sheet is compiled from records maintained by ATCO Gas. No warrantee or guarantee is given as to the accuracy or completeness of those records. Service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only and do not indicate the actual location or length of the service line. Dial-Before-You-Dig services should be utilized before commencement of any excavation or construction.	
LANDSCAPE STAT Parcel Area: 565.39 m ² Building Footprint: 259.52 m ² Garage Footprint : 79.36 m ² Garage Apron: 6.04 m ² Waste/Recycling Pad: 7.70 m ² Landscaping Area: 175.80 m ²	
HARD LANDSCAPE Concrete Sidewalk: 121.21 m ²	
SOFT LANDSCAPE Sod: 51.58 m ² Mulch: 3.73 m ² Soft Landscape Coverage: 31.33 %	
NOTE All soft landscaped area are to be irrigated by an underground irrigation system. Soil depth of 600mm for planting beds with shrubs and 300mm in all other areas. All plant materials must be species capable of healthy growth in Calgary and must conform to the standards of the Canadian nursery landscape association.	
This property does not fall within the overland flow region of the floodway/flood fringe according to the map from www.calgary.ca	
PLANTS LEGEND	
TREE Required: 1 tree per 110 sqf (5.14 Trees) Proposed: 6 new trees	TREES - DECIDUOUS Name: COLUMNAR COLORADO SPRUCE (<i>Picea pungens</i> "Fastigiata") Qty: 6 Size: 15ft (H); 6ft (W)
SHRUB Required: 3 per 110 sqf (15.42 Shrubs) Proposed: 18 Shrubs	SHRUBS Name: MUGO PINE (<i>Pinus Mugo</i>) Qty: 18 Size: (Min. Height or Spread of 0.60m at time of planting) SOD: Kentucky Bluegrass
EXISTING TREE ON SITE • 2 existing trees • 2 trees to be removed	

SPATIAL SEPARATION



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 13
Block 13
Plan 4658GH
MUNICIPAL ADDRESS: 726 69 Avenue S.W.
Calgary, Alberta
DATE OF SURVEY: December 17th, 2025.

LEGEND
Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 264960 Elev.=1064.43
Distances are in metres and decimals thereof.
Bearings are Grid (31M-114W) and Derived from GNSS Observations.
Found Iron Posts are shown thus: X
Drill Holes are shown thus: X
Found Iron Bars are shown thus: X
Magnetic Nails are shown thus: X
Calculation points are shown thus: X
Fire Hydrants are shown thus: X
Water Valves are shown thus: X
Gas Valves are shown thus: X
Power Poles are shown thus: X
Manholes are shown thus: X
Lamp Standards are shown thus: X
Street Signs are shown thus: X
Property lines are shown thus: X
Utility Right of Ways are shown thus: X
Eaves are shown thus: X
Fences are shown thus: X
Streetlight Cables are shown thus: X
Underground Electrical lines shown thus: X
Stormline are shown thus: X
Sanitaryline are shown thus: X
Combined Storm/Sanitary are shown thus: X
Telephone Lines are shown thus: X
Waterline are shown thus: X
Gasline are shown thus: X
Overhead Electrical lines shown thus: X
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise lines outside of property are not to scale.
NOTE:
Title information is based on the C. of T. 251-169-421 which was searched on the 22nd day of December, 2025, and is subject to:
No Pertinent Registration.

ABBREVIATIONS
A---Arc Length
Acc---Accessory
A/C---Air Conditioner
Bldg---Building
BOC---Back of Curb
BOW---Back of Walk
Calc---Calculated
Cant---Cantilever
Canc---Concrete
C.S---Countersunk
DH---Drill Hole
Enc---Encroaches
Fd---Found
L---Iron Post
LB---Iron Bar
LOG---Lip of Gutter
M.A---Maintenance Access
MK---Mark
M.N---Magnetic Nail
O.D---Overland Drainage
R---Radius
Reg---Registration
Ret---Retaining
R/W---Right of Way
W/O---Walkout Basement
W.W---Window Well

This plan represents the best information at the time of survey.
Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.
Call Alberta One-Call: 1-800-242-3447

--- denotes Coniferous
--- denotes Deciduous
--- denotes Bush

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.70	8.00	20.00
2	Bush	---	1.00	---
3	Bush	---	2.15	---
4	Coniferous	0.35	6.00	15.00
5	Coniferous	0.35	5.00	15.00

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Project Title
Quad-726 Kingsland Residential

Legal Address
Lot 13, Block 13, Plan 4658 GH

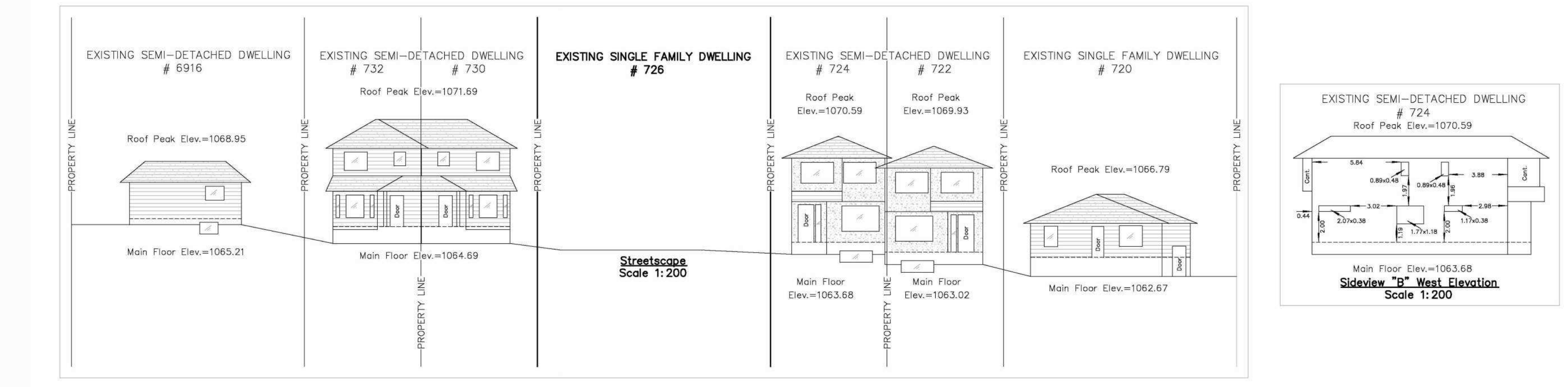
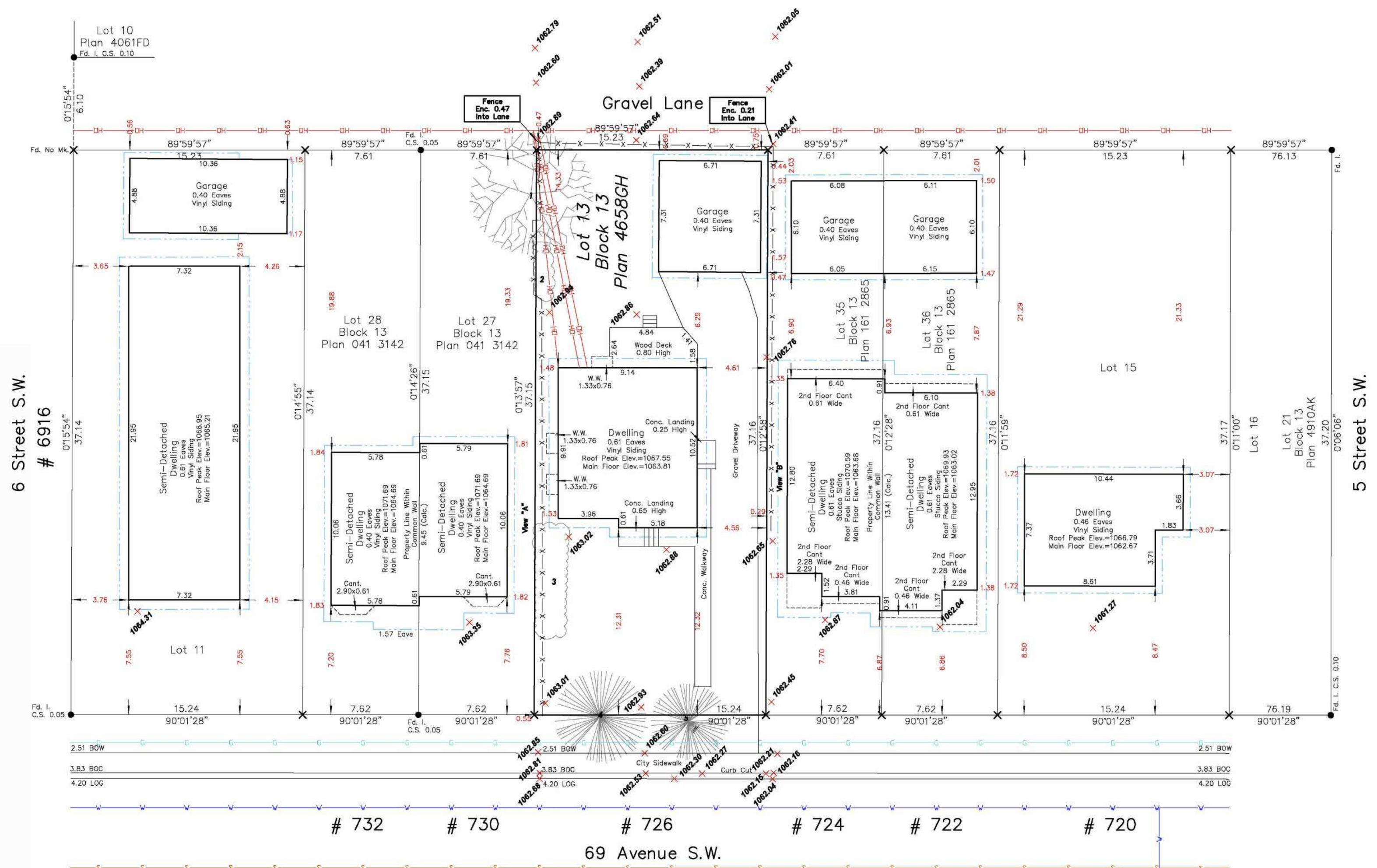
Municipal Address
726 69 Avenue S.W.
Calgary, AB

NOT FOR CONSTRUCTION

1	Issued for Review	12 Jan 2026
2	Issued for Review	15 Jan 2026
3	Issued for Development Permit	23 Feb 2026
4	Issued for Development Permit	04 Mar 2026

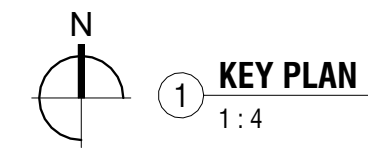
Drawing Title
SURVEY PLAN

Scale
As Indicated
Date
04 March 2026
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DP.02
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Surveyed: KX | Drawn: JW/WY | Checked by: JG | Scale: 1:200 | File No.: 255081



Key Plan:

Scale:

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Quad-726 Kingsland Residential

Legal Address:
Lot 13, Block 13, Plan 4558 GH

Municipal Address:
726 69 Avenue SW
Calgary, AB

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KEY PLAN

Scale:

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Date:

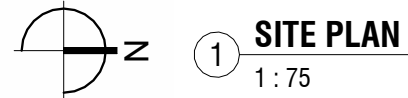
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Seat

Project Title:
Quad-726 Kingsland Residential

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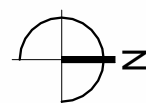
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 **LANDSCAPE PLAN**
1:75

TREE TABLE

#	Variety	Species	Trunk	Canopy	Height	Owner	Status
T1	Deciduous		0.70	8.00	20.00	Private	Retained
T4	Coniferous		0.35	6.00	15.00	Public	Removed
T5	Coniferous		0.35	5.00	15.00	Public	Removed

LEGEND:

-  PROPOSED BUILDING
-  SOD (SOFTSCAPE)
-  MULCH (SOFTSCAPE)
-  CONCRETE (HARDSCAPE)
-  WASHED ROCK (HARDSCAPE)
-  PROPOSED ENTRY

PROPOSED PLANTING LEGEND:

TREES DECIDUOUS
REQUIRED: 1 per 110m² OF PARCEL = 5 TREES
PROVIDED: 6 TREES
CALLIPER: 60mm MINIMUM

PROPOSED TREE PLANTING
NAME: COLUMNAR COLORADO SPRUCE
(*Picea pungens 'Fastigiata'*)
QTY: 6
SIZE: 15R (H); 6R (W)

SHRUBS
REQUIRED: 3 per 110m² OF PARCEL = 20 SHRUBS
PROVIDED: 18 SHRUBS
HEIGHT: 0.6m MINIMUM @ PLANTING

PROPOSED SHRUBS
NAME: MUGO PINE
(*Pinus mugo*)
QTY: 18
SIZE: Min. Height or Spread of 0.60m at time of planting

PROPOSED SOD
NAME: KENTUCKY BLUEGRASS
(*Poa pratensis*)

LANDSCAPING STAT:

PARCEL AREA: 677.12 m²
BUILDING FOOTPRINT: 274.43 m²
GARAGE FOOTPRINT: 79.32 m²
GARAGE APRON: 6.04 m²
WASTE/RECYCLING PAD: 7.70 m²
LANDSCAPING AREA: 176.52 m²

HARD LANDSCAPE
CONCRETE SIDEWALK: 121.21 m²

SOFT LANDSCAPE
SOD: 51.58 m²
MULCH: 3.73 m²

SOFT LANDSCAPE COVERAGE: 31.33 %

NOTES:

- ALL SOFT LANDSCAPED AREA TO BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
- MIN. SOIL DEPTH REQUIRED FOR SOD = 300 mm
- MIN. SOIL DEPTH REQUIRED FOR SHRUBS = 600 mm
- MIN. SOIL DEPTH REQUIRED FOR TREES = 1,200 mm

Key Plan:

Seal:

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Project Title:
Quad-726 Kingsland Residential

Legal Address:
Lot 13, Block 13, Plan #558 GH

Municipal Address:
726 66 Avenue S.W.
Calgary, AB

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LANDSCAPE PLAN

Scale:

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587.582.6630 termitay@gnrbarch.com



1 SOUTH ELEVATION
1:64



2 EAST ELEVATION
1:64



3 NORTH ELEVATION
1:64



4 WEST ELEVATION
1:64

MATERIAL LEGEND:

AS-1 ROOFING 1 MAT'L 30-YEAR ASPHALT SHINGLES MFR IKO - DYNASTY COLOR GRANITE BLACK	SB-2 WALL CLADDING 2 MAT'L SMART BOARD PANEL MFR LP SMARTSIDE COLOR SNOWSCAPE WHITE	MS-1 MASONRY 1 MAT'L BRICK VENEER MFR HEBRON BRICK COLOR WAREHOUSE DISTRICT
FR-1 FASCIA / RAINWARE MAT'L ALUMINUM / METAL MFR MITTEN COLOR IRON ORE	ST-1 WALL CLADDING 3 MAT'L STUCCO CLADDING MFR STUCCO COLOR SAND DUNE	MS-2 MASONRY 2 MAT'L CONCRETE PARGING COLOR GREY
SB-1 WALL CLADDING 1 MAT'L SMART BOARD PANEL MFR LP SMARTSIDE COLOR SAND DUNE	MP-1 WALL CLADDING 4 MAT'L METAL CLADDING MFR METALWORKS COLOR DARK GREY	FR-1 BALCONY RAILINGS MAT'L PREFINISHED METAL COLOR SW 9560 NIGHT OUT

Key Plan:

Seal:

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Project Title
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Drawing Title

ELEVATIONS

Scale

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Date

04 March 2026

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MATERIAL LEGEND



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GARAGE

Scale:

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04 March 2026

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