



22200 28 ST SE

ARTISTIC RENDER — FOR REFERENCE ONLY

ISSUED FOR DR1

2026.04.29

PROJECT NUMBER:

25.018.KAL_LEG

PARCEL ADDRESS:

LEGAL: PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

MUNICIPAL: PROJECT ADDRESS

DP REFERENCE:

DRAWING LISTS

INDEX: ARCHITECTURE FAAS

303 - 1812 4 ST SW, CALGARY, AB T2S 1W1
 DP.001 SITE PHASING - B8
 DP.002 FIRE ACCESS PLAN AND DETAILS
 DP.003 WASTE & RECYCLING PLAN AND DETAILS
 DP.004 SITE PHOTOS
 DP.005 SHADOW STUDY - MARCH/SEPT.
 DP.006 SHADOW STUDY - JUNE
 DP.007 SHADOW STUDY - DEC.
 DP.008 CONNECTIVITY PLAN
 DP.009 SITE RENDERERS
 DP.100 SITE PLAN
 DP.201 FLOOR PLANS - BUILDING 1
 DP.202 FLOOR PLAN AND ROOF PLAN - BUILDING 1
 DP.203 FLOOR PLANS - BUILDINGS 2, 3 & 5
 DP.204 FLOOR PLAN AND ROOF PLAN - BUILDINGS 2, 3 & 5
 DP.205 FLOOR PLANS - BUILDING 4
 DP.206 FLOOR PLAN AND ROOF PLAN - BUILDING 4
 DP.207 FLOOR PLANS - BUILDING 6
 DP.208 FLOOR PLAN AND ROOF PLAN - BUILDING 6
 DP.209 FLOOR PLANS - BUILDING 7
 DP.210 FLOOR PLAN AND ROOF PLAN - BUILDING 7
 DP.211 FLOOR PLANS - BUILDING 8
 DP.212 FLOOR PLAN AND ROOF PLAN - BUILDING 8
 DP.213 FLOOR PLANS - BUILDING 9
 DP.214 FLOOR PLAN AND ROOF PLAN - BUILDING 9
 DP.215 GARAGE FLOOR AND ROOF PLAN - SPLEX
 DP.216 GARAGE FLOOR AND ROOF PLAN - SPLEX
 DP.301 UNIT PLANS - TYPE A - BUILDING 1
 DP.302 UNIT PLANS - TYPE A - BUILDING 1
 DP.303 UNIT PLANS - TYPE B1 - BUILDING 4 & 9
 DP.304 UNIT PLANS - TYPE B1 - BUILDING 4 & 9
 DP.305 UNIT PLANS - TYPE B2
 DP.306 UNIT PLANS - TYPE B2
 DP.401 ELEVATIONS - BUILDING 1
 DP.402 ELEVATIONS - BUILDING 2
 DP.403 ELEVATIONS - BUILDING 3
 DP.404 ELEVATIONS - BUILDING 4
 DP.405 ELEVATIONS - BUILDING 5
 DP.406 ELEVATIONS - BUILDING 6
 DP.407 ELEVATIONS - BUILDING 7
 DP.408 ELEVATIONS - BUILDING 8
 DP.409 ELEVATIONS - BUILDING 9
 DP.410 GARAGE ELEVATIONS - SPLEX
 DP.411 GARAGE ELEVATIONS - SPLEX

INDEX: CIVIL

SW-C1 SITE GRADING
 SW-C2 SITE UTILITIES

INDEX: LANDSCAPE

DPL.10 LANDSCAPE PLAN
 DPL.20 LANDSCAPE DETAILS
 DPL.21 LANDSCAPE DETAILS

INDEX: ELECTRICAL

E101 ELECTRICAL SITE PLAN
 E102 POINT BY POINT CALCULATION & RENDERINGS

BUILDING INFORMATION

ADDRESSING:

LEGAL: PLAN XX, LOT 90, BLOCK 75
 WITHIN S.W. 1/4 Sec.8,
 Twp.22, Rge.29, W. 4th M.
 MUNICIPAL: 22200 28 ST SE
 COMMUNITY: LEGACY
 ZONING: M-1

PARCEL COVERAGE:

SITE AREA: 10228.520m² (110098.87ft² / 1.02 ha)
 BUILDING FOOTPRINT: 3491.05m² (37577.35ft²)
 COVERAGE: 34.13%

FLOOR AREA RATIO:

PROPOSED: 0.89

DENSITY:

MINIMUM ALLOWED: 50 UNITS/ha
 PROPOSED DENSITY: 89 UNITS/ha
 TOTAL PROPOSED UNITS: 91 UNITS

AMENITY SPACE:

PRIVATE
 MINIMUM REQUIRED: 5.0 m²/unit
 PROPOSED: >5.0 m²/unit

BUILDING AREA:

BLDG 1: MAIN FLOOR: 337.09 m ² 3,628.38 ft ² 2ND: 337.10 m ² 3,628.52 ft ² 3RD: 337.09 m ² 3,628.38 ft ² TOTAL: 1,011.28 m ² 10,885.28 ft ²	BLDG 2: MAIN FLOOR: 255.06 m ² 2,745.46 ft ² 2ND: 243.47 m ² 2,620.97 ft ² 3RD: 258.93 m ² 2,787.13 ft ² TOTAL: 757.46 m ² 8,153.26 ft ²
BLDG 2,3,5: MAIN FLOOR: 382.26 m ² 4,114.63 ft ² 2ND: 364.95 m ² 3,928.25 ft ² 3RD: 388.08 m ² 4,177.21 ft ² TOTAL: 1,135.29 m ² 12,220.09 ft ²	BLDG 7,8: MAIN FLOOR: 318.66 m ² 3,430.05 ft ² 2ND: 304.25 m ² 3,274.96 ft ² 3RD: 323.50 m ² 3,482.17 ft ² TOTAL: 946.41 m ² 10,187.18 ft ²
BLDG 4: MAIN FLOOR: 386.94 m ² 4,165.00 ft ² 2ND: 380.63 m ² 4,097.10 ft ² 3RD: 389.93 m ² 4,197.13 ft ² TOTAL: 1,157.50 m ² 12,459.23 ft ²	BLDG 9: MAIN FLOOR: 322.45 m ² 3,470.83 ft ² 2ND: 317.31 m ² 3,415.47 ft ² 3RD: 325.05 m ² 3,498.83 ft ² TOTAL: 964.81 m ² 10,385.13 ft ²

SETBACKS:

NORTH 3m
 EAST 1.5m
 SOUTH 3m
 WEST 1.5m

VEHICULAR PARKING CALCULATIONS:

MIN. 0.625 RESIDENT STALLS / RESIDENCE UNIT
 NO VISITOR STALLS / RESIDENCE UNIT REQUIREMENT

REQUIRED STALLS	RESIDENTIAL	VISITOR	TOTAL
PROVIDED	96	9	105

BICYCLE PARKING:

MIN. 1 CLASS I BICYCLE STALLS/ UNIT = 91 STALLS REQUIRED
 16 PROPOSED*
 MIN. 0.1 CLASS II BICYCLE STALLS/ UNIT = 10 STALLS REQUIRED
 12 PROPOSED

* THIS SITE PROPOSES AN E-BIKE SHARE, WHICH INCLUDES 10 BIKES FOR THE COMMUNITY TO SHARE.



BUILDING IDENTIFICATION

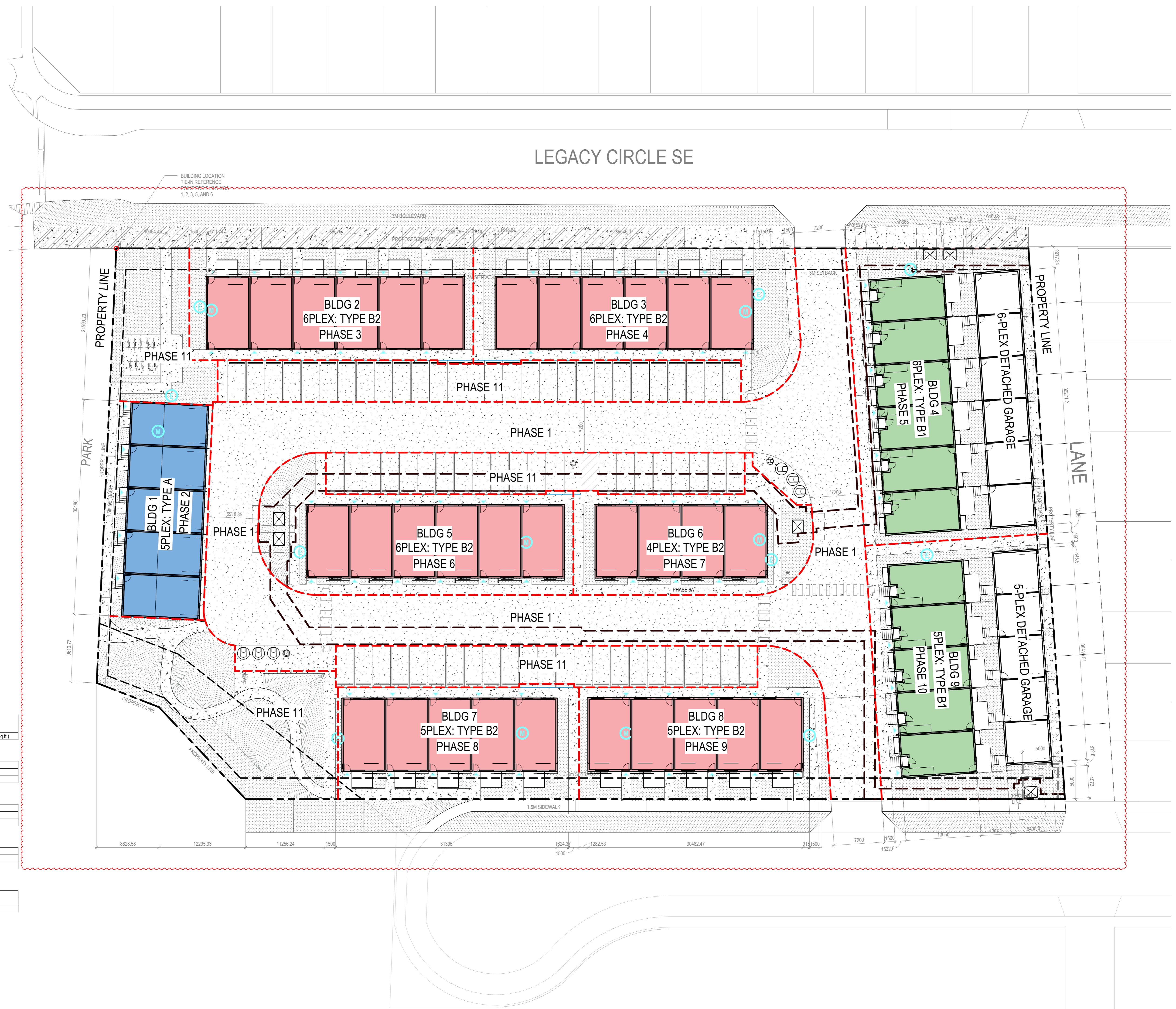
- TYPE A UNIT
- TYPE B1 UNIT
- TYPE B2 UNIT
- PHASING BOUNDARY

SITE PHASING

- PHASE 1**
- MOBILIZE & SITE PREP.
 - DEEP SERVICES AND CONNECTION TO EXISTING SERVICES
 - ROADWAY ASPHALT ONLY (SHARED ROAD AGREEMENT)
 - SHALLOW SERVICES AS REQUIRED
 - FIRE HYDRANT & BOLLARD PROTECTION
 - 1.2m CHAIN LINK FENCE ALONG PROPERTY LINES
 - WASTE & RECYCLING AREA
 - MAIL BOX
- PHASE 2**
- BUILDING #1 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 3**
- BUILDING #2 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 4**
- BUILDING #3 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 5**
- BUILDING #4 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 6**
- BUILDING #5 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 7**
- BUILDING #6 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 8**
- BUILDING #7 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 9**
- BUILDING #8 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 10**
- BUILDING #9 CONSTRUCTION
 - DRIVEWAYS & WALKWAYS
 - LANDSCAPE & SITE DEVELOPMENT
- PHASE 11**
- AMENITY & COURTYARD WALKWAYS, LANDSCAPE CONSTRUCTION & SITE DEVELOPMENT
 - PARKING STALLS

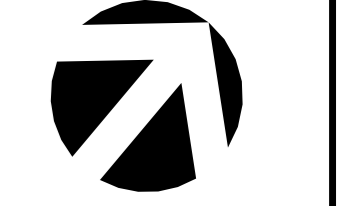
BUILDING AREA STATISTICS		
LEVEL	AREA (sq.m.)	AREA (sq.ft.)
BUILDING 1		
MAIN FLOOR	337.09 m²	3628.38 ft²
LEVEL 3	337.09 m²	3628.38 ft²
LEVEL 2	337.10 m²	3628.52 ft²
	1011.27 m²	10885.27 ft²
BUILDING 2		
MAIN FLOOR	382.26 m²	4114.63 ft²
LEVEL 3	388.08 m²	4177.21 ft²
LEVEL 2	364.95 m²	3928.25 ft²
	1135.28 m²	12220.09 ft²
BUILDING 3		
MAIN FLOOR	382.26 m²	4114.63 ft²
LEVEL 3	388.08 m²	4177.21 ft²
LEVEL 2	364.95 m²	3928.25 ft²
	1135.28 m²	12220.09 ft²
BUILDING 4		
LOWER LEVEL	386.94 m²	4165.00 ft²
SECOND LEVEL	389.93 m²	4197.13 ft²
MAIN LEVEL	380.63 m²	4097.10 ft²
	1157.50 m²	12459.23 ft²
BUILDING 5		
MAIN FLOOR	382.26 m²	4114.63 ft²
LEVEL 3	388.08 m²	4177.21 ft²
LEVEL 2	364.95 m²	3928.25 ft²
	1135.28 m²	12220.09 ft²

BUILDING AREA STATISTICS		
LEVEL	AREA (sq.m.)	AREA (sq.ft.)
BUILDING 6		
MAIN FLOOR	255.05 m²	2745.46 ft²
LEVEL 3	258.93 m²	2787.13 ft²
LEVEL 2	243.47 m²	2620.67 ft²
	757.45 m²	8153.26 ft²
BUILDING 8		
MAIN FLOOR	318.66 m²	3430.05 ft²
LEVEL 3	323.50 m²	3482.17 ft²
LEVEL 2	304.25 m²	3274.96 ft²
	946.42 m²	10167.18 ft²
BUILDING 9		
LOWER LEVEL	322.45 m²	3470.83 ft²
SECOND LEVEL	325.05 m²	3498.83 ft²
MAIN LEVEL	317.31 m²	3415.47 ft²
	964.81 m²	10385.13 ft²
BUILDING 12		
MAIN FLOOR	318.66 m²	3430.05 ft²
LEVEL 3	323.50 m²	3482.17 ft²
LEVEL 2	304.25 m²	3274.96 ft²
	946.42 m²	10167.18 ft²
TOTAL G.F.A. : 27 9189.74 m²		
98917.52 ft²		



FORMED ALLIANCE ARCHITECTURE STUDIO

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



RELEASES		
NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME

22200 28 ST SE

MUNICIPAL ADDRESS

PROJECT ADDRESS

LEGAL ADDRESS
 PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
 25.016.KAL_LEG

DRAWN	CHECKED
HJ	MM
DATE	SCALE
2026.04.29	As Indicated

DRAWING TITLE
SITE PHASING

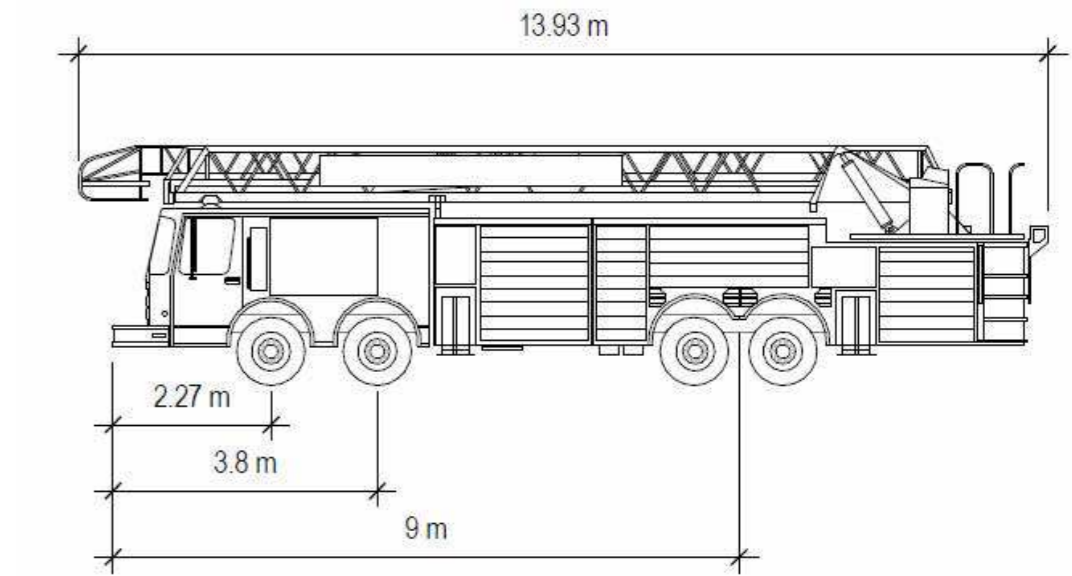
DRAWING NUMBER

DP.001

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.

NOTES

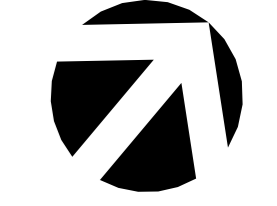
ALL PORTIONS OF FIRETRUCK ACCESS ROUTE, CONCRETE PADS & APRONS SHALL BE DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517 kPa OVER A 24" BY 24" AREA



CFD BRONTO SKYLIFT

WIDTH: 2.57 m
 TRACK: 2.57 m
 LOCK TO LOCK TIME: 6.0 s
 STEERING ANGLE: 47.5 deg
 TURNING RADIUS: 10.18 M

COC FIRE TRUCK PROFILE



NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME
22200 28 ST SE

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

DRAWN: [] CHECKED: []
 UJ MM

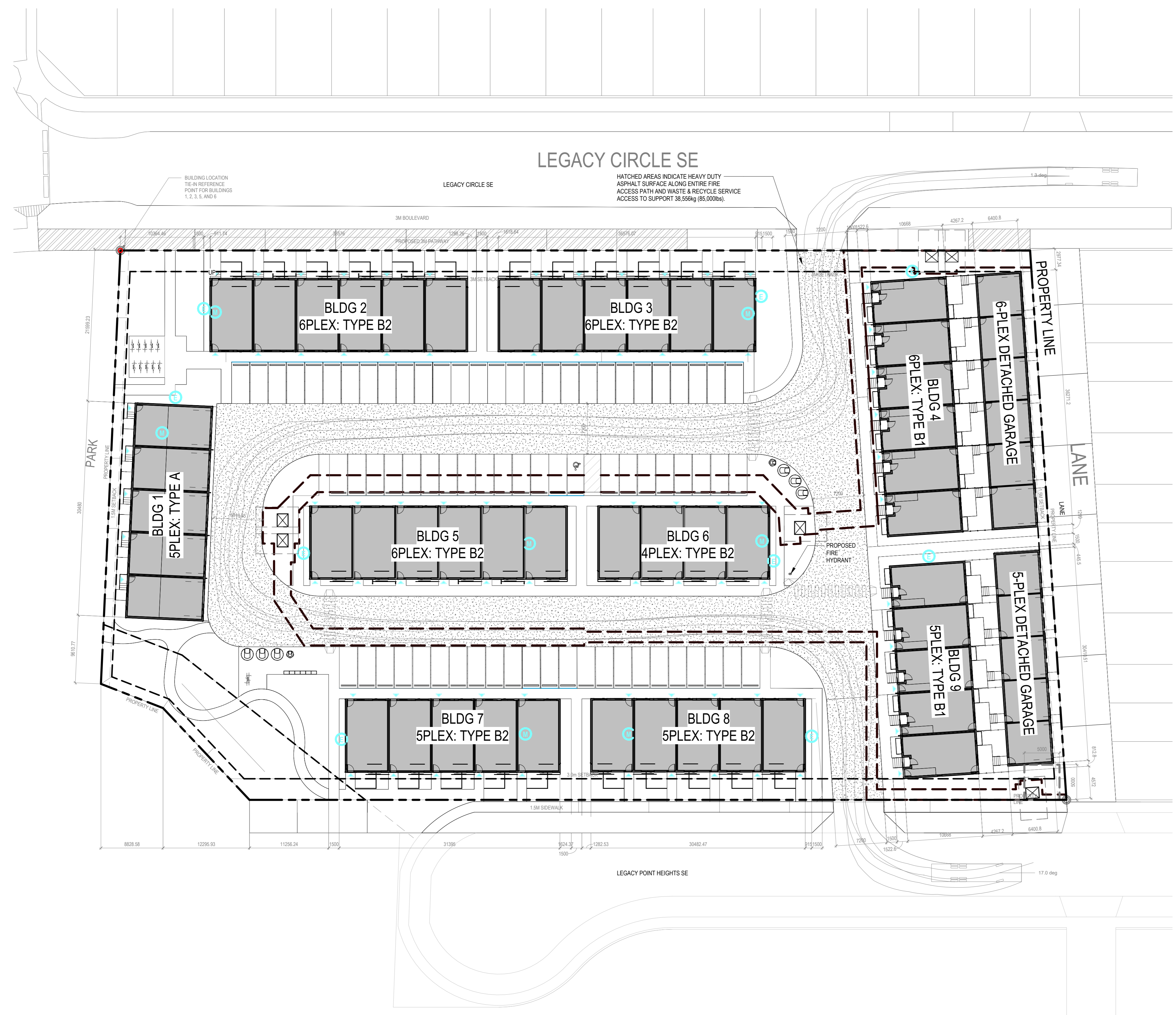
DATE: 2026.04.29 SCALE: 1:300

DRAWING TITLE
FIRE ACCESS PLAN AND DETAILS

DRAWING NUMBER

DP.002

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.



1 SITE PLAN - FIRE ACCESS PLAN
 DP.002 1:300

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

BEAL

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

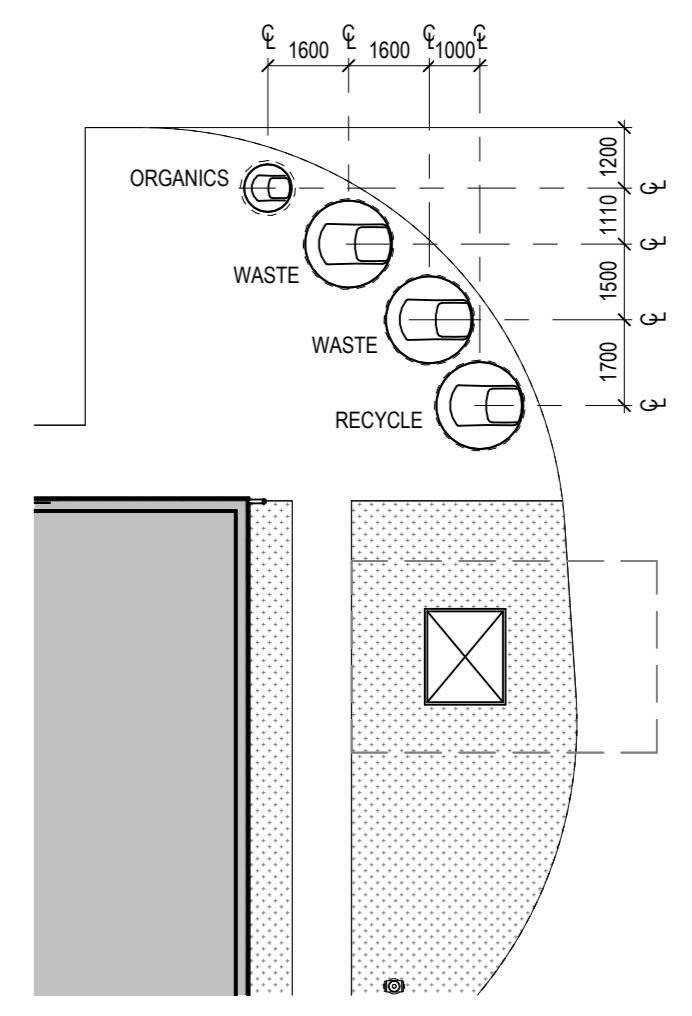
FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

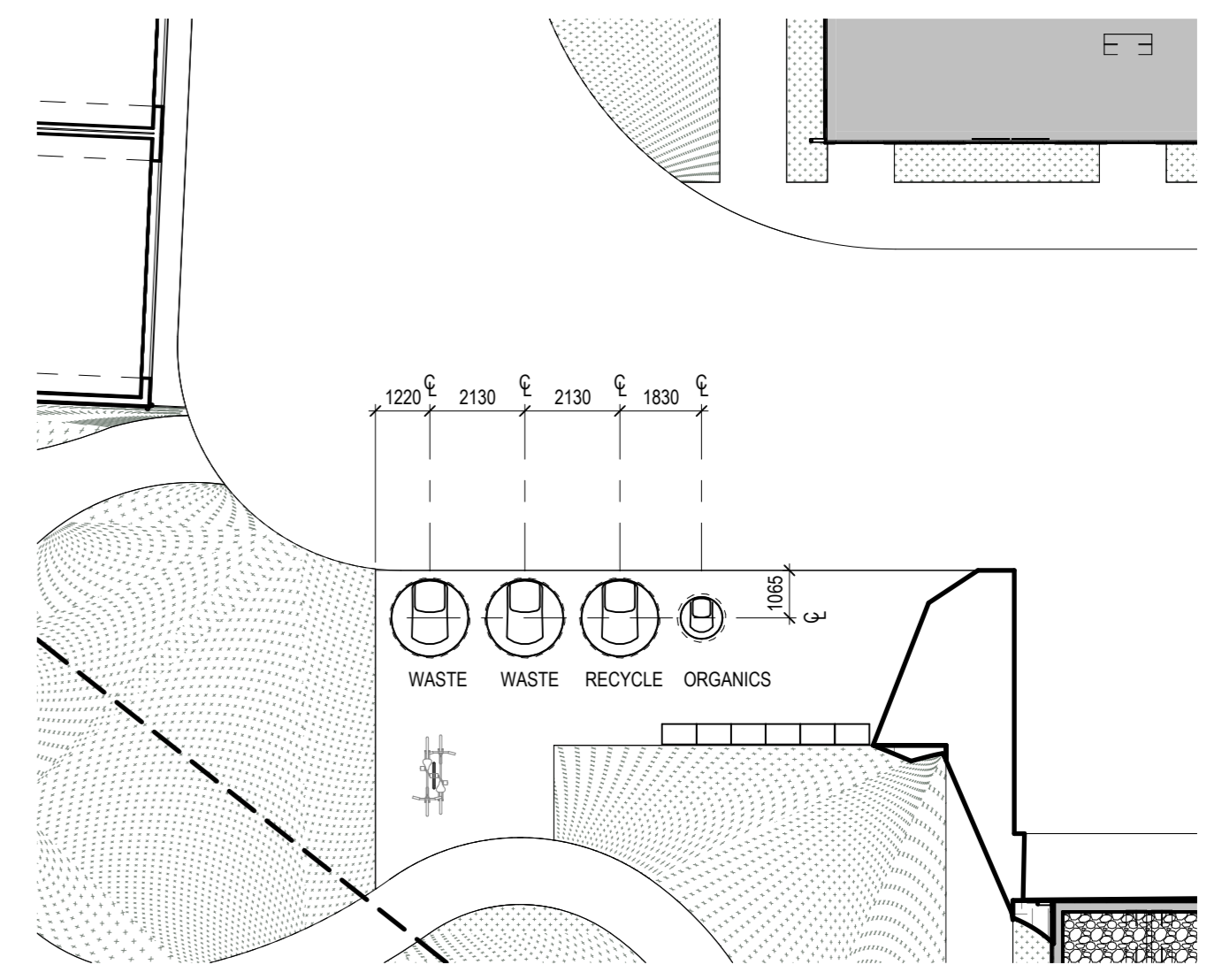
FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

NOTES

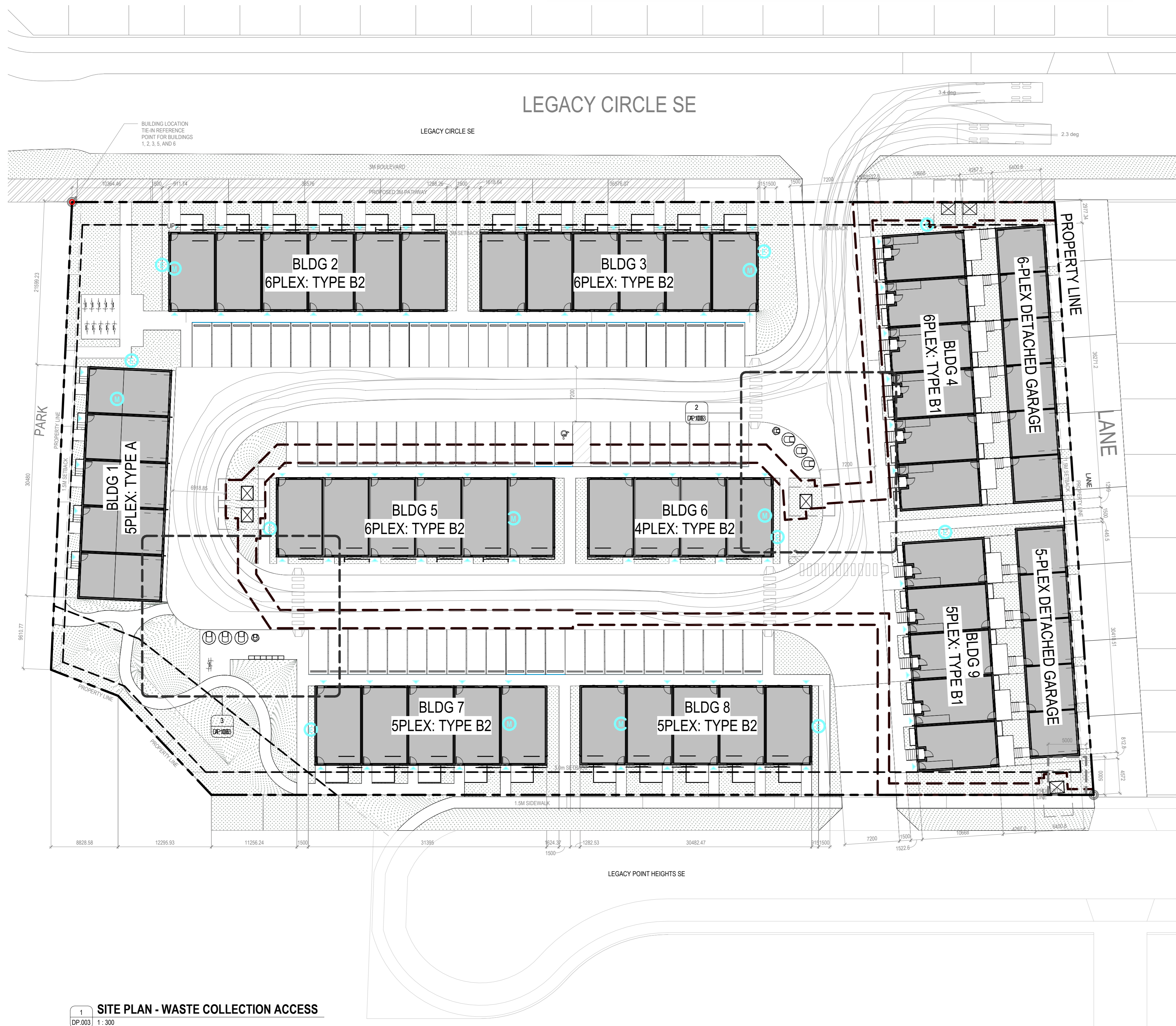
PROPOSED CAPACITY:
 WASTE: 4 X 5.0m³ MOLOK BIN = 20.0m³
 RECYCLING: 2 X 5.0m³ MOLOK BIN = 10.0m³
 ORGANICS: 2 X 1.3m³ MOLOK BIN = 2.6m³
 TOTAL: 32.6 m³
 BYLAW REQUIREMENTS:
 RESIDENTIAL: 91 UNITS x 24 m³ / WEEK = 2184m³
 (32.6m³ PROVIDED)



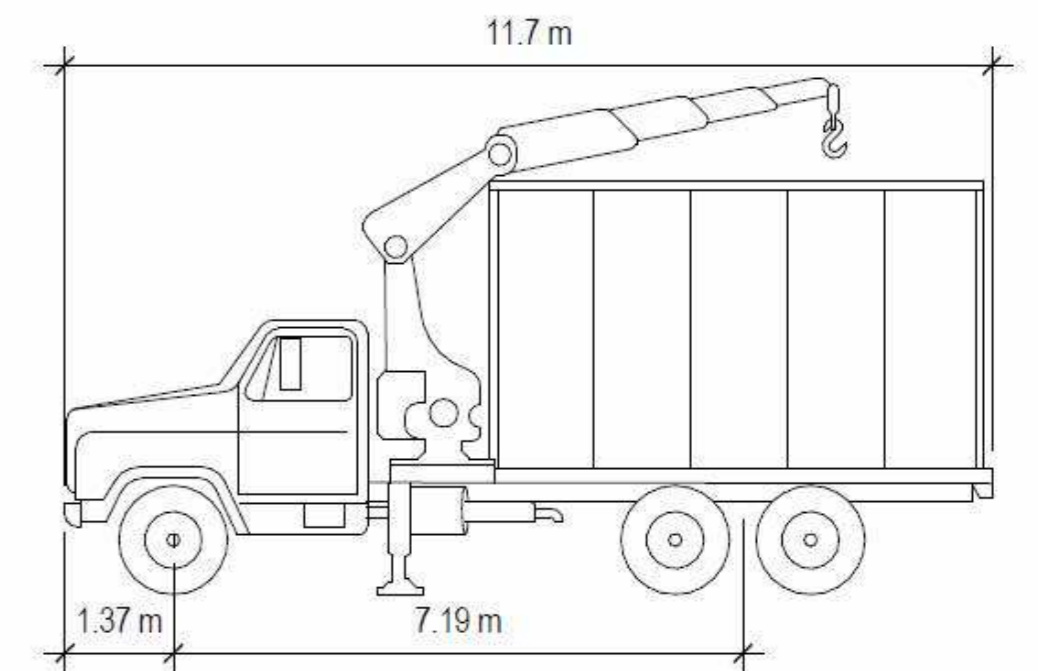
2 MOLOK BINS - NORTH
 DP.003 1:150



3 MOLOK BINS - SOUTH
 DP.003 1:150



1 SITE PLAN - WASTE COLLECTION ACCESS
 DP.003 1:300



MOLOK WASTE COLLECTION TRUCK

WIDTH: 2.47 m
 TRACK: 2.47 m
 LOCK TO LOCK TIME: 6.0 s
 STEERING ANGLE: 53.0 deg

MOLOK TRUCK PROFILE

RELEASES		
NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME
22200 28 ST SE

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

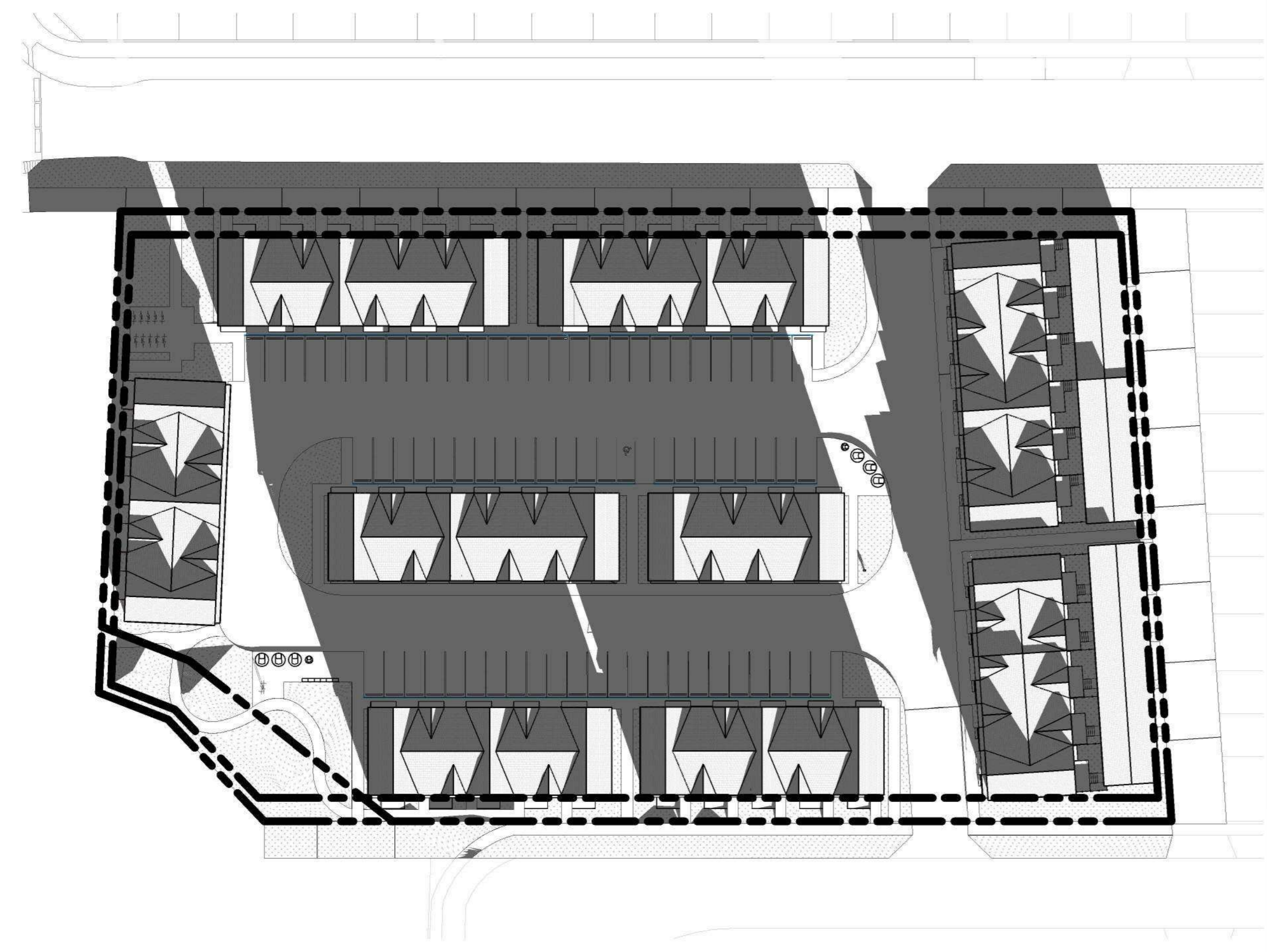
PROJECT NUMBER
25.016.KAL_LEG

DRAWN	CHECKED
UJ	MM

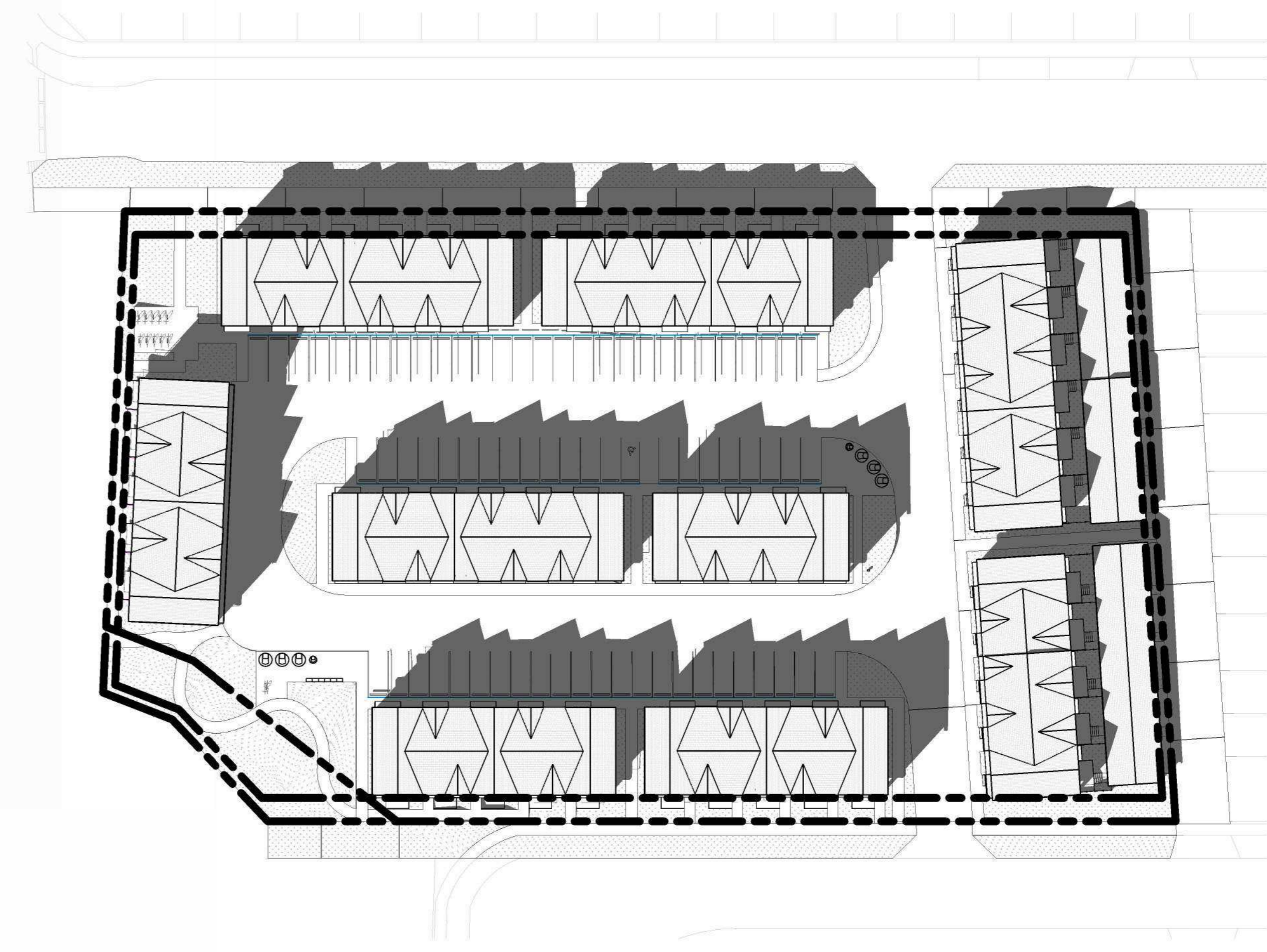
DATE	SCALE
2026.04.29	1:500

DRAWING TITLE
SHADOW STUDY - MARCH/SEPT.

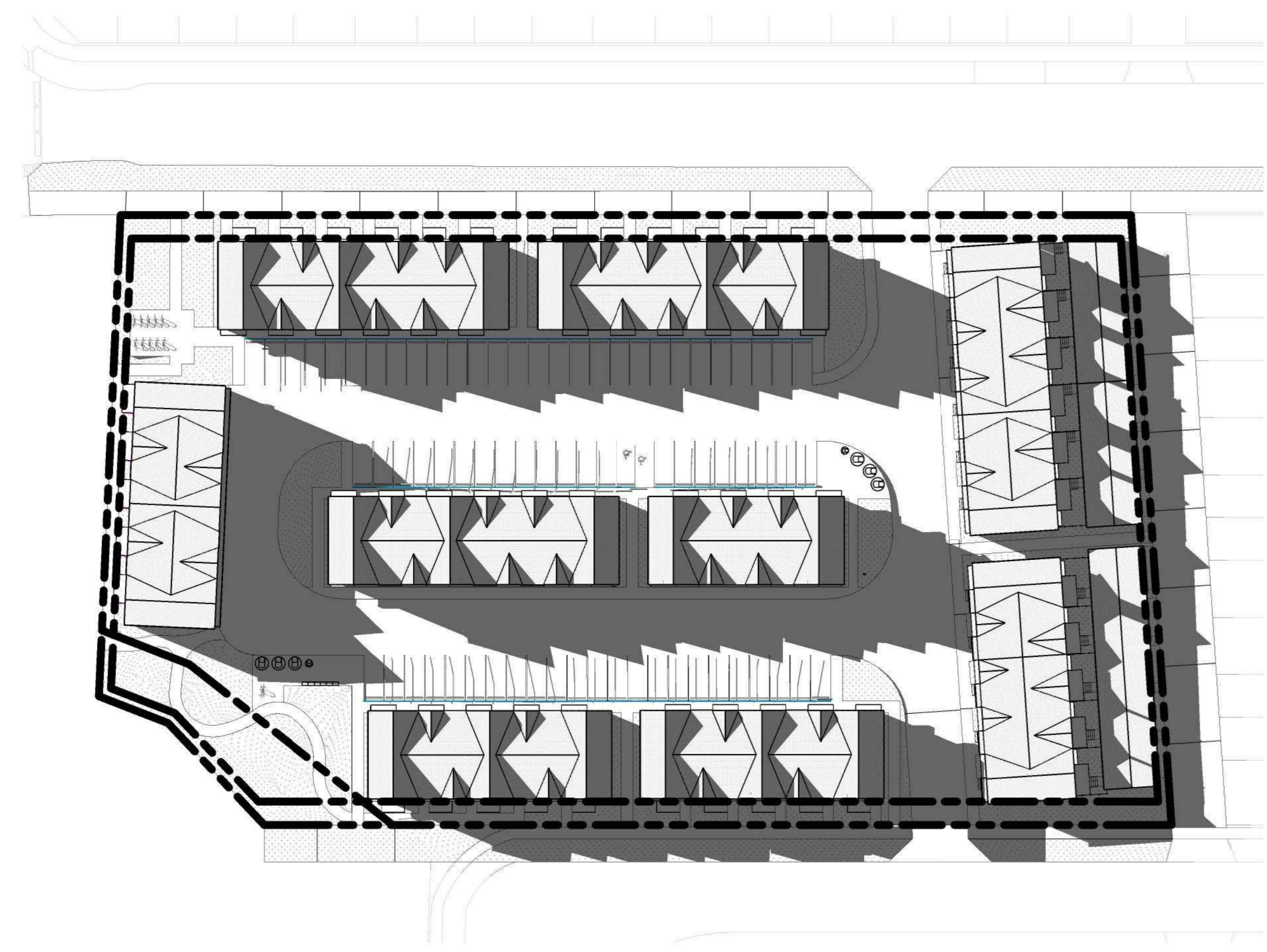
DRAWING NUMBER
DP.005



1 SITE PLAN - SHADOW STUDY - MARCH/SEPT. 8am
DP.005 1:500



2 SITE PLAN - SHADOW STUDY - MARCH/SEPT. 12pm
DP.005 1:500



3 SITE PLAN - SHADOW STUDY - MARCH/SEPT. 4pm
DP.005 1:500

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

RELEASES		
NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME
22200 28 ST SE

MUNICIPAL ADDRESS
PROJECT ADDRESS

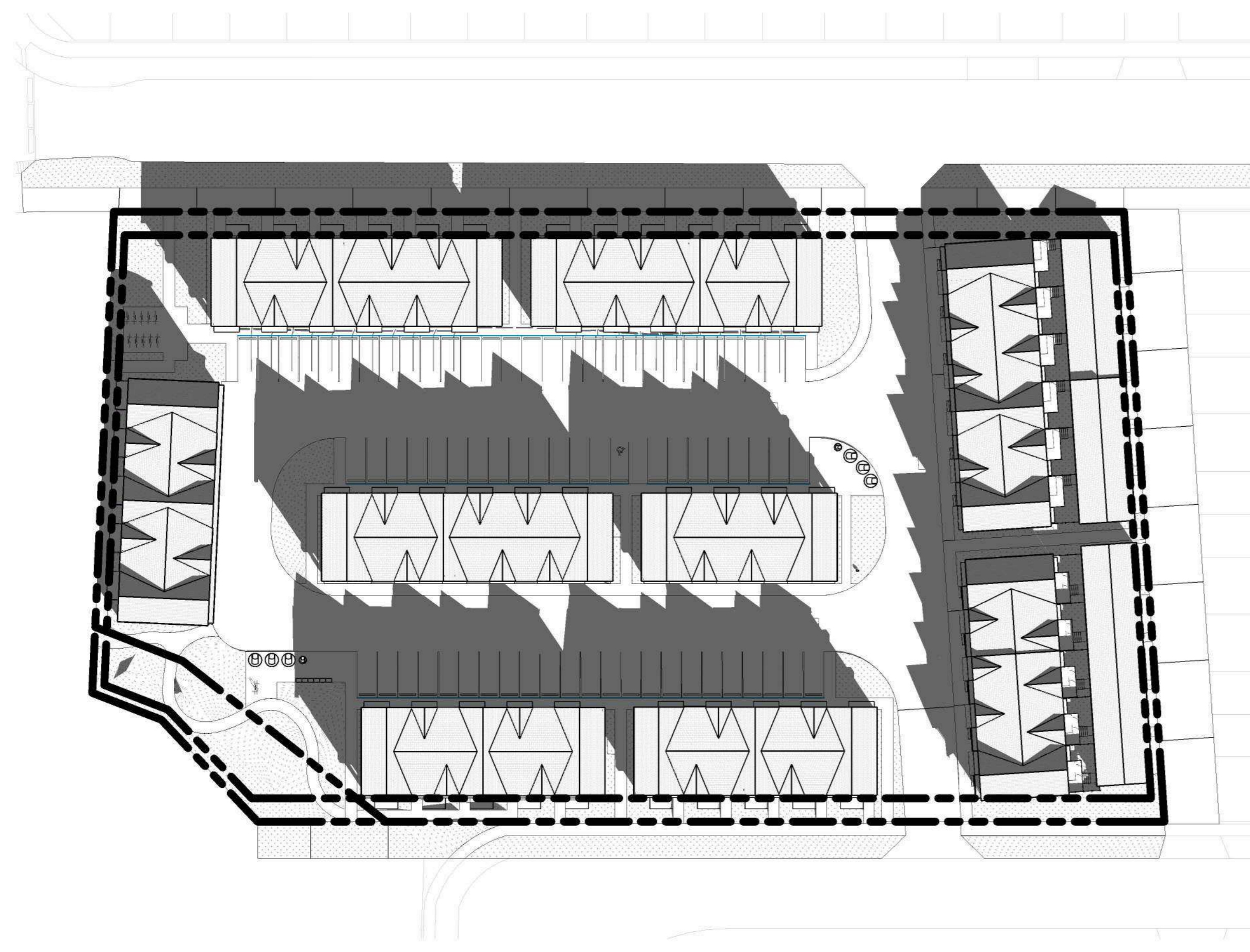
LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

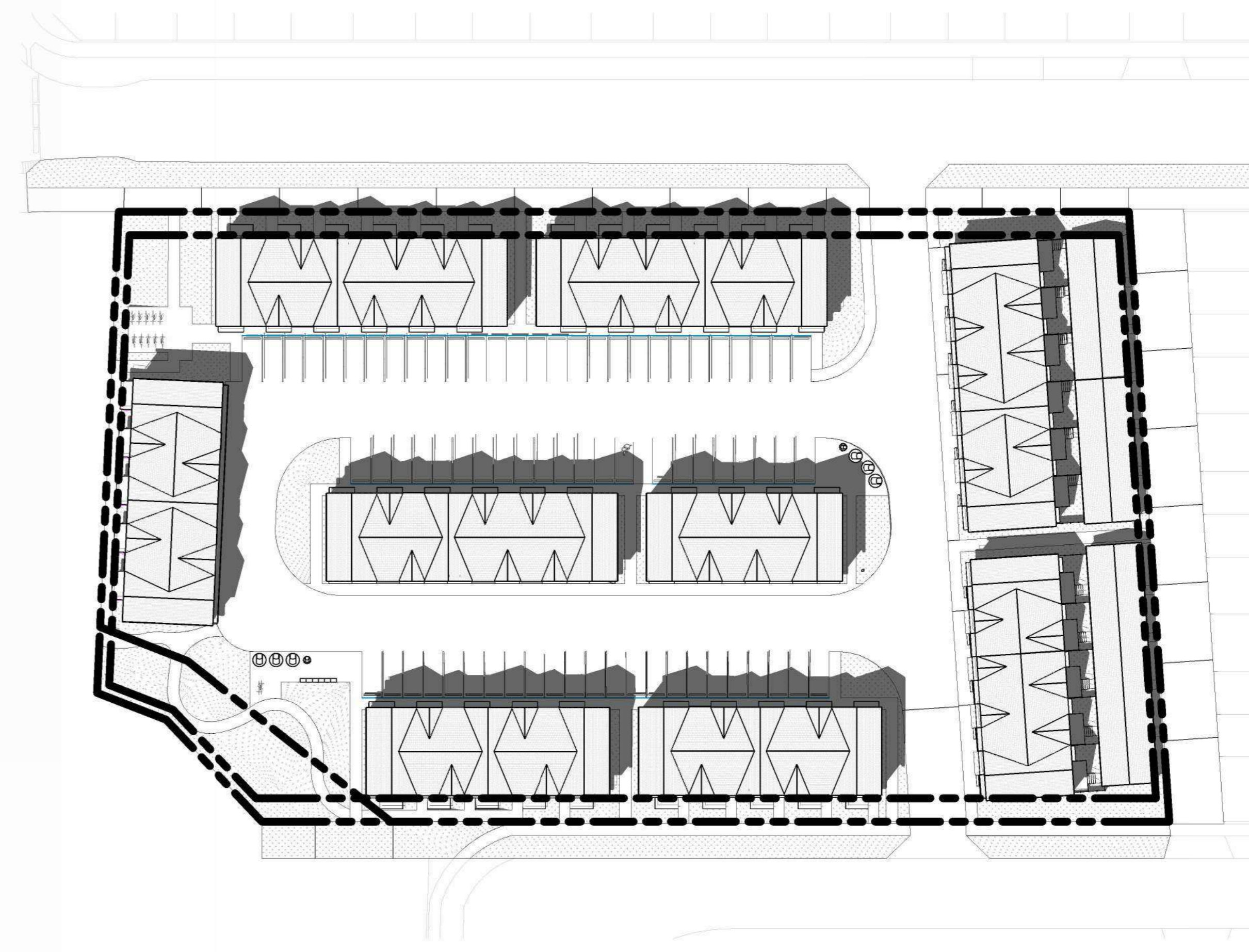
DRAWN	CHECKED
UJ	MM
DATE	SCALE
2026.04.29	1:500

DRAWING TITLE
SHADOW STUDY - JUNE

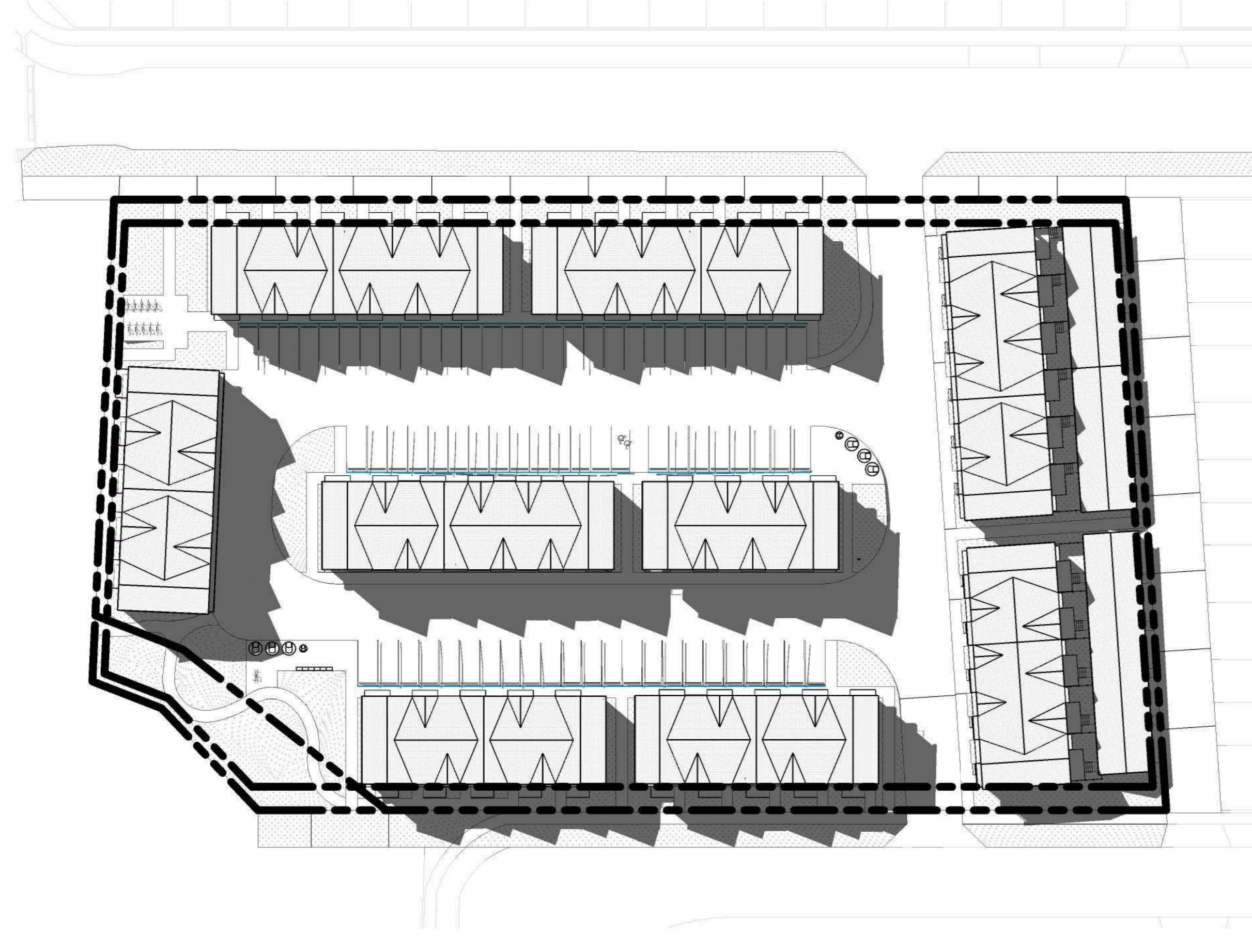
DRAWING NUMBER
DP.006



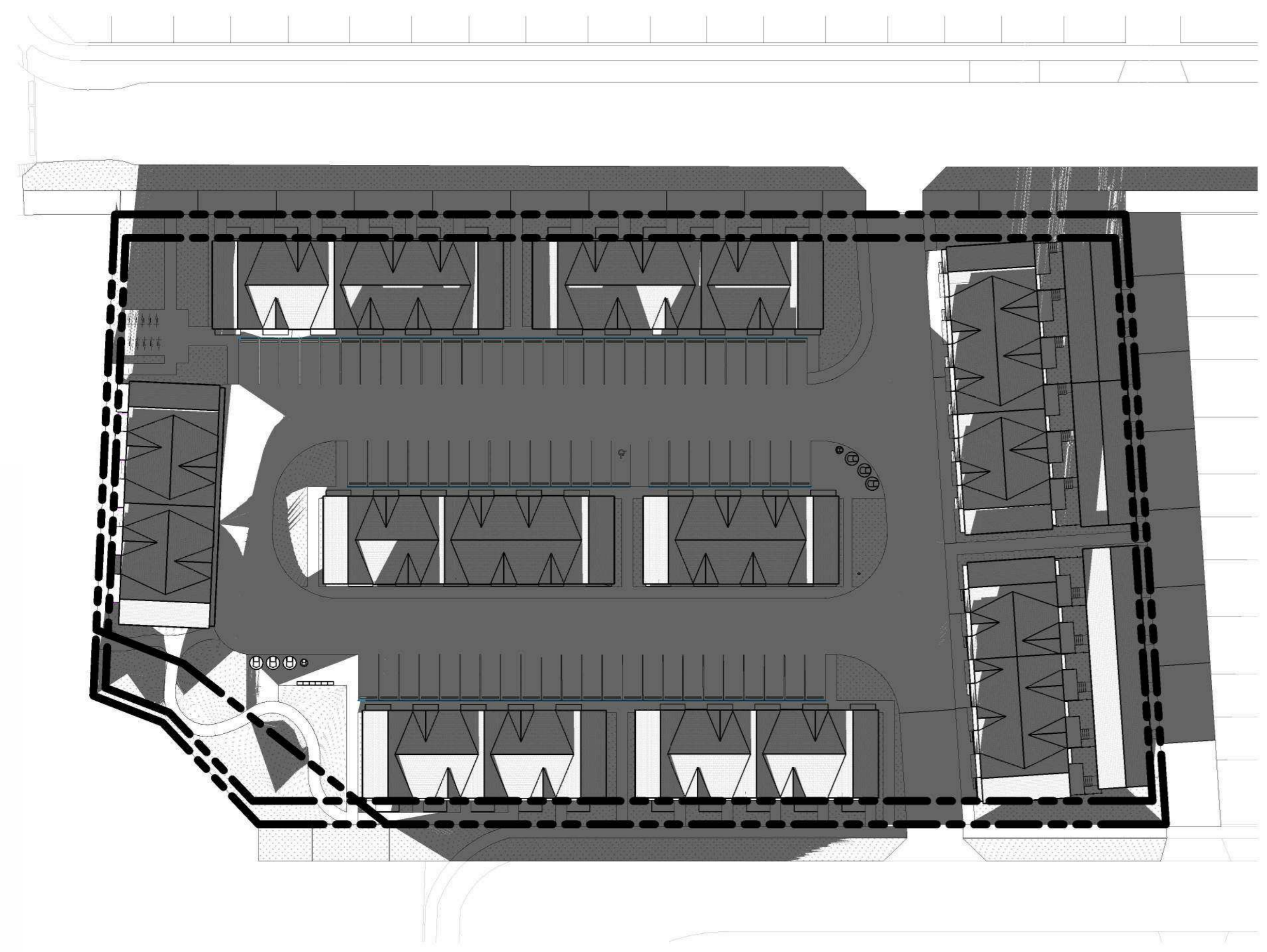
1 SITE PLAN - SHADOW STUDY - JUNE 8am
DP.006 1:500



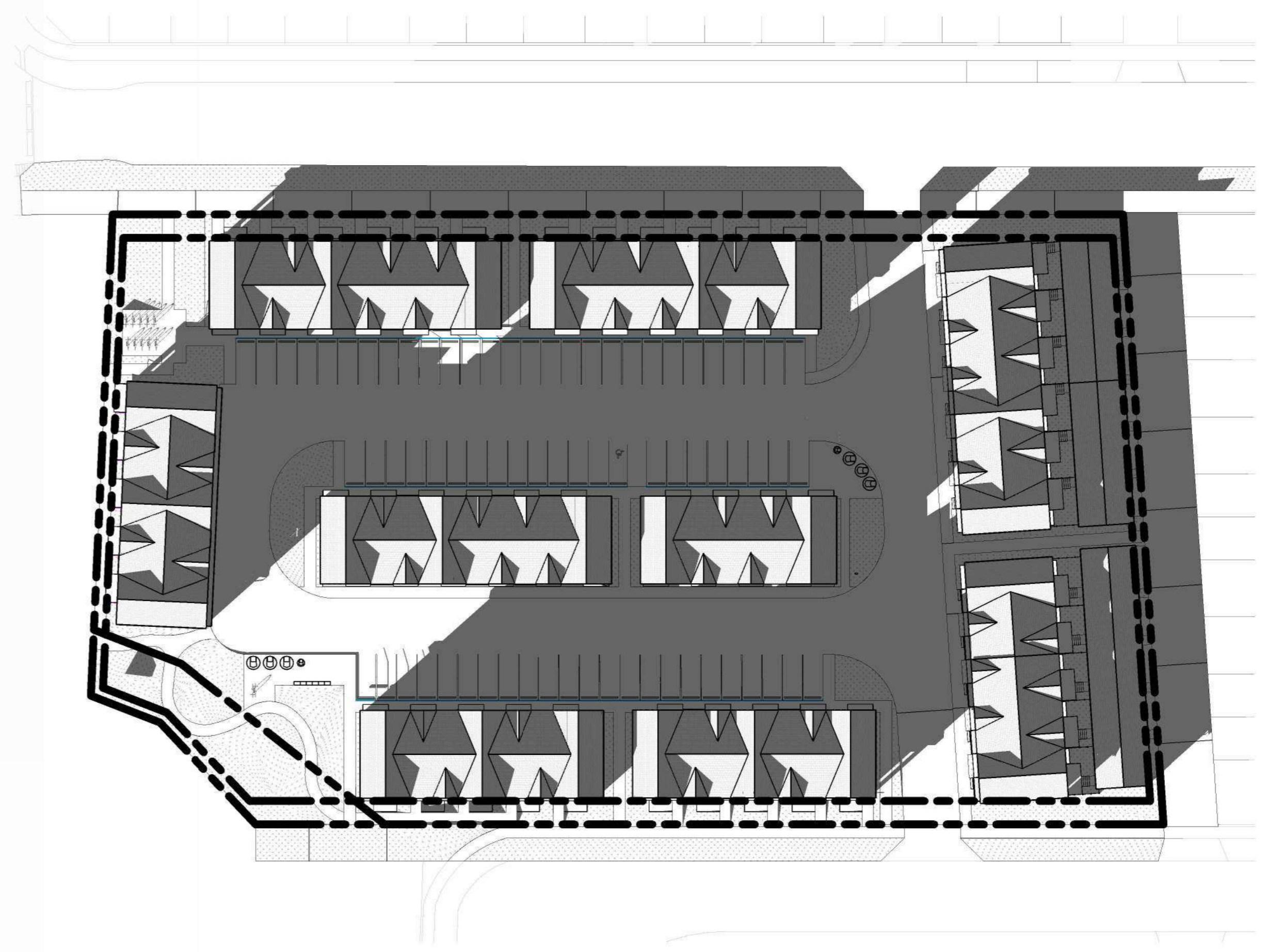
2 SITE PLAN - SHADOW STUDY - JUNE 12pm
DP.006 1:500



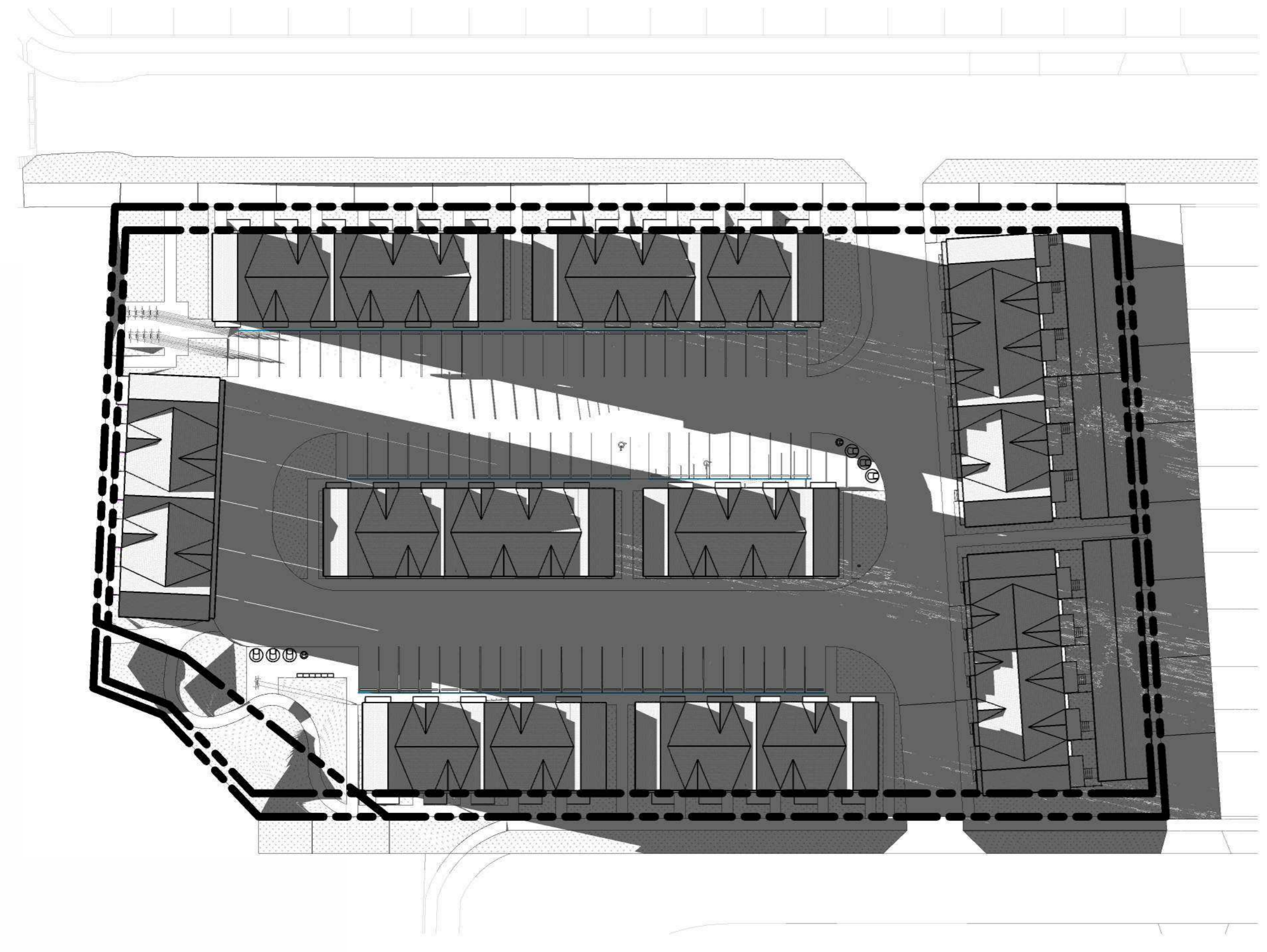
3 SITE PLAN - SHADOW STUDY - JUNE 4pm
DP.006 1:500



1 SITE PLAN - SHADOW STUDY - DEC. 8am
DP.007 1:500



2 SITE PLAN - SHADOW STUDY - DEC. 12pm
DP.007 1:500



3 SITE PLAN - SHADOW STUDY - DEC. 4pm
DP.007 1:500

RELEASES		
NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME

22200 28 ST SE

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

DRAWN	CHECKED
HJ	MM

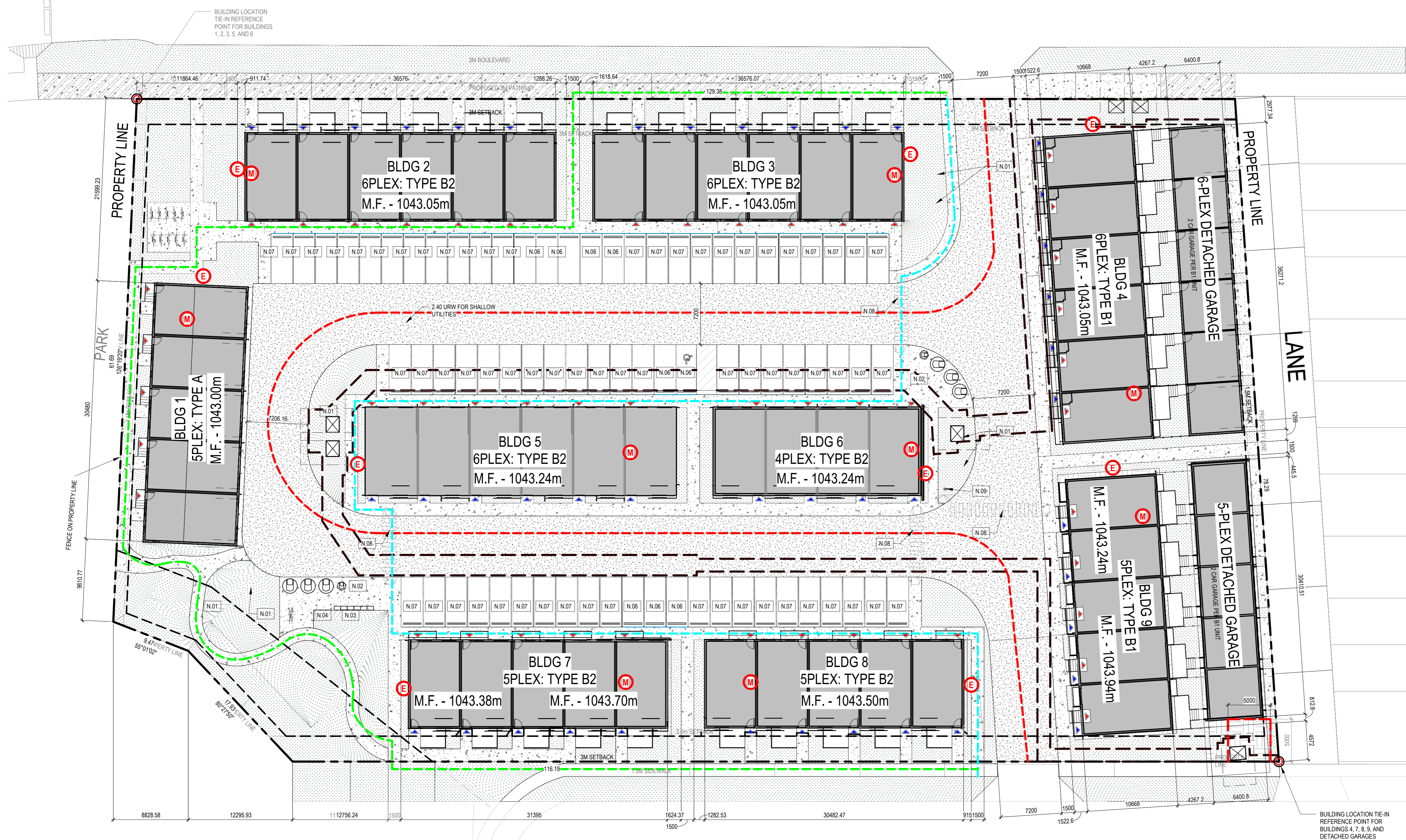
DATE	SCALE
2026.04.29	1:500

DRAWING TITLE
SHADOW STUDY - DEC.

DRAWING NUMBER

DP.007

LEGACY CIRCLE SE



- GENERAL NOTES**
- A. REFER TO GEOTECHNICAL REPORT FOR SURFACE AND SUBSURFACE REQUIREMENTS.
 - B. REFER TO CIVIL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO, EXISTING CONDITIONS AND SERVICES, CATCH BASINS, MANHOLES, GRABES, UPSTAND WALLS, SITE SERVICES, & FIRE HYDRANTS.
 - C. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
 - D. REFER TO SURVEY PLANS FOR GEOELECTRIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
 - E. REFER TO ELECTRICAL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO, TRANSFORMER LOCATIONS, LIGHTING LAYOUT, FIXTURE TYPES, & SECURITY.
 - F. REFER TO LANDSCAPE FOR CONTROL JOINTS.
 - G. BUILDING LOCATION TIE-IN REFERENCE POINT IS LOCATED ON THE NW CORNER PROPERTY LINE INTERSECTION AS NOTED.
 - H. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE, APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNERS EXPENSE.

- SYMBOL LEGEND**
- BLDG FOOTPRINT
 - GREY CONCRETE - BROOM FINISH
 - CAST IN PLACE CONCRETE
 - HEAVY DUTY ASPHALT LOAD OF: 85,000 LBS
 - SOFT SCAPING - REFER TO LANDSCAPE
 - 4" WIDE PAINTED LINES
 - PROPERTY LINE
 - SETBACK LINE
 - PRIMARY UNIT ENTRANCE
 - SECONDARY UNIT ENTRANCE
 - ELECTRICAL METER
 - WATER METER
 - GAS METER
 - PROPOSED CAR PATH
 - PROPOSED WALKING PATH
 - PROPOSED BIKE PATH
 - CONSTRUCTION DISTURBANCE LIMIT

- SHEET NOTES**
- N.01 ELECTRICAL TRANSFORMER - FINAL LOCATION TO BE COORDINATED WITH SERVICE PROVIDER.
 - N.02 WASTE & RECYCLING: MOLOK BIN COLLECTION SYSTEM.
 - N.03 MAILBOXES
 - N.04 CLASS 2 BICYCLE PARKING
 - N.05 PROPOSED SITE STREET LIGHTING
 - N.06 PROPOSED VISITOR PARKING STALL
 - N.07 PROPOSED RESIDENT PARKING STALL
 - N.08 PROPOSED CROSSWALK SIGNAGE AT BOTH ENDS OF CROSSWALK
 - N.09 PROPOSED FIRE HYDRANT
 - N.10 NO PARKING SIGN

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

CONSTRUCTION
TENDER
BUILDING PERMIT

PROJECT NAME
22200 28 ST SE

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

DRAWN	CHECKED
UJ	MM
DATE	SCALE
2026.04.29	As Indicated

DRAWING TITLE
CONNECTIVITY PLAN

DRAWING NUMBER
DP.008

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION



SITE RENDER - LEGACY CIRCLE S.E.



SITE RENDER - LEGACY POINT HEIGHTS S.E.



SITE RENDER - MUNICIPAL RESERVE

RELEASES

NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME

22200 28 ST SE

MUNICIPAL ADDRESS

PROJECT ADDRESS

LEGAL ADDRESS

PLAN XX, LOT 90, BLOCK 75, SEC

X, TWP 22, RGE X

PROJECT NUMBER

25.016.KAL_LEG

DRAWN

CHECKED

DATE

SCALE

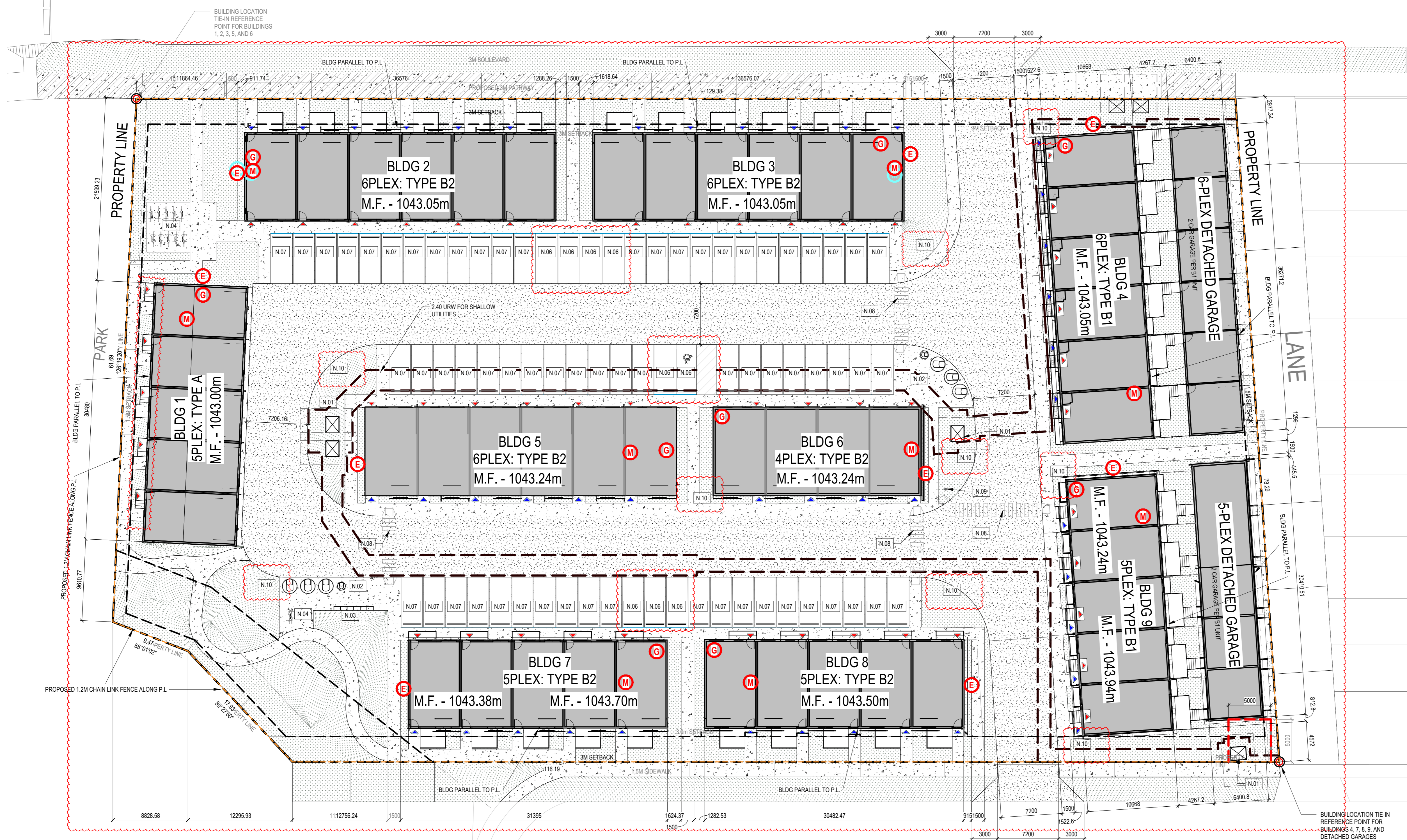
DRAWING TITLE

SITE RENDERS

DRAWING NUMBER

DP.009

LEGACY CIRCLE SE



- GENERAL NOTES**
- A. REFER TO GEOTECHNICAL REPORT FOR SURFACE AND SUBSURFACE REQUIREMENTS.
 - B. REFER TO CIVIL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO, EXISTING CONDITIONS AND SERVICES, CATCH BASINS, MANHOLES, GRABES, UPSTAND WALLS, SITE SERVICES, & FIRE HYDRANTS.
 - C. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
 - D. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
 - E. REFER TO ELECTRICAL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO, TRANSFORMER LOCATIONS, LIGHTING LAYOUT, FIXTURE TYPES, & SECURITY.
 - F. REFER TO LANDSCAPE FOR CONTROL JOINTS.
 - G. BUILDING LOCATION TIE-IN REFERENCE POINT IS LOCATED ON THE NW CORNER PROPERTY LINE INTERSECTION AS NOTED.
 - H. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE, APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNERS EXPENSE.

- SYMBOL LEGEND**
- BUILDING FOOTPRINT
 - GREY CONCRETE - BROOM FINISH
 - CAST IN PLACE CONCRETE
 - HEAVY DUTY ASPHALT LOAD OF 85,000 LBS.
 - SOFT SCAPING - REFER TO LANDSCAPE
 - 4" WIDE PAINTED LINES

- PROPERTY LINE
- SETBACK LINE
- PRIMARY UNIT ENTRANCE
- SECONDARY UNIT ENTRANCE
- ELECTRICAL METER
- WATER METER
- GAS METER
- PROPOSED CAR PATH
- PROPOSED WALKING PATH
- PROPOSED BIKE PATH
- CONSTRUCTION DISTURBANCE LIMIT

- SHEET NOTES**
- N.01 ELECTRICAL TRANSFORMER - FINAL LOCATION TO BE COORDINATED WITH SERVICE PROVIDER.
 - N.02 WASTE & RECYCLING - M.O.K BIN COLLECTION SYSTEM.
 - N.03 MAILBOXES
 - N.04 CLASS 2 BICYCLE PARKING
 - N.05 PROPOSED SITE STREET LIGHTING
 - N.06 PROPOSED VISITOR PARKING STALL
 - N.07 PROPOSED RESIDENT PARKING STALL
 - N.08 PROPOSED CROSSWALK SIGNAGE AT BOTH ENDS OF CROSSWALK
 - N.09 PROPOSED FIRE HYDRANT
 - N.10 NO PARKING SIGN

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



RELEASES

NO	DESCRIPTION	DATE
A	PRE - DP REVIEW	2025.11.14
H	DP	2026.02.19
J	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME
22200 28 ST SE

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

DATE	SCALE
2026.04.29	As Indicated

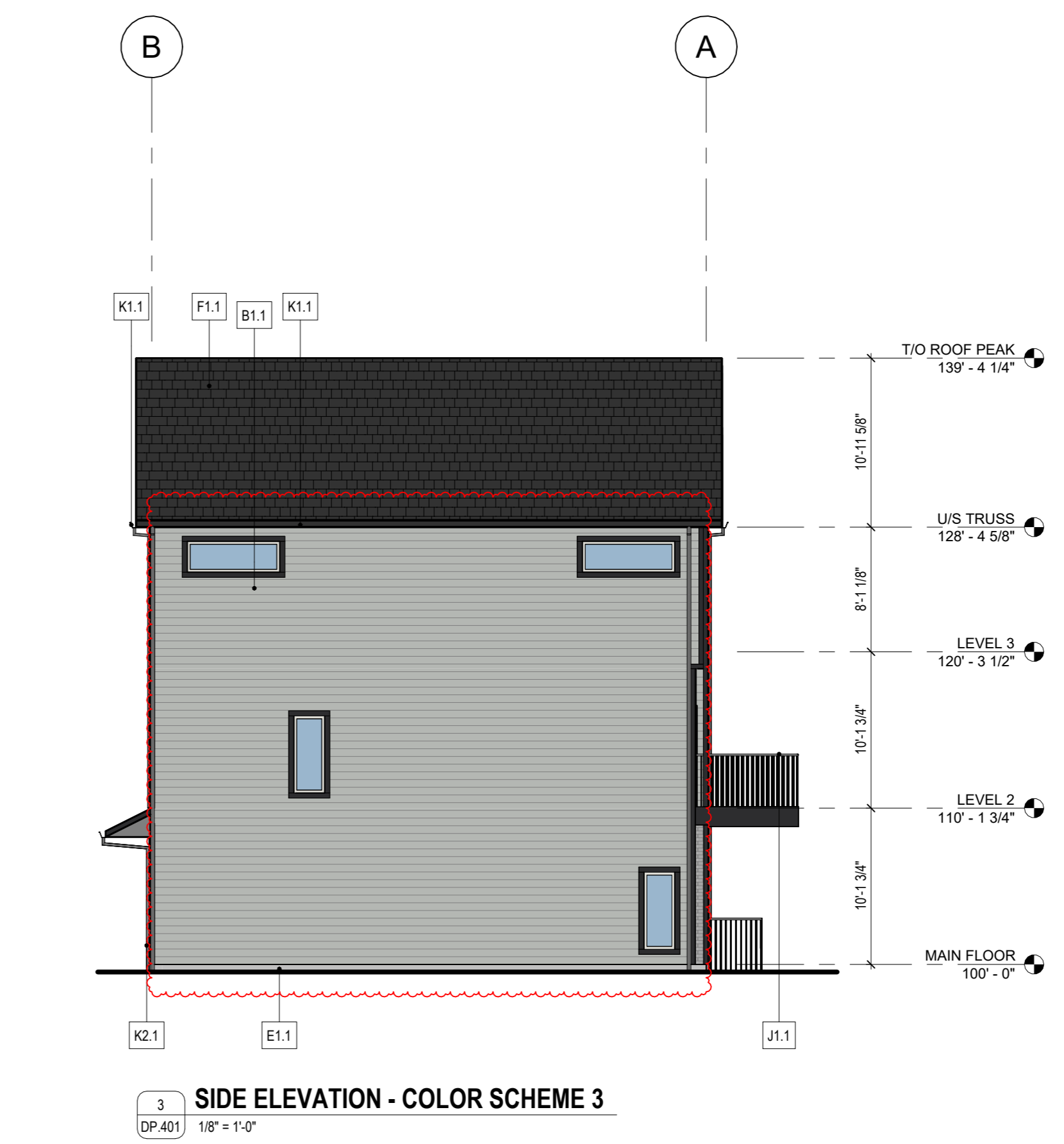
DRAWING TITLE
SITE PLAN

DRAWING NUMBER
DP.100

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of F&AS Architecture. Do not scale this drawing.



1 FRONT ELEVATION - COLOR SCHEME 3
DP.401 1/8" = 1'-0"



3 SIDE ELEVATION - COLOR SCHEME 3
DP.401 1/8" = 1'-0"

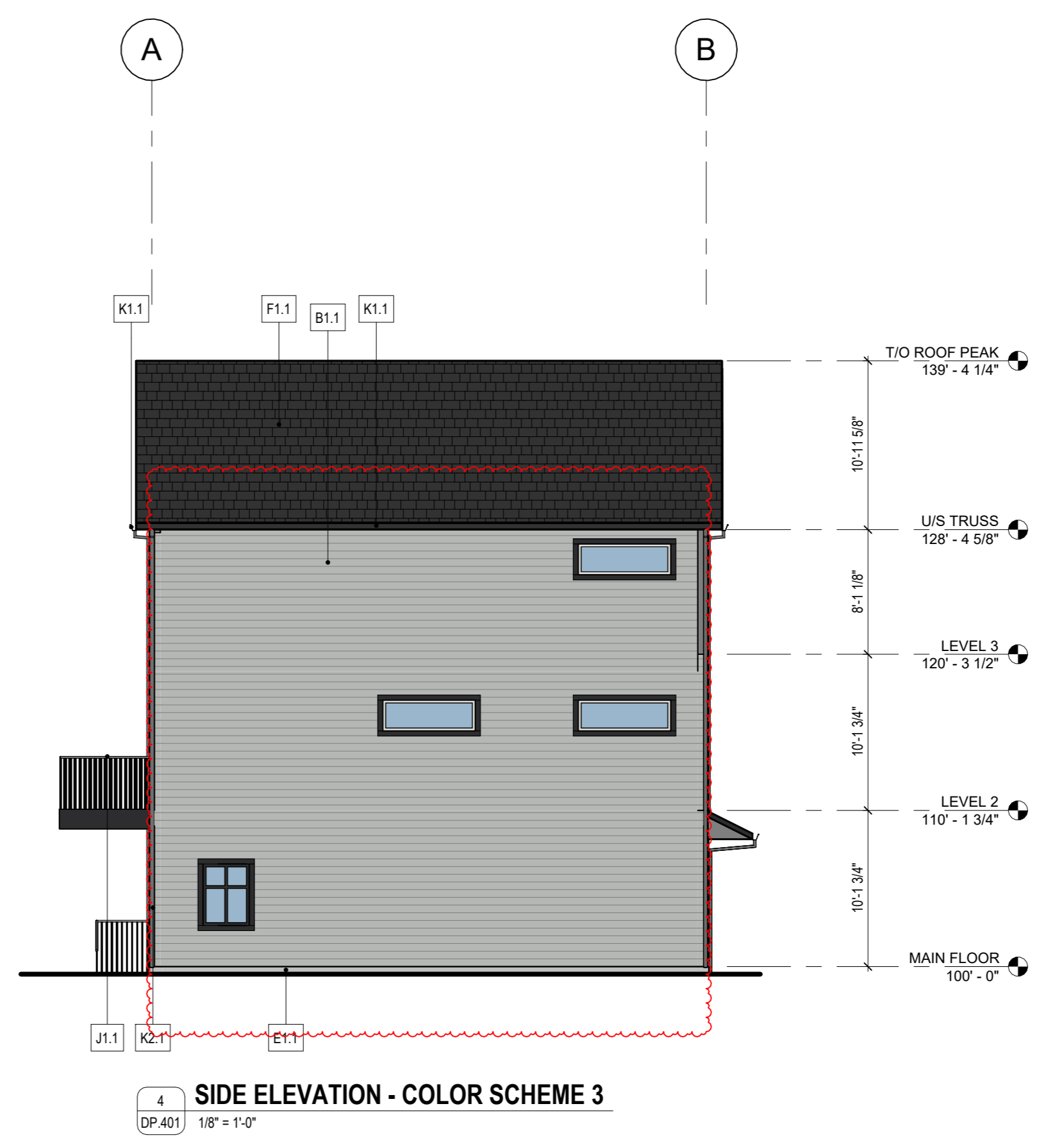
FINISH MATERIAL LEGEND

MARK COLOR SCHEME 3

- A- BRICK
 - A1.1 THIN BRICK COLOUR = GRAY
- B- SIDING
 - B1.1 HARDIE 6" HORIZONTAL LAP SIDING COLOUR = LIGHT MIST
 - B1.2 HARDIE 6" HORIZONTAL LAP SIDING COLOUR = IRON GRAY
 - B1.3 HARDIE 6" VERTICAL SIDING COLOUR = IRON GRAY
- C- METAL CLADDING
 - C1.1 PRE FINISHED METAL FASCIA & SOFFIT COLOUR = BLACK
- D- TRIM
 - D1.1 4" TRIM & FRAMES COLOUR = MIDNIGHT BLACK
- E- PAVING
 - E1.1 PAVING COLOUR = NATURAL
- F- ROOFING
 - F1.1 ASPHALT ROOF SHINGLES COLOUR = BLACK
- G- WINDOWS
 - G1.1 PVC WINDOWS COLOUR = BLACK
- H- DOORS
 - H1.1 GARAGE DOOR COLOUR = BLACK
 - H2.1 SWING DOOR COLOUR = BLACK
- J- RAILING
 - J1.1 PRE FINISHED ALUMINUM GUARDRAIL W/ PICKETS COLOUR = BLACK
- K- DRAINAGE
 - K1.1 GUTTER COLOUR = BLACK
 - K2.1 DOWNSPOUT COLOUR = BLACK



2 REAR ELEVATION - COLOR SCHEME 3
DP.401 1/8" = 1'-0"



4 SIDE ELEVATION - COLOR SCHEME 3
DP.401 1/8" = 1'-0"

RELEASES

NO	DESCRIPTION	DATE
A	PRE-OP REVIEW	2025.11.14
H	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME
LEGACY

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

DRAWN CHECKED
JJ MM

DATE SCALE
2026.04.29 1/8" = 1'-0"

DRAWING TITLE
ELEVATIONS - BUILDING 1

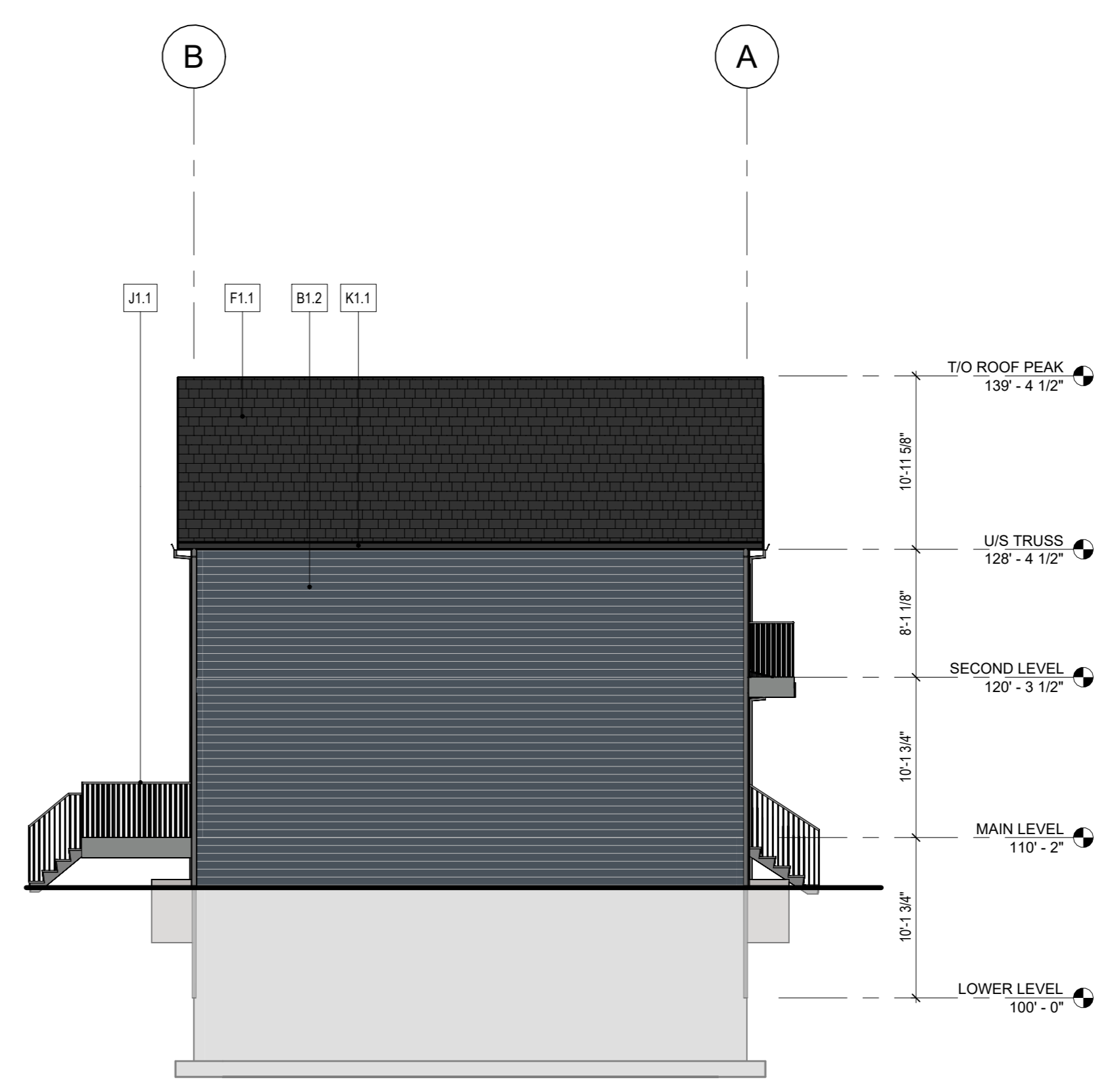
DRAWING NUMBER

DP.401

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



1 FRONT ELEVATION - COLOR SCHEME 1
DP.404 1/8" = 1'-0"



3 SIDE ELEVATION - COLOR SCHEME 1
DP.404 1/8" = 1'-0"

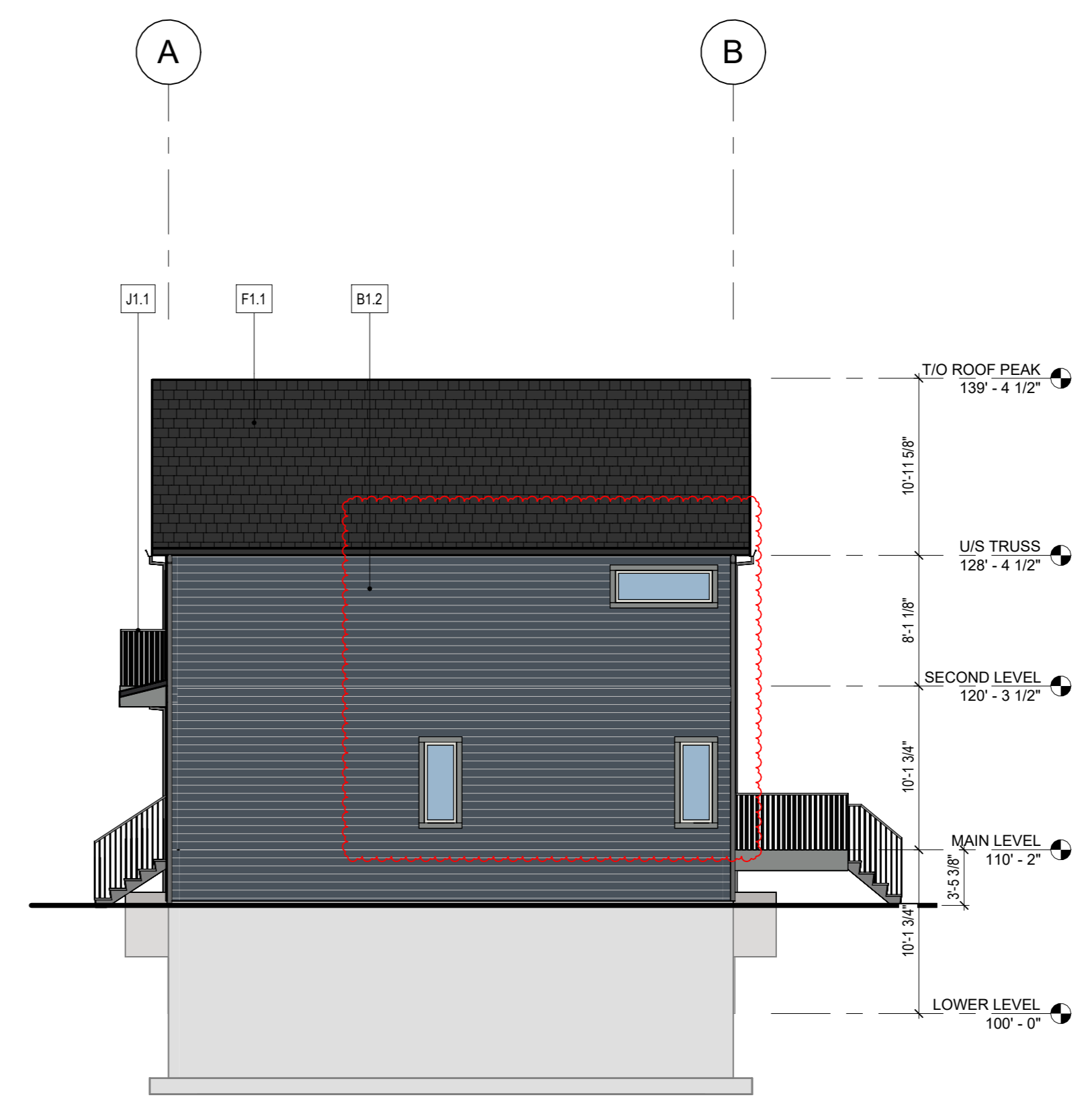
FINISH MATERIAL LEGEND

MARK COLOR SCHEME 1

- A - BRICK
 - A1.1 THIN BRICK COLOUR = GRAY
- B - SIDING
 - B1.1 HARDIE 6" VERTICAL SIDING COLOUR = PEARL GRAY
 - B1.2 HARDIE 6" HORIZONTAL LAP SIDING COLOUR = DEEP OCEAN
 - B1.3 HARDIE 6" HORIZONTAL LAP SIDING COLOUR = PEARL GRAY
- C - METAL CLADDING
 - C1.1 PRE FINISHED METAL FASCIA COLOUR = GRAY SLATE
- D - TRIM
 - D1.1 4" TRIM & FRAMES COLOUR = GRAY SLATE
- E - PAVING
 - E1.1 PAVING COLOUR = NATURAL
- F - ROOFING
 - F1.1 ASPHALT ROOF SHINGLES COLOUR = BLACK
- G - WINDOWS
 - G1.1 PVC WINDOWS COLOUR = BLACK
- H - DOORS
 - H2.1 SWING DOOR COLOUR = BLACK
- J - RAILING
 - J1.1 PRE FINISHED ALUMINUM GUARDRAIL W/ PICKETS COLOUR = BLACK
- K - DRAINAGE
 - K1.1 GUTTER COLOUR = BLACK
 - K2.1 DOWNSPOUT COLOUR = BLACK



2 REAR ELEVATION - COLOR SCHEME 1
DP.404 1/8" = 1'-0"



4 SIDE ELEVATION - COLOR SCHEME 1
DP.404 1/8" = 1'-0"

RELEASES

NO	DESCRIPTION	DATE
A	PRE-OP REVIEW	2025.11.14
H	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

LEGACY

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER:
25.016.KAL_LEG

DRAWN	CHECKED
UJ	MM

DATE: 2026.04.29 SCALE: 1/8" = 1'-0"

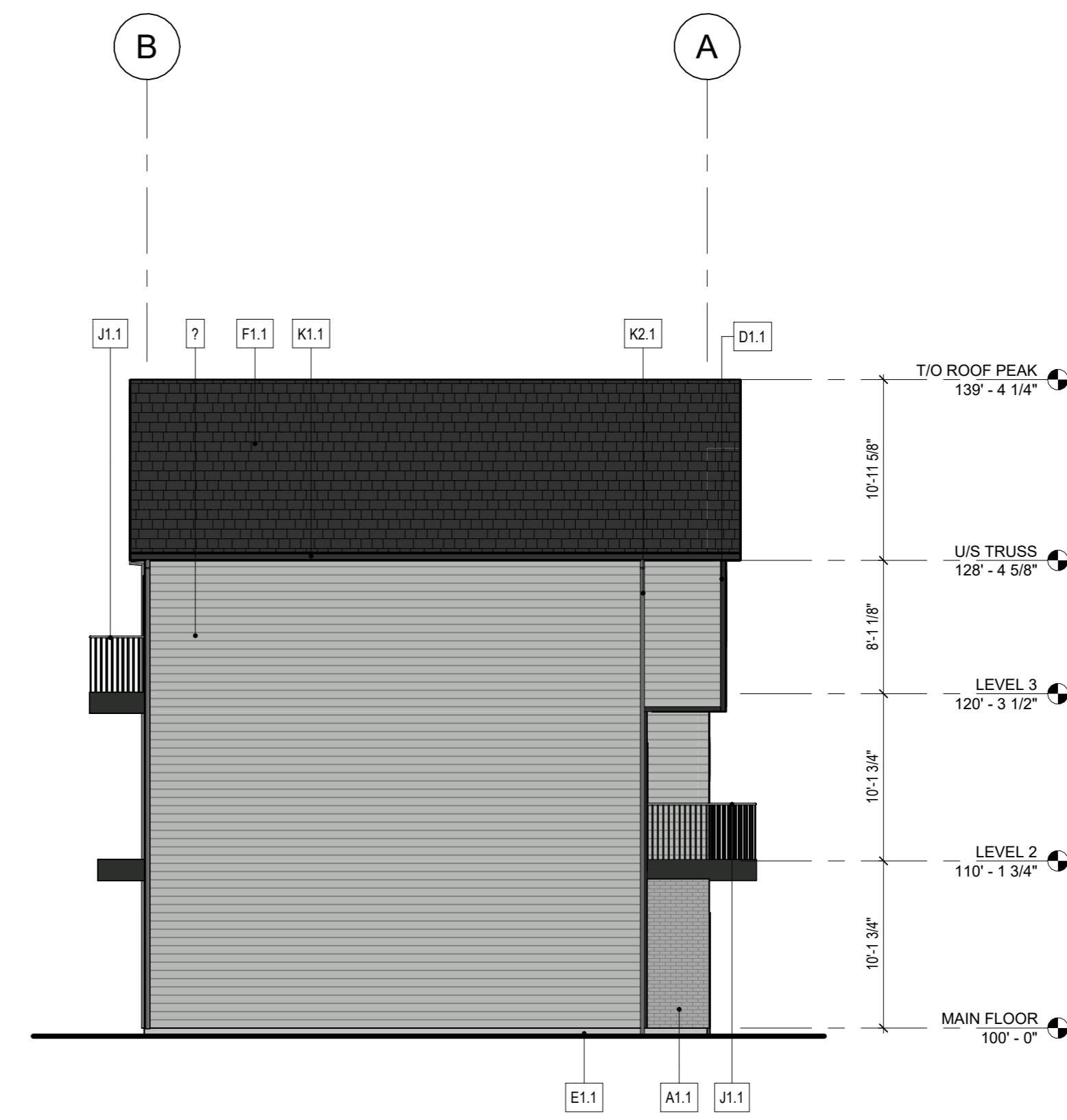
DRAWING TITLE
ELEVATIONS - BUILDING 4

DRAWING NUMBER

DP.404



1 FRONT ELEVATION - COLOR SCHEME 3
DP.406 1/8" = 1'-0"



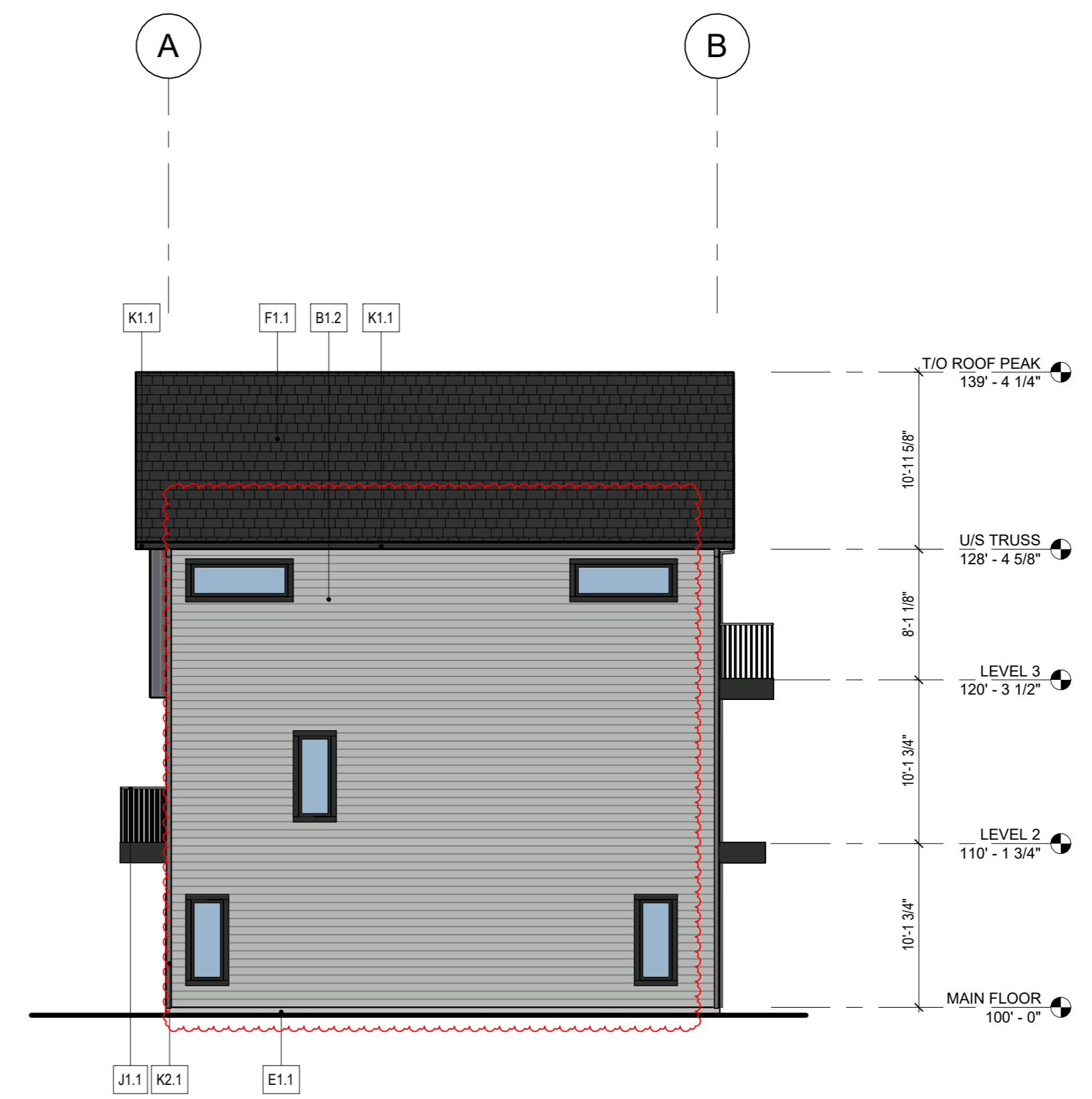
3 SIDE ELEVATION - COLOR SCHEME 3
DP.406 1/8" = 1'-0"

FINISH MATERIAL LEGEND

MARK	COLOR SCHEME 3
A - BRICK	
A1.1 THIN BRICK	COLOUR = GRAY
B - SIDING	
B1.1 HARDIE 6" VERTICAL SIDING	COLOUR = IRON GRAY
B1.2 HARDIE 6" HORIZONTAL LAP SIDING	COLOUR = LIGHT MIST
B1.3 HARDIE 6" HORIZONTAL LAP SIDING	COLOUR = IRON GRAY
C - METAL CLADDING	
C1.1 PRE FINISHED METAL FASCIA & SOFFIT	COLOUR = BLACK
D - TRIM	
D1.1 4" TRIM & FRAMES	COLOUR = MIDNIGHT BLACK
E - PARGING	
E1.1 PARGING	COLOUR = NATURAL
F - ROOFING	
F1.1 ASPHALT ROOF SHINGLES	COLOUR = BLACK
G - WINDOWS	
G1.1 PVC WINDOWS	COLOUR = BLACK
H - DOORS	
H2.1 SWING DOOR	COLOUR = BLACK
J - RAILING	
J1.1 PRE FINISHED ALUMINUM GUARDRAIL W/ PICKETS	COLOUR = BLACK
K - DRAINAGE	
K1.1 GUTTER	COLOUR = BLACK
K2.1 DOWNSPOUT	COLOUR = BLACK



2 REAR ELEVATION - COLOR SCHEME 3
DP.406 1/8" = 1'-0"



4 SIDE ELEVATION - COLOR SCHEME 3
DP.406 1/8" = 1'-0"

RELEASES

NO	DESCRIPTION	DATE
A	PRE-OP REVIEW	2025.11.14
H	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

LEGACY

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

DRAWN CHECKED
UJ MM

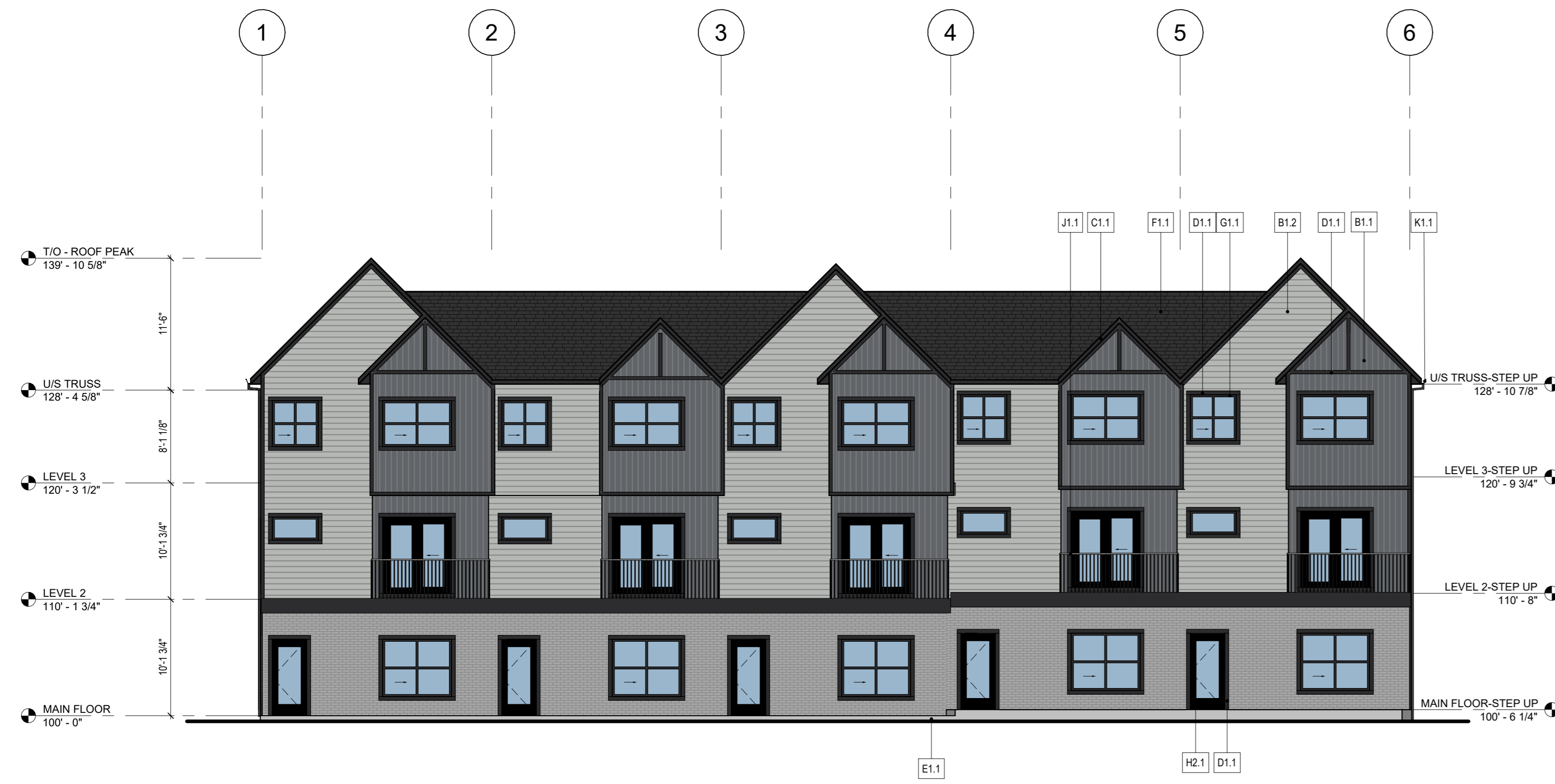
DATE SCALE
2026.04.29 1/8" = 1'-0"

DRAWING TITLE
ELEVATIONS - BUILDING 6

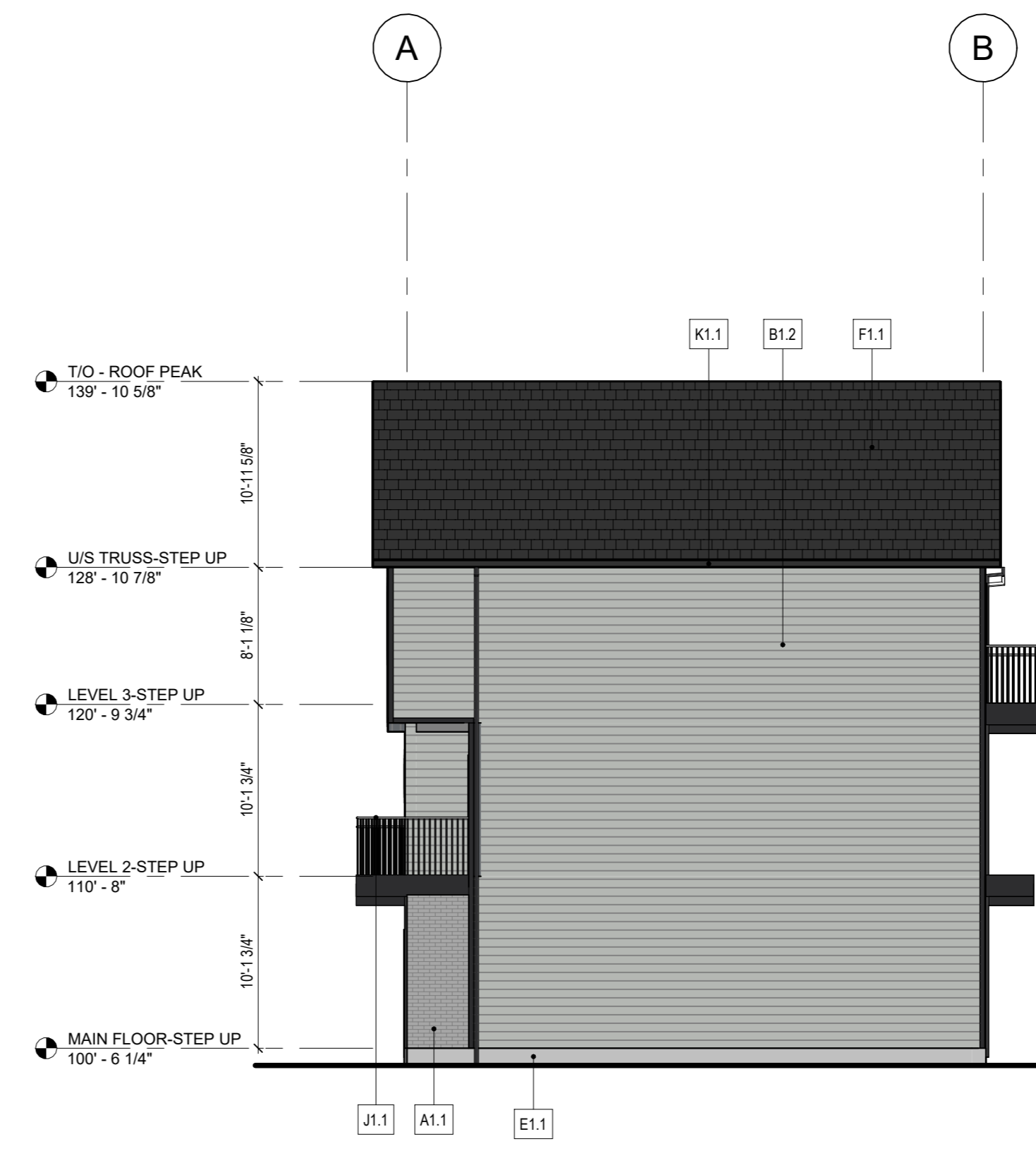
DRAWING NUMBER

DP.406

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



1 FRONT ELEVATION - COLOR SCHEME 3
DP.407 1/8" = 1'-0"



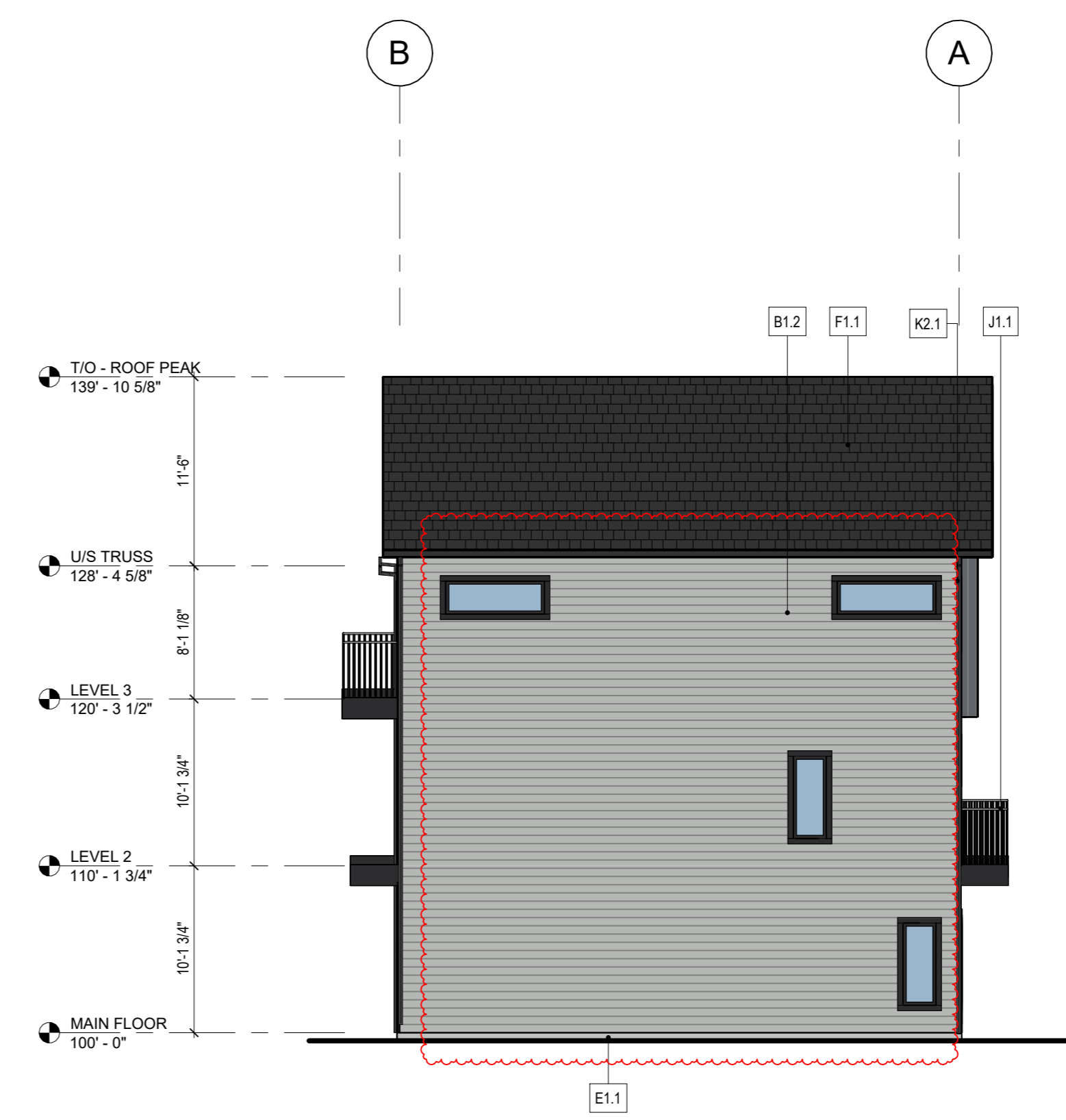
3 SIDE ELEVATION - COLOR SCHEME 3
DP.407 1/8" = 1'-0"

FINISH MATERIAL LEGEND

MARK	COLOR SCHEME 3
A - BRICK	
A1.1	THIN BRICK COLOUR = GRAY
B - SIDING	
B1.1	HARDIE 6" VERTICAL SIDING COLOUR = IRON GRAY
B1.2	HARDIE 6" HORIZONTAL LAP SIDING COLOUR = LIGHT MIST
B1.3	HARDIE 6" HORIZONTAL LAP SIDING COLOUR = IRON GRAY
C - METAL CLADDING	
C1.1	PRE FINISHED METAL FASCIA & SOFFIT COLOUR = BLACK
D - TRIM	
D1.1	4" TRIM & FRAMES COLOUR = MIDNIGHT BLACK
E - PAVING	
E1.1	PAVING COLOUR = NATURAL
F - ROOFING	
F1.1	ASPHALT ROOF SHINGLES COLOUR = BLACK
G - WINDOWS	
G1.1	PVC WINDOWS COLOUR = BLACK
H - DOORS	
H2.1	SHING DOOR COLOUR = BLACK
J - RAILING	
J1.1	PRE FINISHED ALUMINUM GUARDRAIL W/ FICKETS COLOUR = BLACK
K - DRAINAGE	
K1.1	GUTTER COLOUR = BLACK
K2.1	DOWNSPOUT COLOUR = BLACK



2 REAR ELEVATION - COLOR SCHEME 3
DP.407 1/8" = 1'-0"



4 SIDE ELEVATION - COLOR SCHEME 3
DP.407 1/8" = 1'-0"

RELEASES

NO	DESCRIPTION	DATE
A	PRE-OP REVIEW	2025.11.14
H	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

LEGACY

MUNICIPAL ADDRESS
PROJECT ADDRESS

LEGAL ADDRESS
PLAN XX, LOT 90, BLOCK 75, SEC X, TWP 22, RGE X

PROJECT NUMBER
25.016.KAL_LEG

DRAWN	CHECKED
UJ	MM

DATE: 2026.04.29 SCALE: 1/8" = 1'-0"

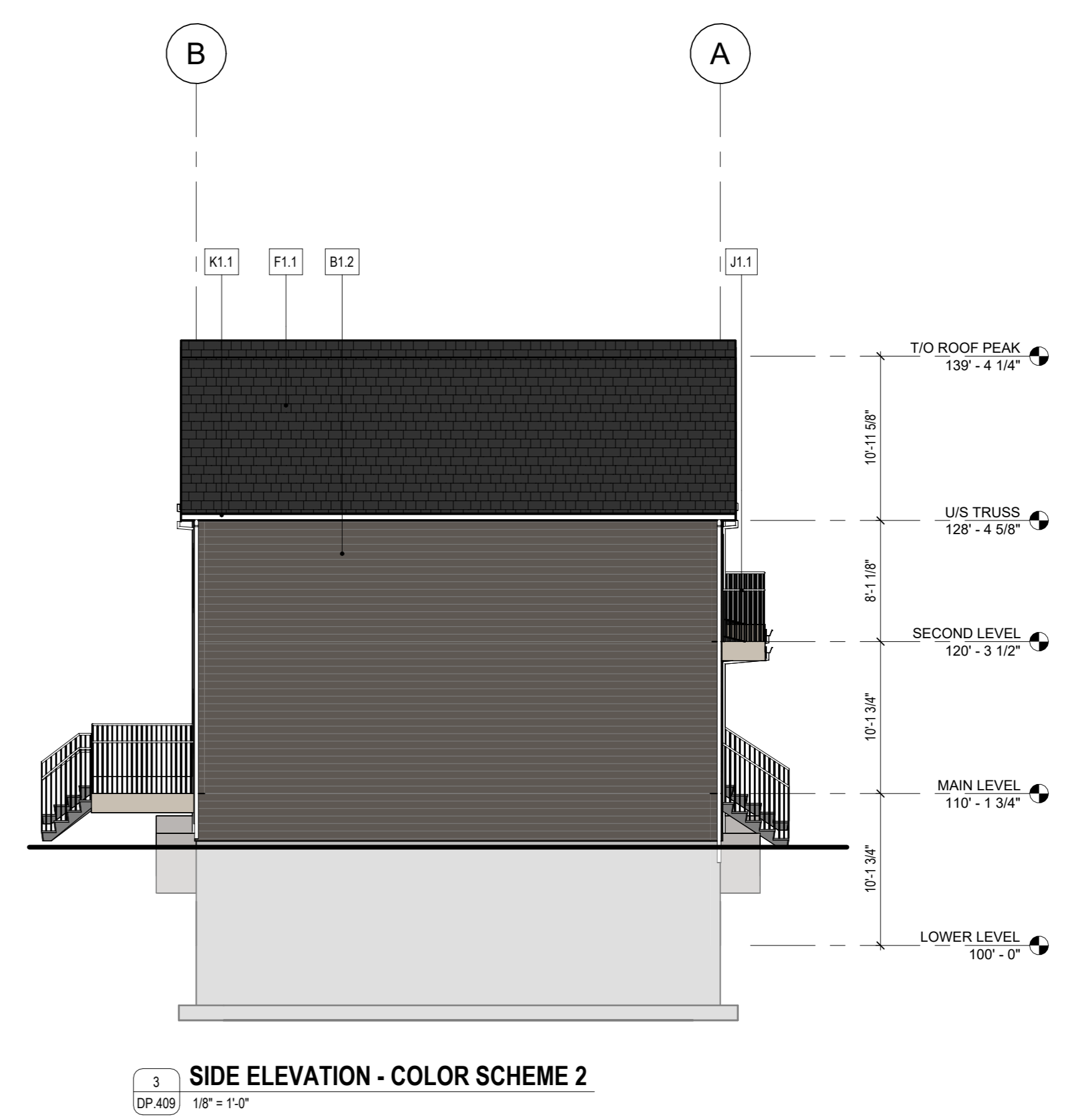
DRAWING TITLE
ELEVATIONS - BUILDING 7

DRAWING NUMBER

DP.407



1 FRONT ELEVATION - COLOR SCHEME 2
DP.409 1/8" = 1'-0"



3 SIDE ELEVATION - COLOR SCHEME 2
DP.409 1/8" = 1'-0"

FINISH MATERIAL LEGEND

MARK COLOR SCHEME 2

- A- BRICK
- A1.1 THIN BRICK
COLOUR = GRAY
- B- SIDING
- B1.1 HARDIE 6" VERTICAL SIDING
COLOUR = AGED PEWTER
- B1.2 HARDIE 6" HORIZONTAL LAP SIDING
COLOUR = RICH ESPRESSO
- B1.3 HARDIE 6" HORIZONTAL LAP SIDING
COLOUR = AGED PEWTER
- C- METAL CLADDING
- C1.1 PRE FINISHED METAL FASCIA
COLOUR = COBBLESTONE
- D- TRIM
- D1.1 4" TRIM & FRAMES
COLOUR = COBBLESTONE
- E- PAVING
- E1.1 PAVING
COLOUR = NATURAL
- F- ROOFING
- F1.1 ASPHALT ROOF SHINGLES
COLOUR = BLACK
- G- WINDOWS
- G1.1 PVC WINDOWS
COLOUR = WHITE
- H- DOORS
- H2.1 SWING DOOR
COLOUR = WHITE
- J- RAILING
- J1.1 PRE FINISHED ALUMINUM GUARDRAIL W/
PICKETS
COLOUR = WHITE
- K- DRAINAGE
- K1.1 GUTTER
COLOUR = WHITE
- K2.1 DOWNSPOUT
COLOUR = WHITE

RELEASES

NO	DESCRIPTION	DATE
A	PRE-OP REVIEW	2025.11.14
H	DR1	2026.04.29

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME

LEGACY

MUNICIPAL ADDRESS

LEGAL ADDRESS

PROJECT NUMBER

DRAWN CHECKED

DATE SCALE

DRAWING TITLE

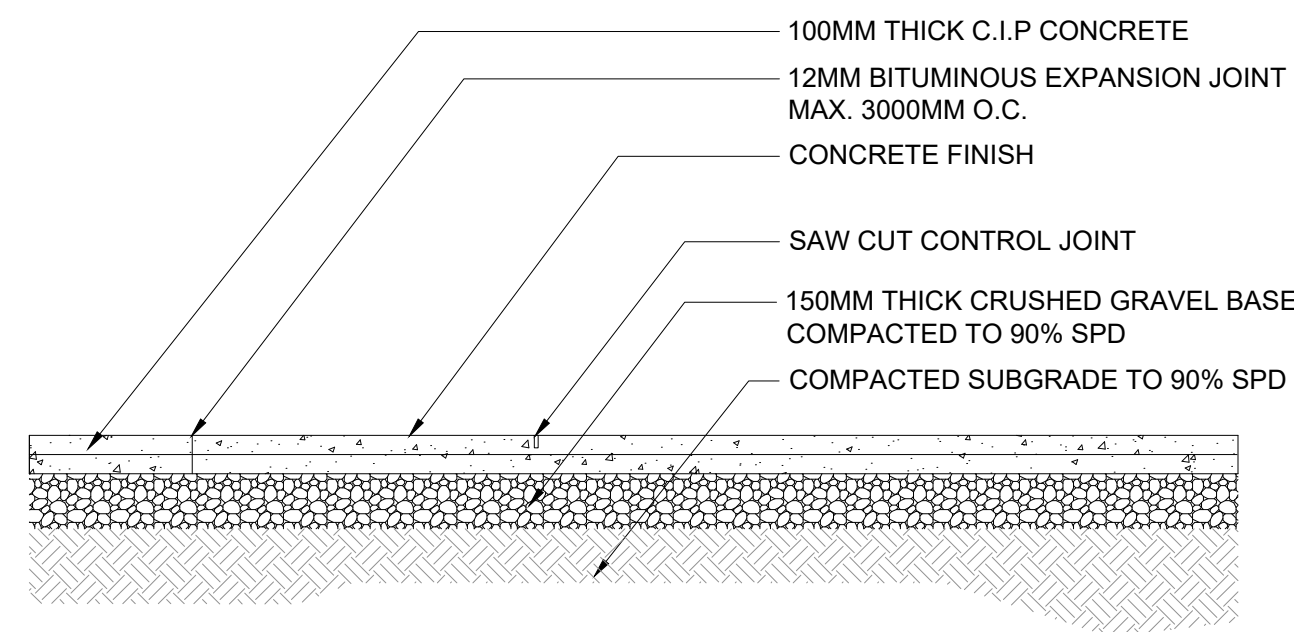
ELEVATIONS - BUILDING 9

DRAWING NUMBER

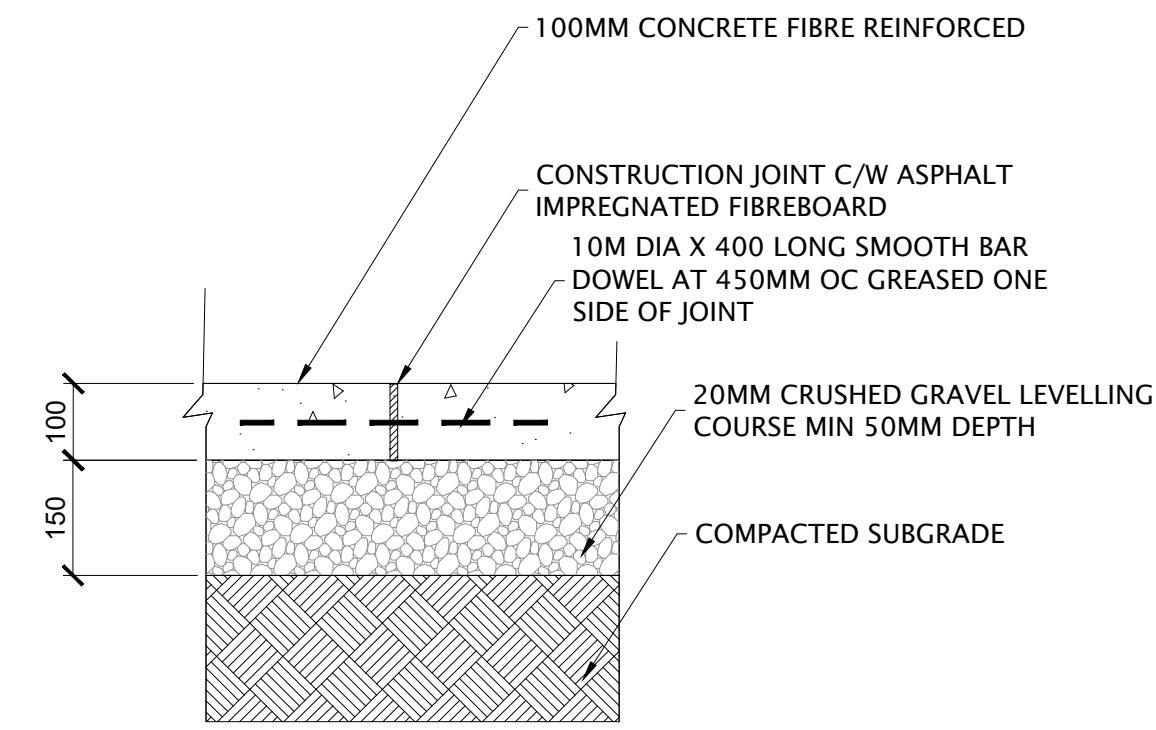
DP.409

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.

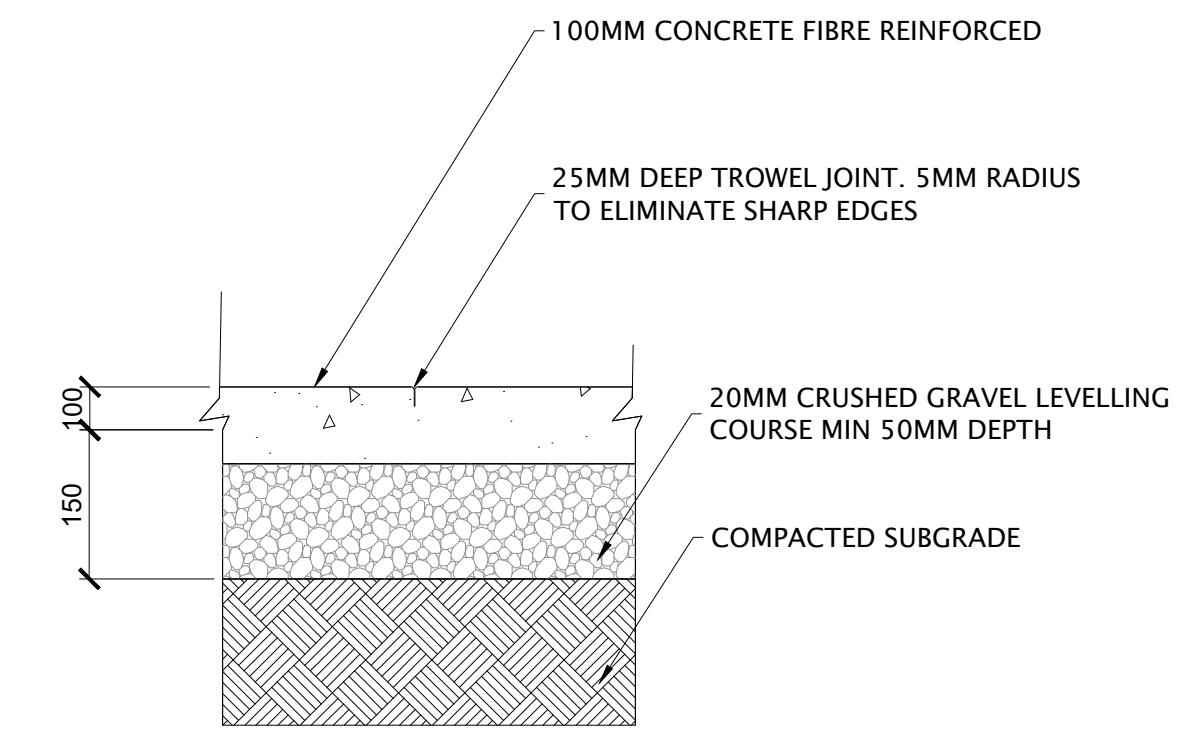
NOTES
1. PROVIDE MATERIALS AND CONSTRUCTION TECHNIQUES, INCLUDING REINFORCING, PER STRUCTURAL DRAWINGS.
2. ALL CONCRETE TO BE MINIMUM 2% SLOPE. SLOPE TO DRAINS WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED (i.e. SIDEWALKS) PROVIDE 2% CROSS-SLOPE TO LOW SIDE OF SIDEWALK.



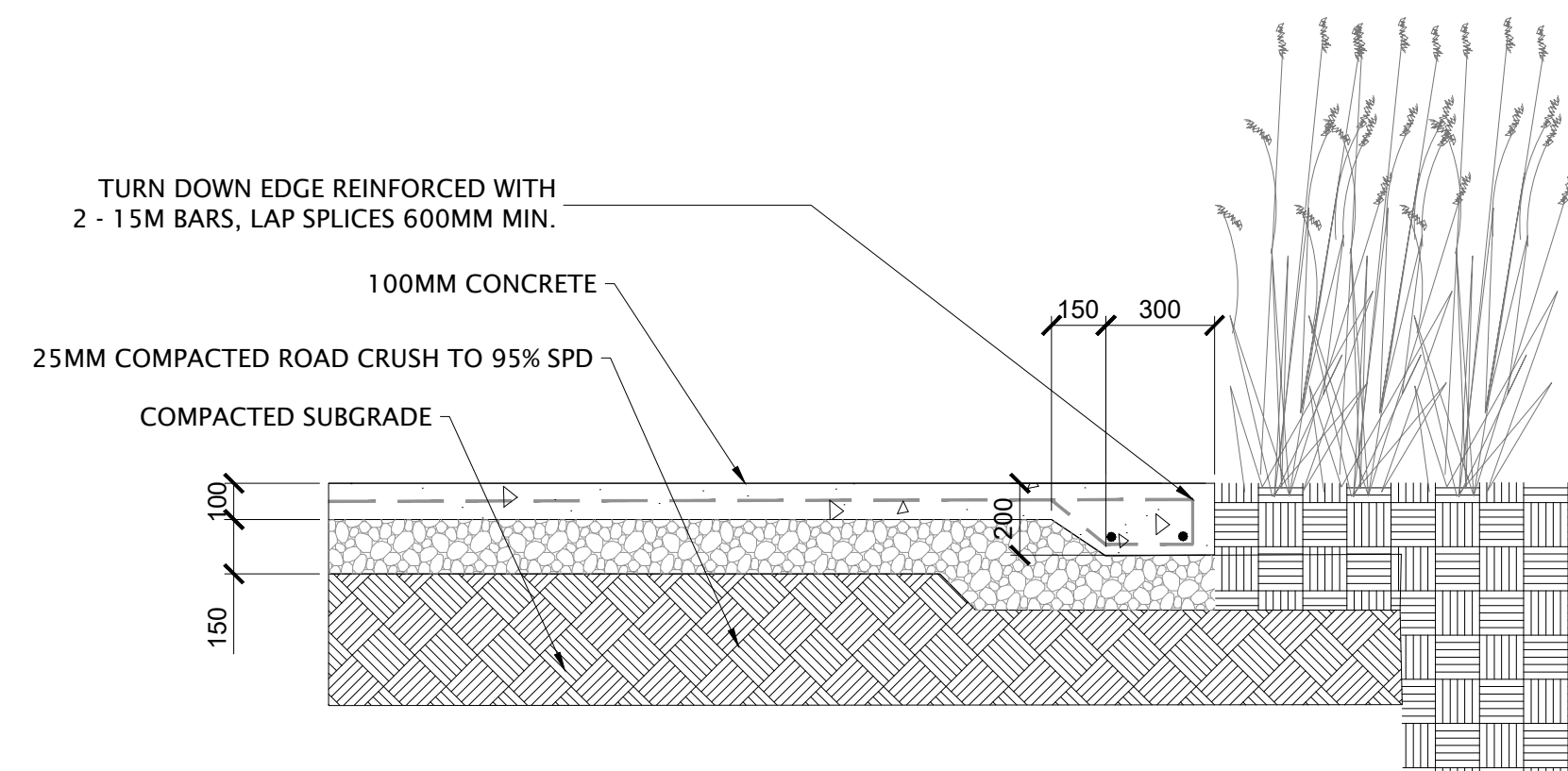
1 CONCRETE WALKWAY DETAIL
DPL2.1 SCALE 1:20



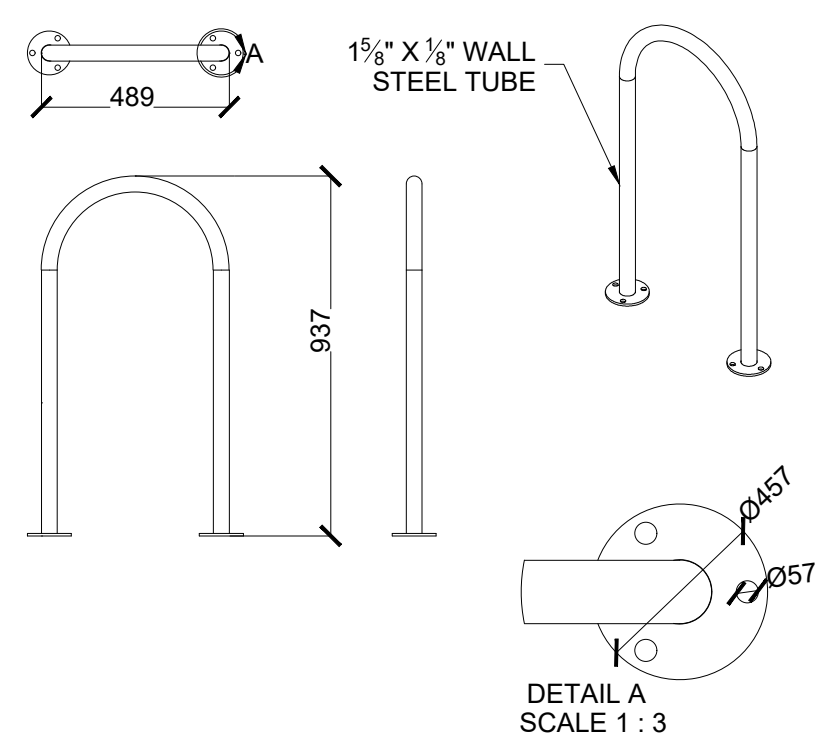
2 CONSTRUCTION JOINT DETAIL
DPL2.1 SCALE 1:10



3 TROWEL JOINT DETAIL
DPL2.1 SCALE 1:10

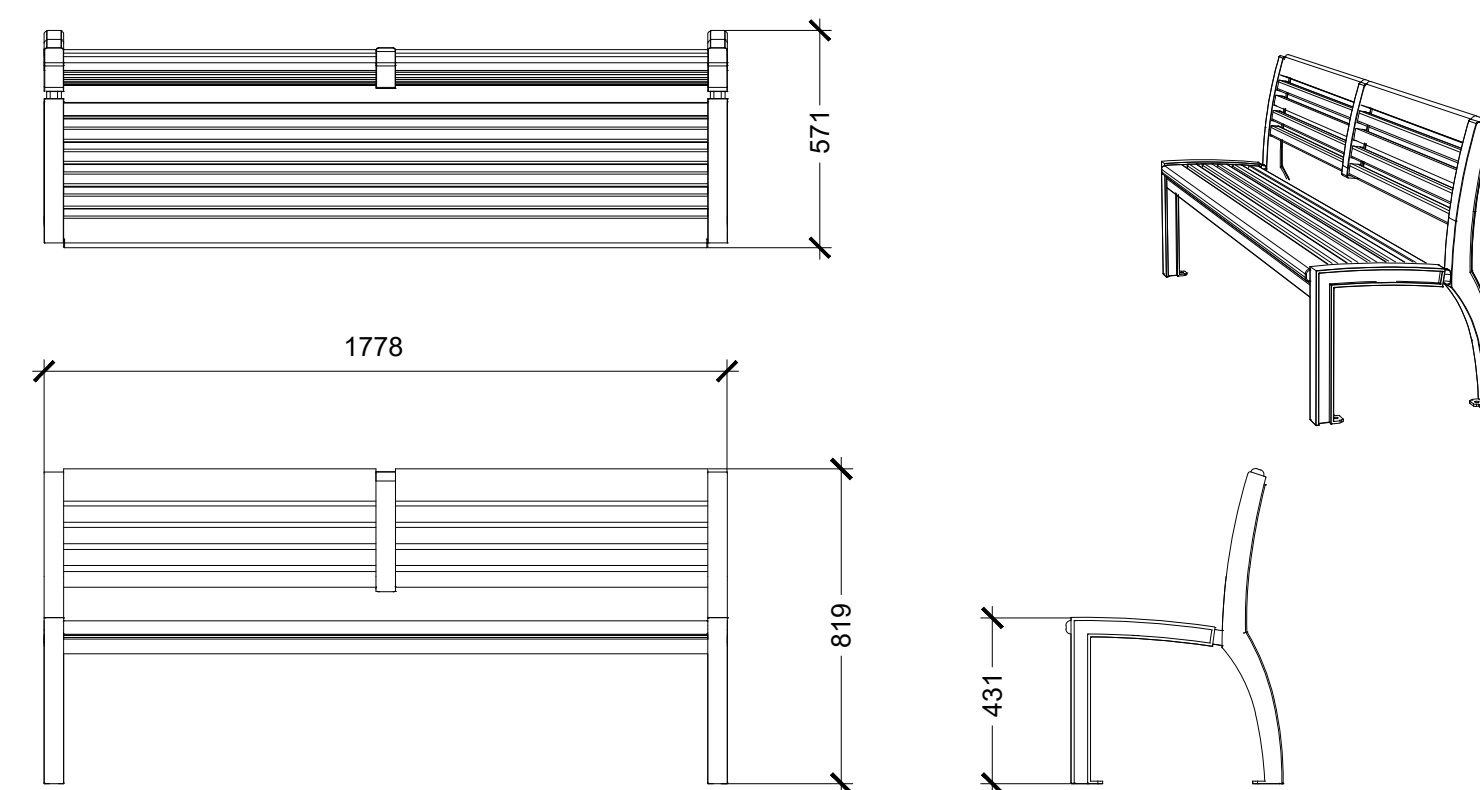


4 CONCRETE EDGE DETAIL
DPL2.1 SCALE 1:20



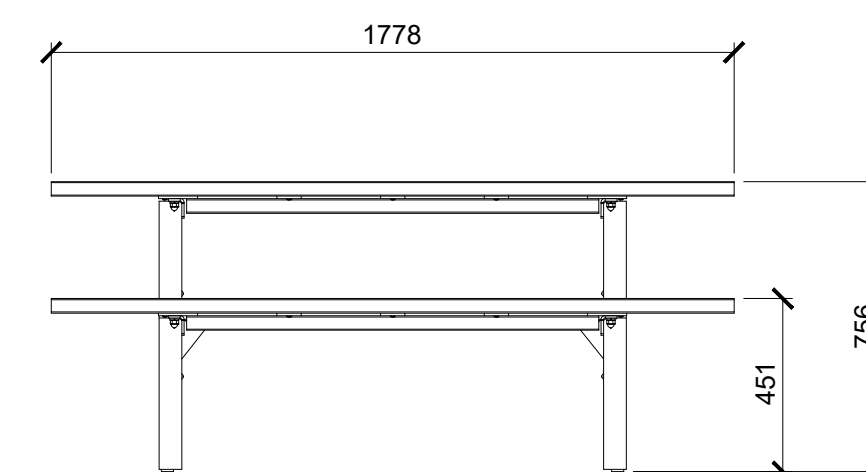
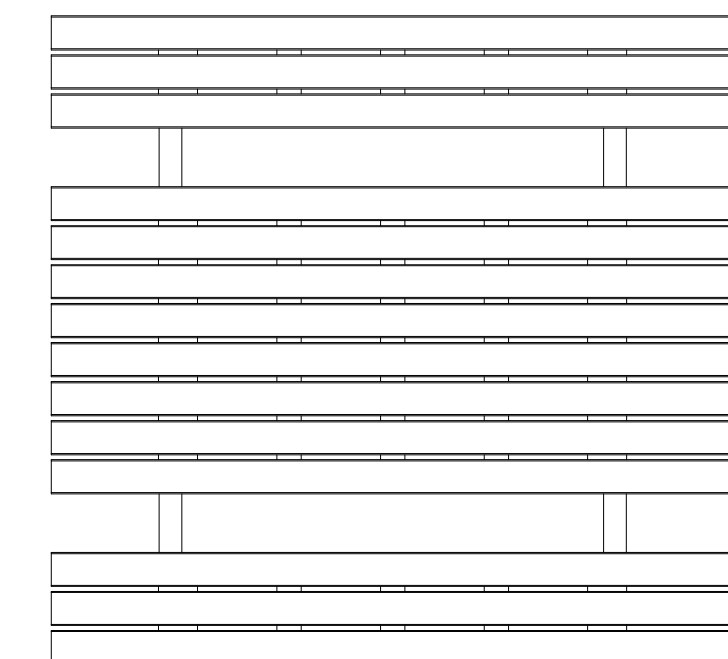
NOTES:
1. BIKE RACK TO BE MAGLIN MODEL MBR-0500-00003 SURFACE MOUNTED OR SIMILAR APPROVED.
2. BIKE RACK TO BE FINISHED WITH GRAPHITE POWDER COLOUR STEEL FRAME.
3. CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

5 BIKE RACK DETAIL
DPL2.1 SCALE 1:20



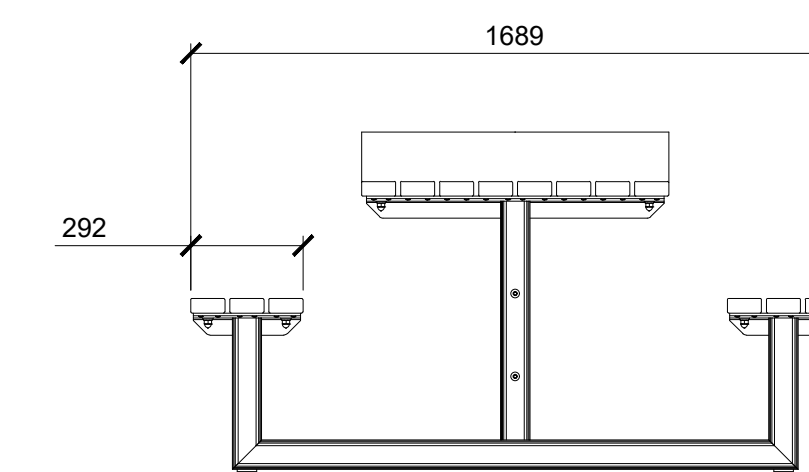
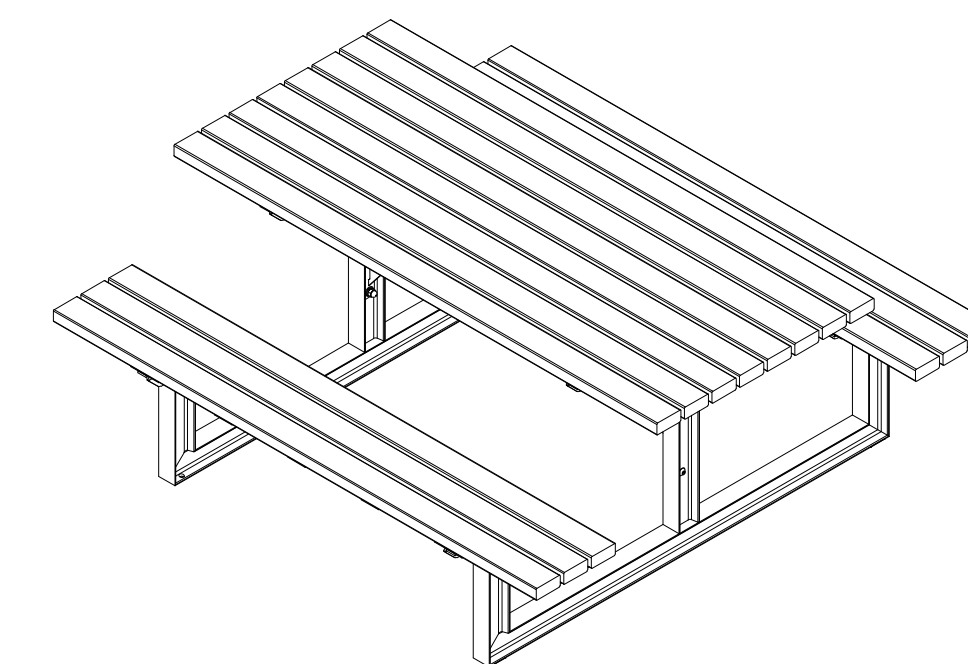
NOTES:
1. 720 MAGLIN BACKED BENCH MODEL NO. MBE-0720-00020 - IPE WOOD
2. BENCH TO BE SURFACE MOUNTED
3. CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS

6 BENCH RACK DETAIL
DPL2.1 SCALE 1:20



NOTES:
1. MAGLIN 210 CLUSTER SEATING PICNIC TABLE OR APPROVED EQUAL.
2. PICNIC TABLE TO BE SURFACE MOUNTED.
3. WOOD GRAIN TEXTURE HIGH DENSITY POLYETHYLENE TO BE USED FOR SEATING
4. INSTALL AS PER MANUFACTURES SPECIFICATIONS.

7 PICNIC TABLE DETAIL
DPL2.1 SCALE 1:20



FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

pLant studio
landscape architecture + planning

RELEASES

NO.	DESCRIPTION	DATE
03		
04		
05		
06	ISSUED FOR DR1	2020.04.21
07	ISSUED FOR DP	2020.02.12

CONSTRUCTION

TENDER

BUILDING PERMIT

MUNICIPAL ADDRESS

LEGACY

LEGAL ADDRESS

— SEC —

PROJECT NUMBER

25.018

PROJECT NAME

LEGACY

DRAWN

CHECKED

CK

CKWK

DATE

2025.11.19

SCALE

AS NOTED

DRAWING TITLE

LANDSCAPE DETAILS

DRAWING NUMBER

DPL.21

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the express consent of FAAS Architecture. Do not scale this drawing.

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

RELEASES

NO.	DESCRIPTION	DATE
03		
04		
05		
02	ISSUED FOR DR1	2020.04.21
01	ISSUED FOR DP	2018.02.12

CONSTRUCTION

TENDER

BUILDING PERMIT

MUNICIPAL ADDRESS

LEGAL ADDRESS

PROJECT NUMBER

25.018

PROJECT NAME

LEGACY

DRAWN

CK

DATE

2025.11.19

SCALE

AS NOTED

DRAWING TITLE

LANDSCAPE DETAILS

DRAWING NUMBER

DPL.24

DPL.24

DPL.24

DPL.24

DPL.24

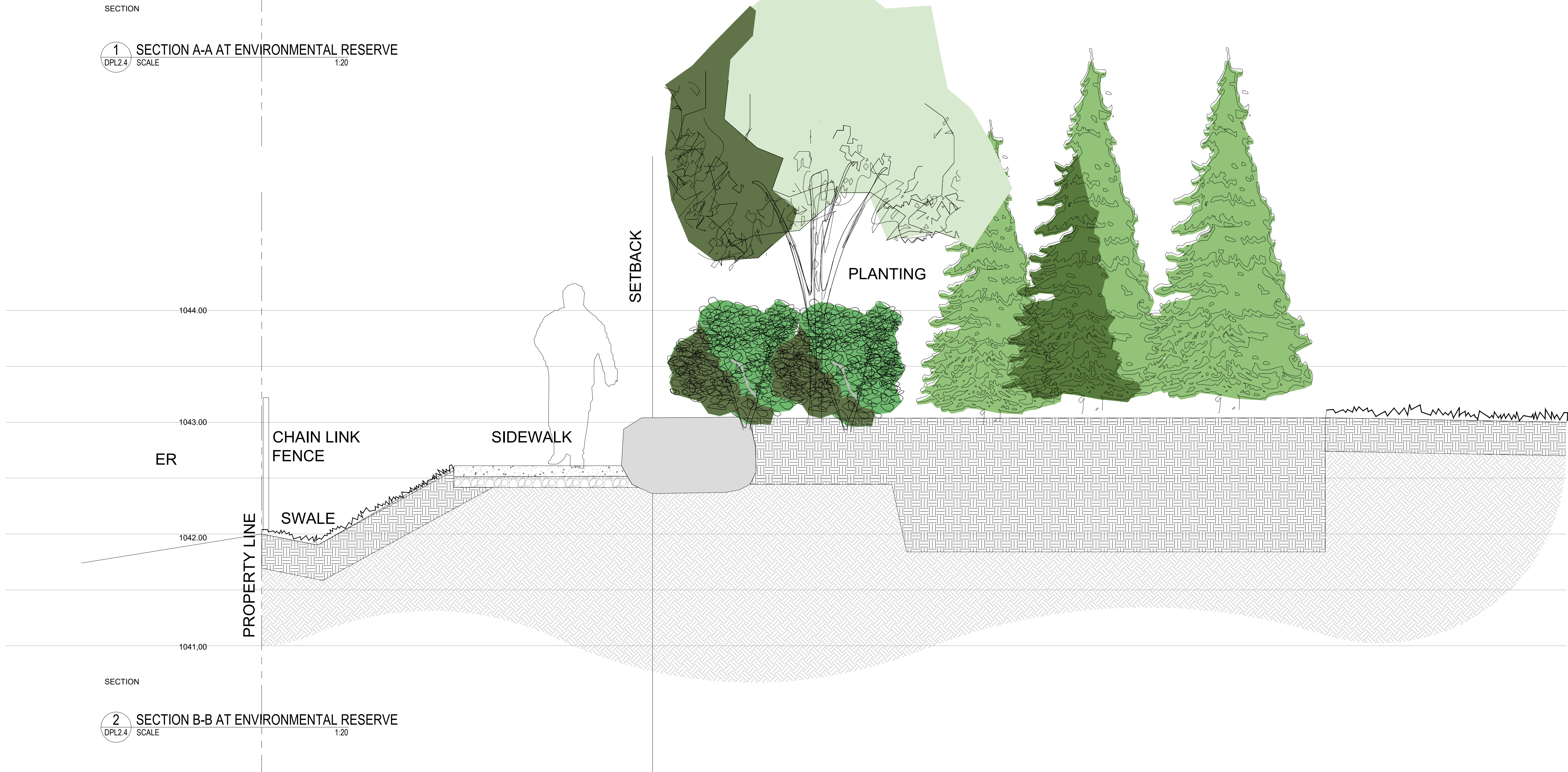
DPL.24

DPL.24

DPL.24

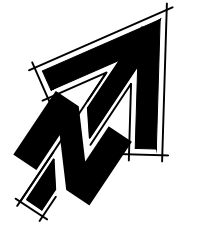


1 SECTION A-A AT ENVIRONMENTAL RESERVE
DPL.24 SCALE 1:20



2 SECTION B-B AT ENVIRONMENTAL RESERVE
DPL.24 SCALE 1:20

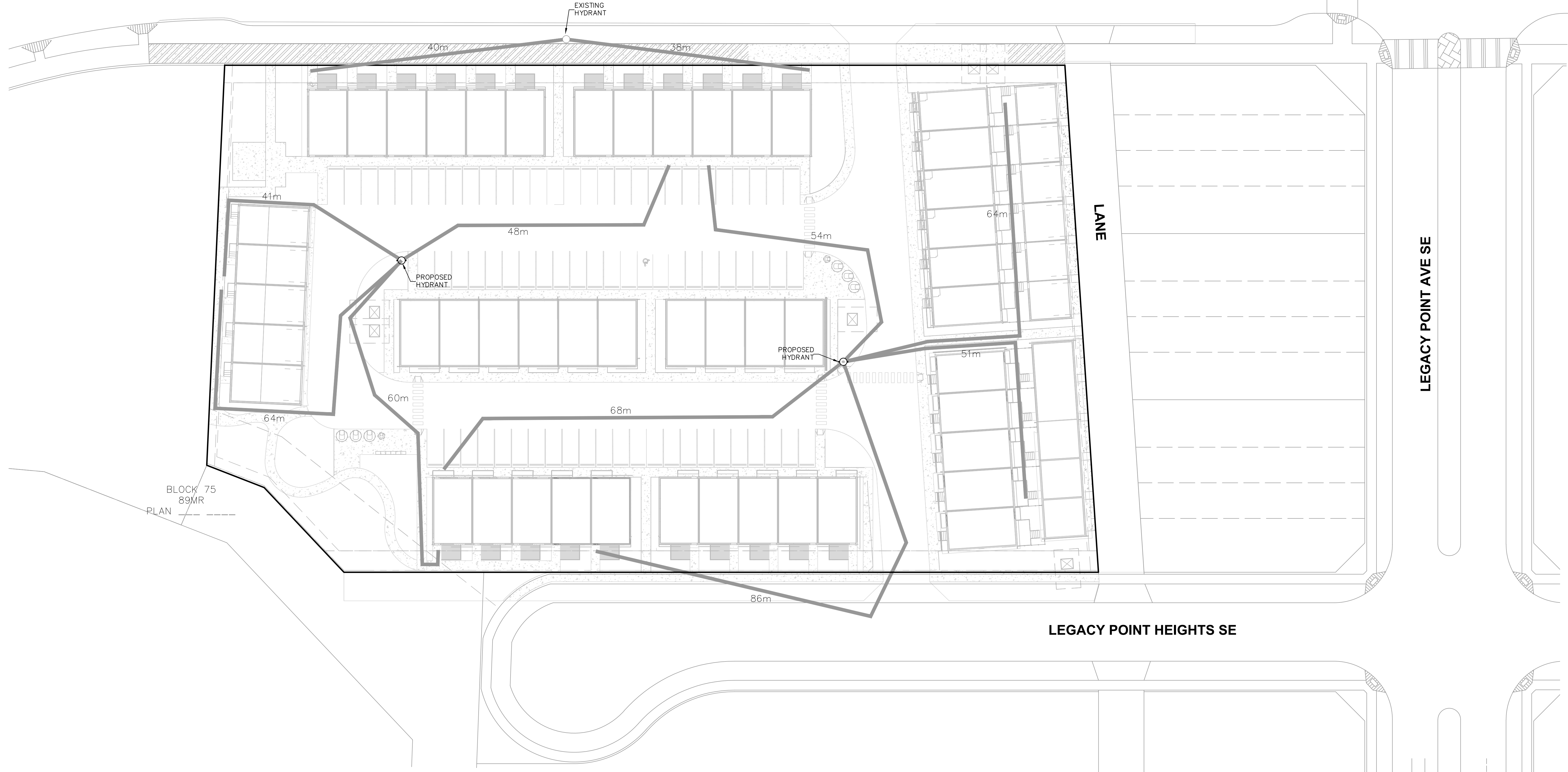
Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.



LEGACY RIDGE CIRCLE SE

LEGACY CIRCLE SE

EXISTING HYDRANT



BLOCK 75
89MR
PLAN

LANE

LEGACY POINT AVE SE

LEGACY POINT HEIGHTS SE

4 HYDRANT LOCATION

Scale: 1:300

PERTINENT DATA:

SITE LOCATION:
22200 28 STREET SE
CALGARY, AB
LEGAL DESCRIPTION:
PLAN _____, LOT 91, BLOCK 75
SEC 8, TWP 22, RGE 23, W4M
AREA=1.02 ha
DEVELOPMENT PERMIT NUMBER:
DP2026-01052

COPYRIGHT RESERVED
The contractor shall verify and be responsible for all dimensions. Do not scale the drawing - any errors and/or omissions shall be reported to Hilco Projects Inc.
The Copyrights to all designs and drawings are the property of Hilco Projects Inc. Reproduction or use for any purpose other than that authorized by Hilco Projects Inc. is forbidden.

No.	DESCRIPTION	DATE	BY
2	ISSUED FOR DSP APPROVAL	03.02.26	HC
1	ISSUED FOR DP APPROVAL	10.14.25	HC

22200 28 STREET SE
CALGARY - ALBERTA

KALAMOIR

HYDRANT LOCATION

HILCO PROJECTS INC.
Association of Professional Engineers
and Geoscientists of Alberta
PERMIT TO PRACTICE NO. P07866

HILCO PROJECTS INC.
DESIGN BY: HC CHECKED BY: HC PROJECT No. _____
DRAWN BY: _____ CHECKED BY: _____ 1172
SCALE: AS NOTED DATE: OCT 2025 DRAWING No. SW-C4