

ST. MARY'S UNIVERSITY ATHLETIC FACILITY



STRUCTURAL

ENTUITIVE

CIVIL



LANDSCAPE



MECHANICAL & ELECTRICAL



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LANDSCAPE

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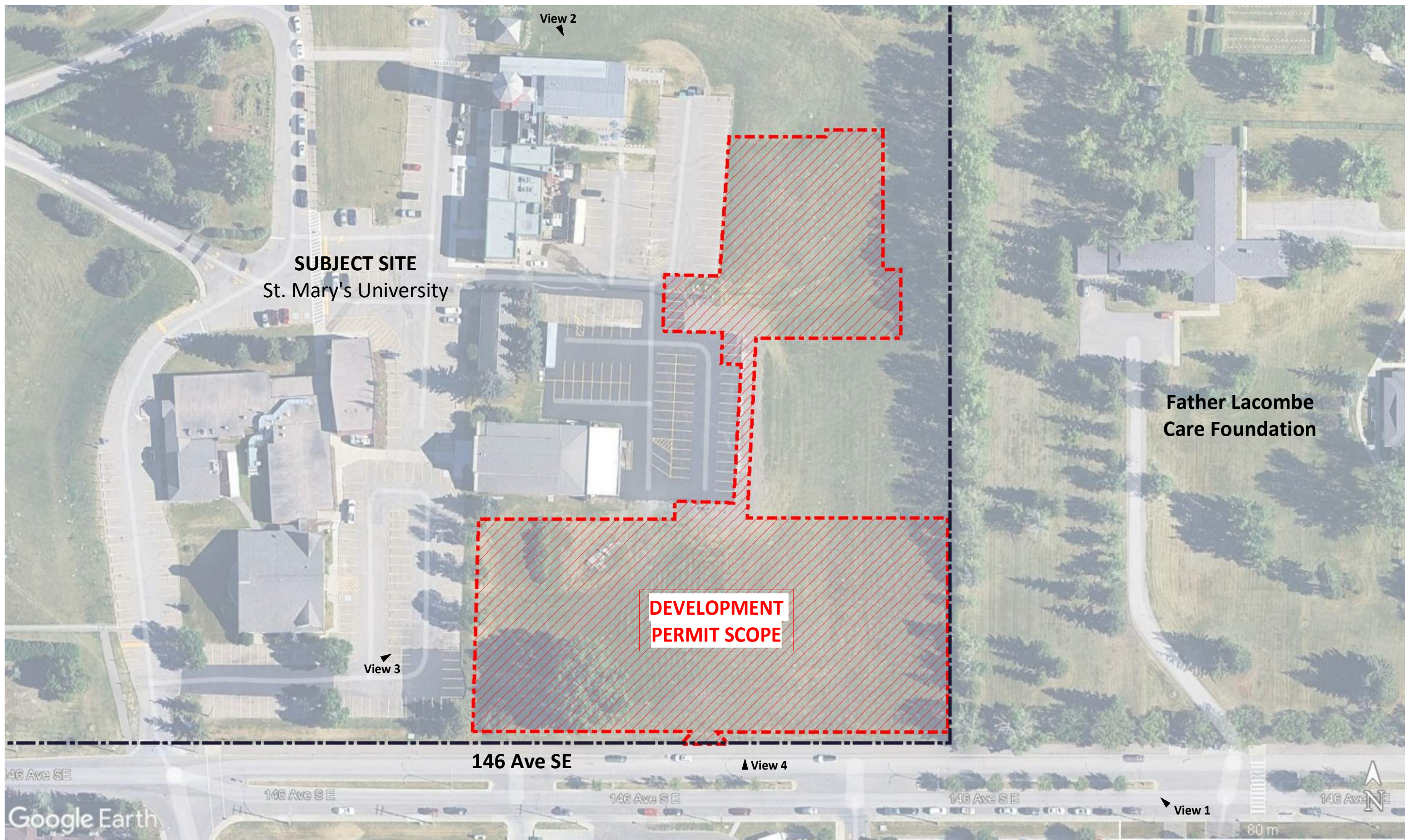
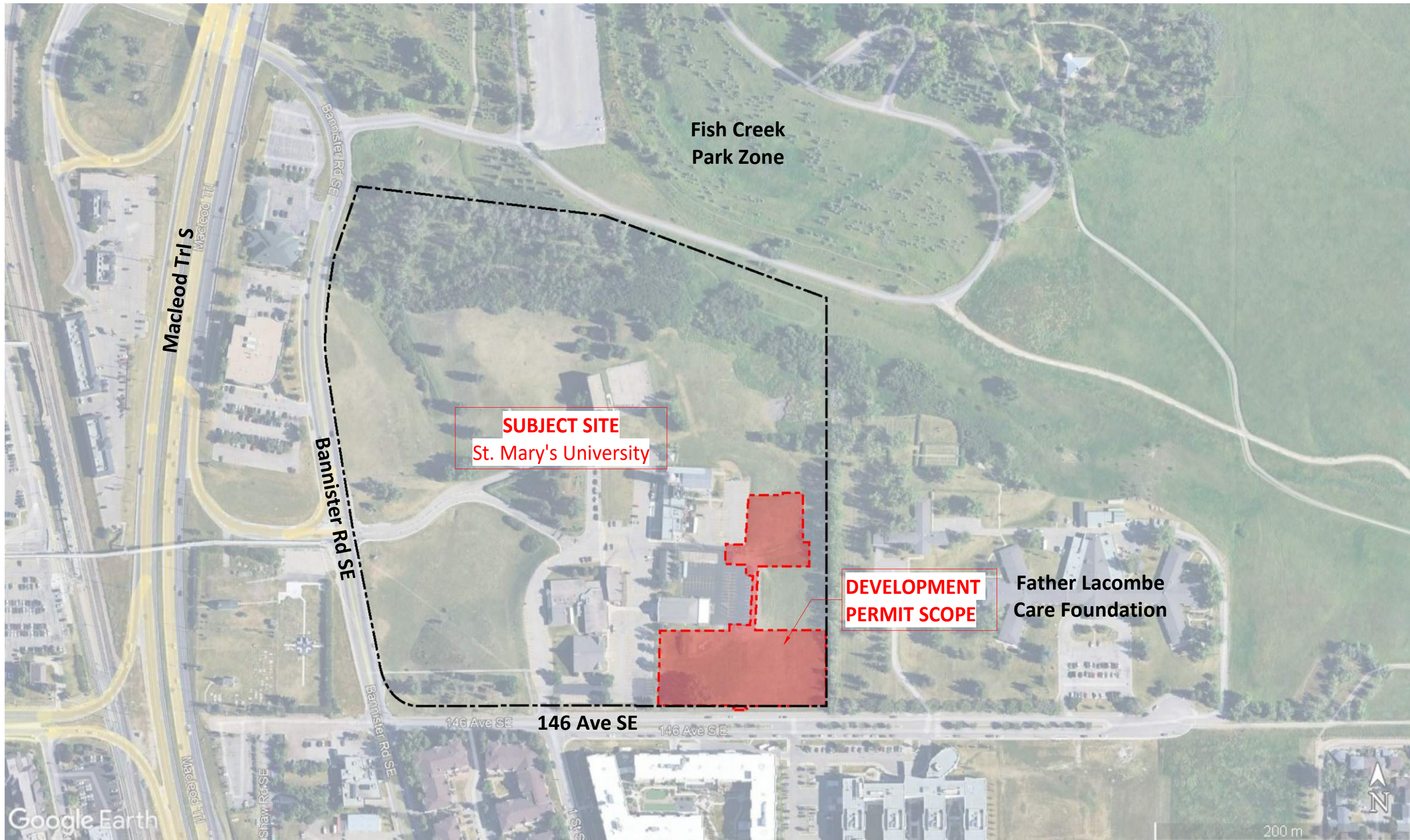
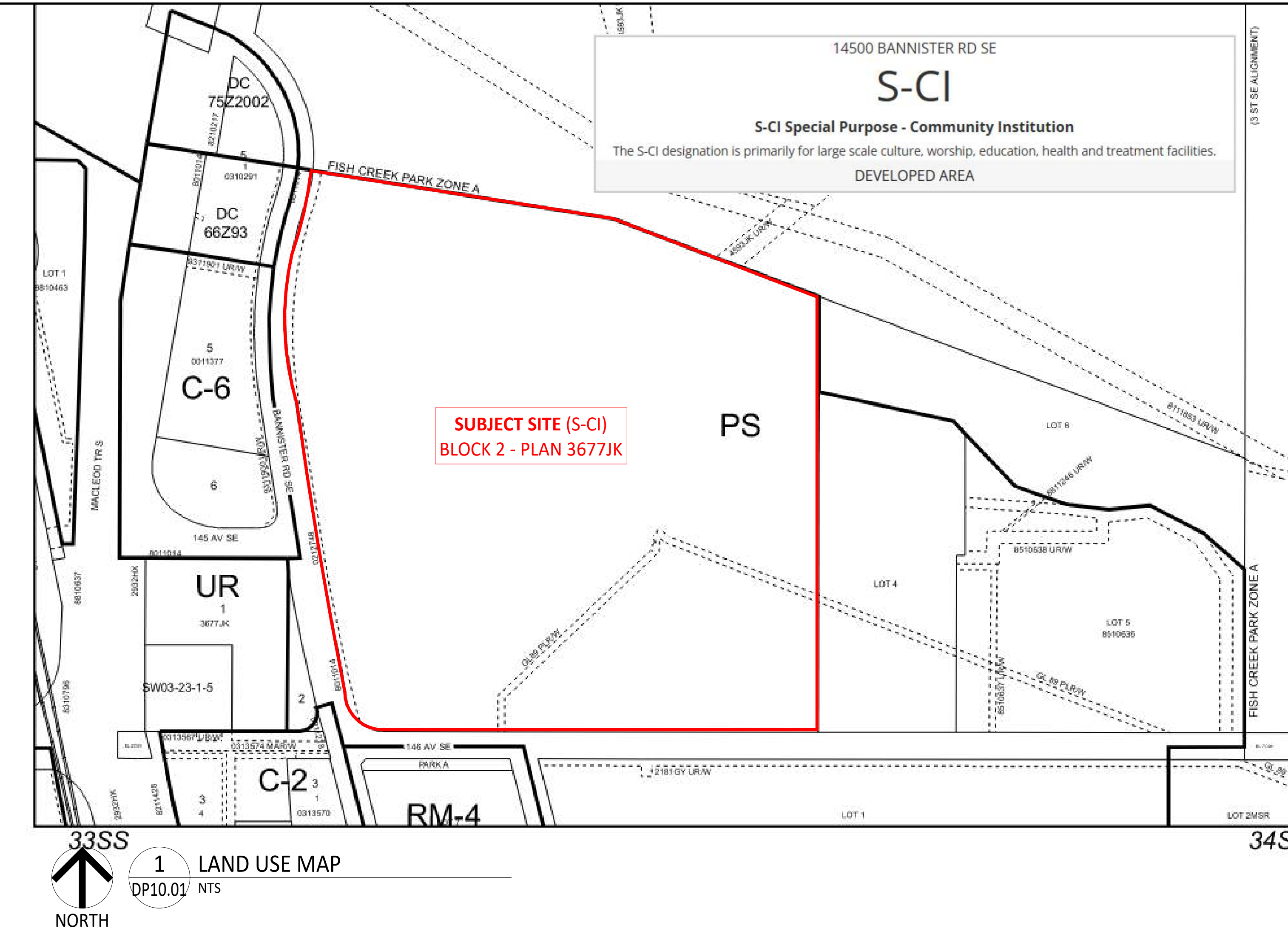
ISSUED FOR: DEVELOPMENT PERMIT
2026-02-23



GGA-ARCHITECTURE
350 140 10 Avenue SE Calgary, AB. T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077

PROJECT NAME: St. Mary's Athletic Facility DEVELOPMENT PERMIT:

PROJECT ADDRESS: 14500 BANNISTER RD SE, CALGARY, AB PROJECT NUMBER: 25069



1- SOUTHEAST VIEW



2- NORTHEAST VIEW



3- SOUTHWEST VIEW



4- SOUTH VIEW (FROM 146 AVE SE)

PROPERTY DESCRIPTION & ZONING

MUNICIPAL ADDRESS	14500 BANNISTER RD SE
LEGAL DESCRIPTION	PLAN 3677JK; BLOCK 2
LAND USE	S-CI Special Purpose - Community Institution * The S-CI designation is primarily for large scale culture, worship, education, health and treatment facilities.

SITE ANALYSIS

SUBJECT PARCEL AREA	139,846.5 m ² / ±13.98ha [±34.56ac]
DP SCOPE AREA	12,060.0 m ² / ±1.21ha [±2.98ac]
GROSS FLOOR AREA	2,234.0 m ² G.F.A. / SITE AREA 2,234.0 m ² / 139,846.5 m ² 0.016
F.A.R.	
BUILDING FOOTPRINT	2,234.0 m ²
SITE COVERAGE	1.57%
BUILDING SETBACKS	FRONT 6.0 m SIDE 1.2 m REAR 1.2 m

PARKING REQUIRMENTS

GROUP B (INDOOR RECREATION FACILITY) 4.0 motor vehicle parking stalls per 100.0 m² of gross usable floor area.

REQUIRED VEHICLE PARKING	2,234.0 m ² / 100.0 m ² = 22.34 x 4.0 STALLS = 89 STALLS
REQUIRED BF STALLS	6 STALLS
EXISTING PARKING COUNT	384 STALLS (- 4 STALLS TO BE CONVERTED TO BF STALLS)
EXISTING PARKING TO REMAIN	380 STALLS
PROVIDED VEHICLE PARKING PROVIDED BF STALLS	+ 247 STALLS + 6 STALLS
TOTAL PROVIDED PARKING	+ 253 STALLS
ON-SITE PARKING SUMMARY	633 STALLS
CLASS 2 (INDOOR RECREATION FACILITY) requires a minimum of 0.5 bicycle class 2 stalls per 100.0 m ² of gross usable floor area.	
REQUIRED CLASS 2 STALLS	2,234.0 m ² / 100.0 m ² = 22.34 x 0.5 STALLS = 11.17 CLASS 2 STALLS REQUIRED
PROVIDED CLASS 2 STALLS	12 STALLS

WASTE COLLECTION

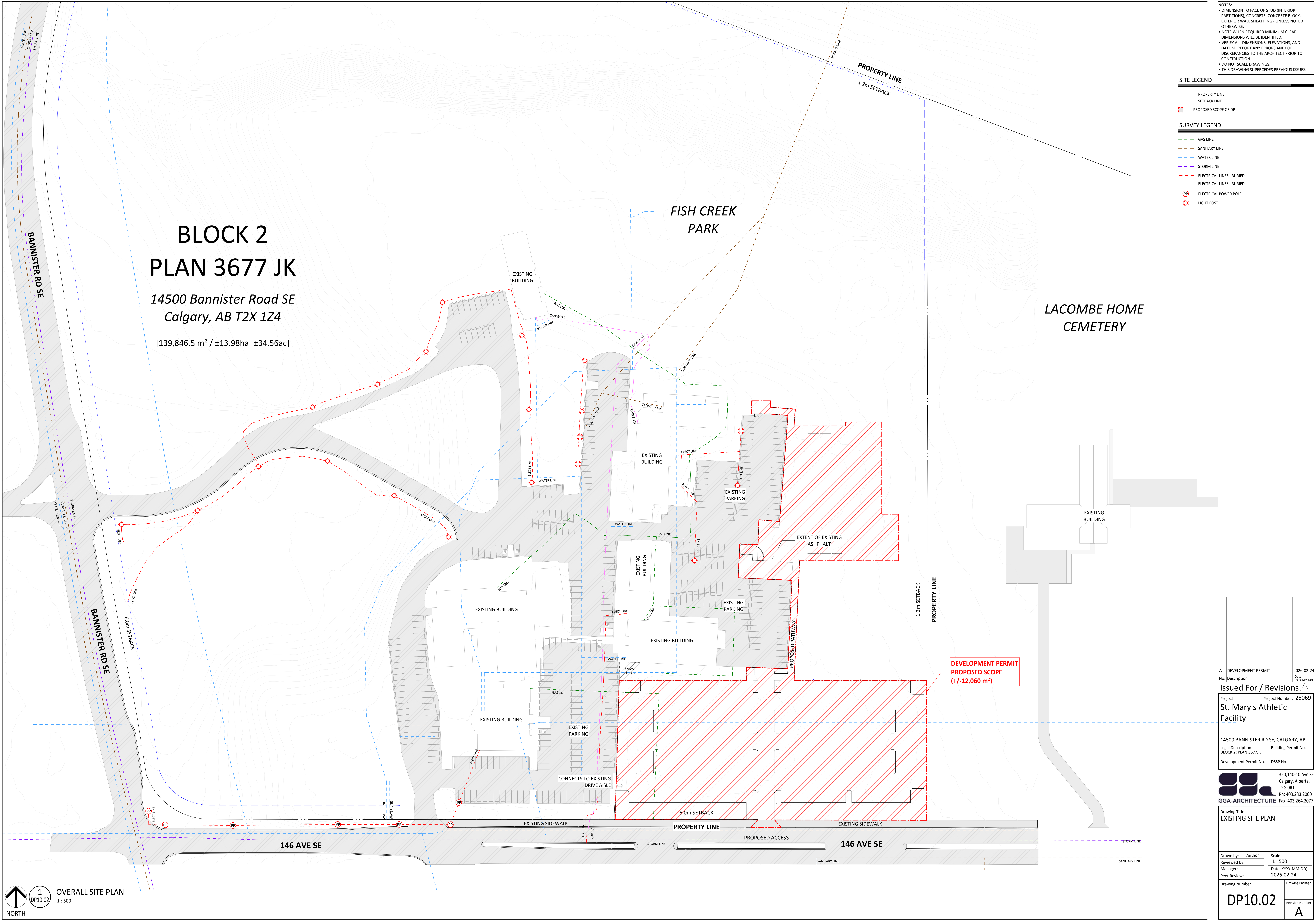
Every 1000 m² of the development producing a minimum of 3 m³ of combined waste in an average week.

ANTICIPATED VOLUME	2,234.0 m ² / 1000.0 m ² = 2.23 x 3.0 m ³ = 6.7 m ³ / 8.7 yd ³
PROVIDED	6.9 m ³ / 9.0 yd ³

Existing waste collection area to remain; Private collection; Waste operations managed by facility operator, with multiple pick-ups per week.

NOTES:
• DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
• NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
• VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM; REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
• DO NOT SCALE DRAWINGS.
• THIS DRAWING SUPERCEDES PREVIOUS ISSUES.

A	DEVELOPMENT PERMIT	2026-02-24
No.	Description	Date (YYYY-MM-DD)
Issued For / Revisions		
Project	Project Number: 25069	
St. Mary's Athletic Facility		
14500 BANNISTER RD SE, CALGARY, AB		
Legal Description	Building Permit No.	
BLOCK 2; PLAN 3677JK	DSSP No.	
Development Permit No.	DSSP No.	
GGA-ARCHITECTURE		
350,140-10 Ave SE Calgary, Alberta. T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077		
Drawing Title CONTEXT PLAN & PROJECT STATISTICS		
Drawn by:	Scale	
Reviewed by:	Date (YYYY-MM-DD)	
Manager:	2026-02-24	
Peer Review:	Drawing Package	
Revision Number	Revision Number	
DP10.01	A	



NOTES:

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SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED SCOPE OF DP

SURVEY LEGEND

- GAS LINE
- SANITARY LINE
- WATER LINE
- STORM LINE
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - BURIED
- ELECTRICAL POWER POLE
- LIGHT POST

Issued For / Revisions

No.	Description	Date (YYYY-MM-DD)
A	DEVELOPMENT PERMIT	2026-02-24

Project Number: 25069

St. Mary's Athletic Facility

14500 BANNISTER RD SE, CALGARY, AB

Legal Description: BLOCK 2, PLAN 3677JK

Building Permit No.

Development Permit No. DSPP No.

350,140-10 Ave SE
Calgary, Alberta, T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title: EXISTING SITE PLAN

Drawn by: Author	Scale: 1:500
Reviewed by:	Date (YYYY-MM-DD): 2026-02-24
Manager:	Peer Review:

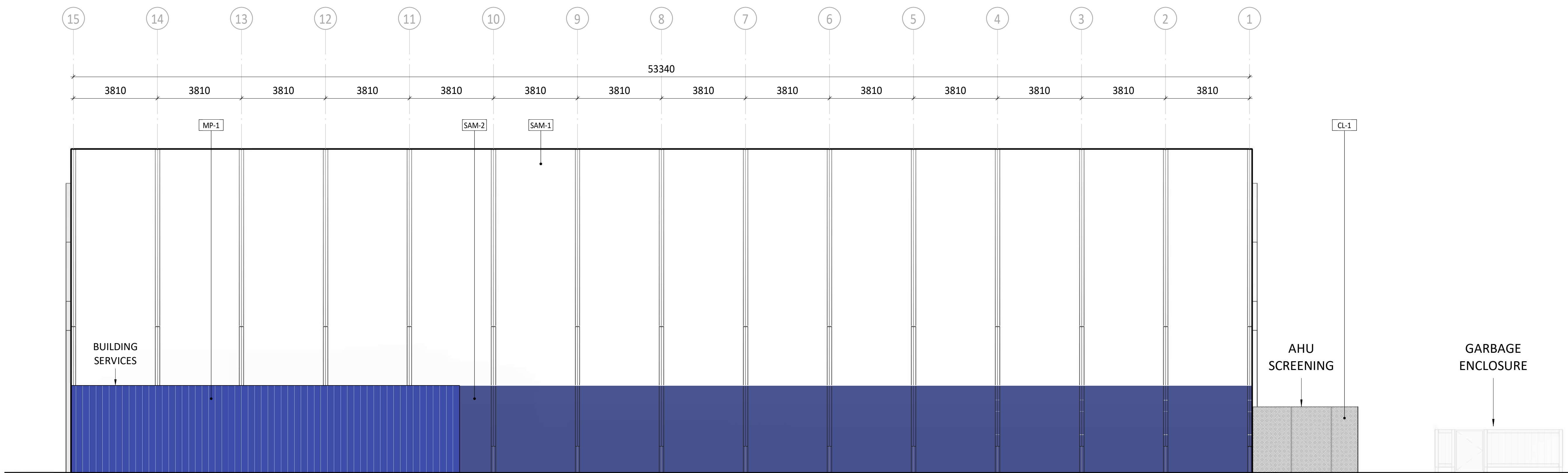
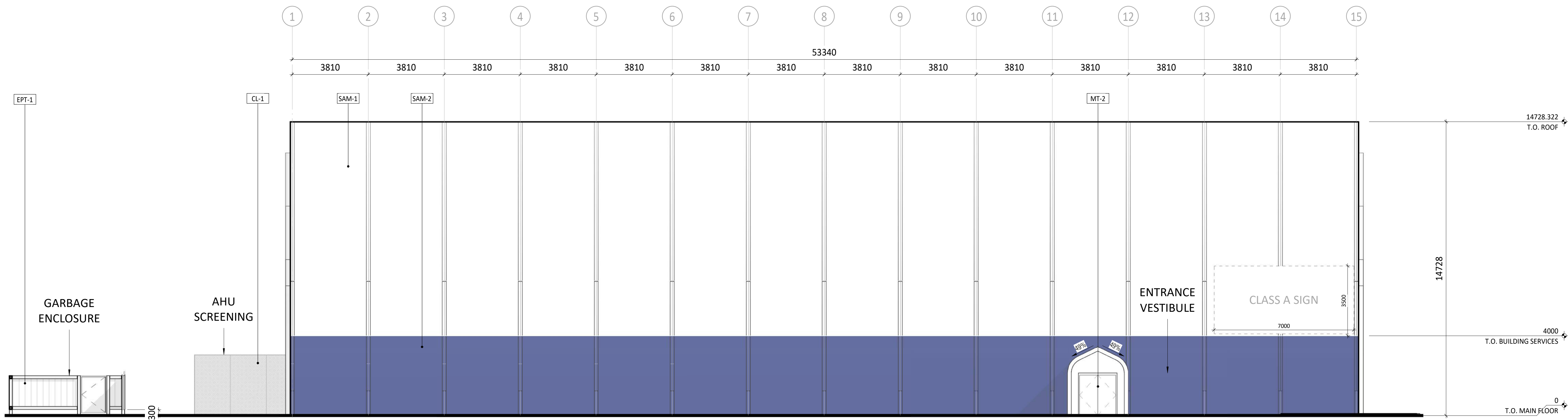
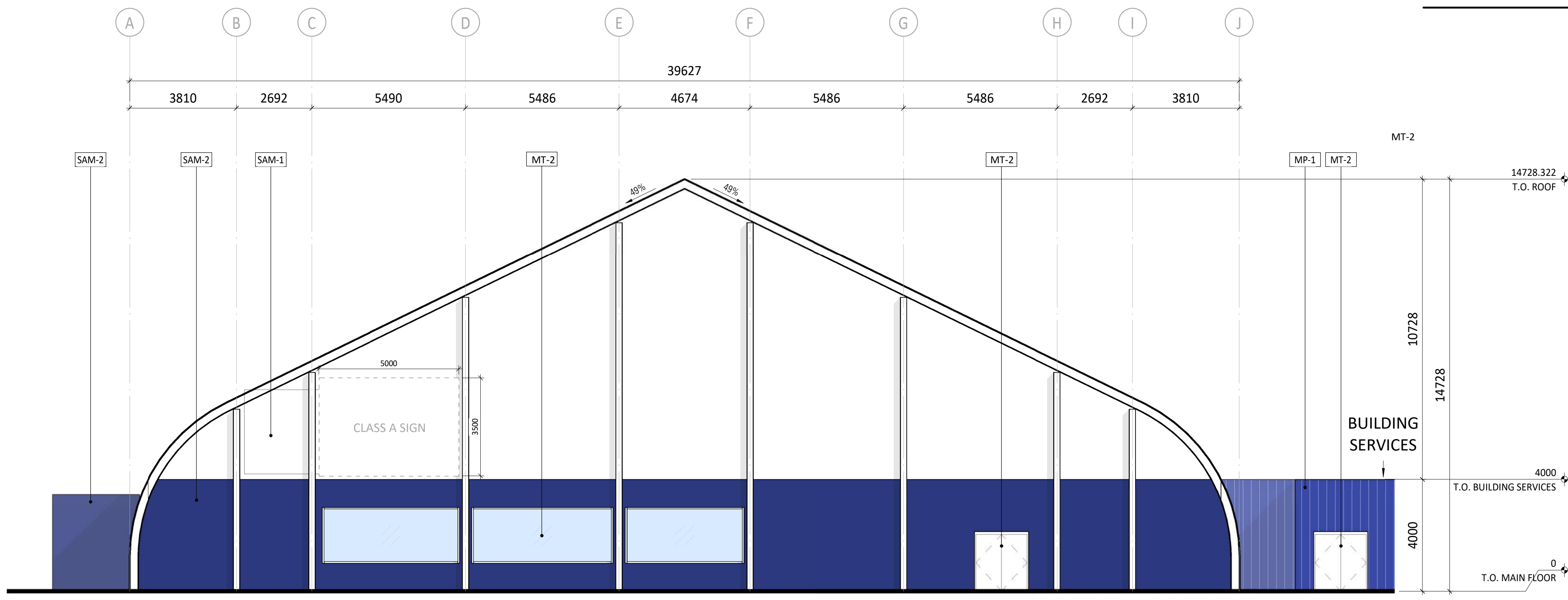
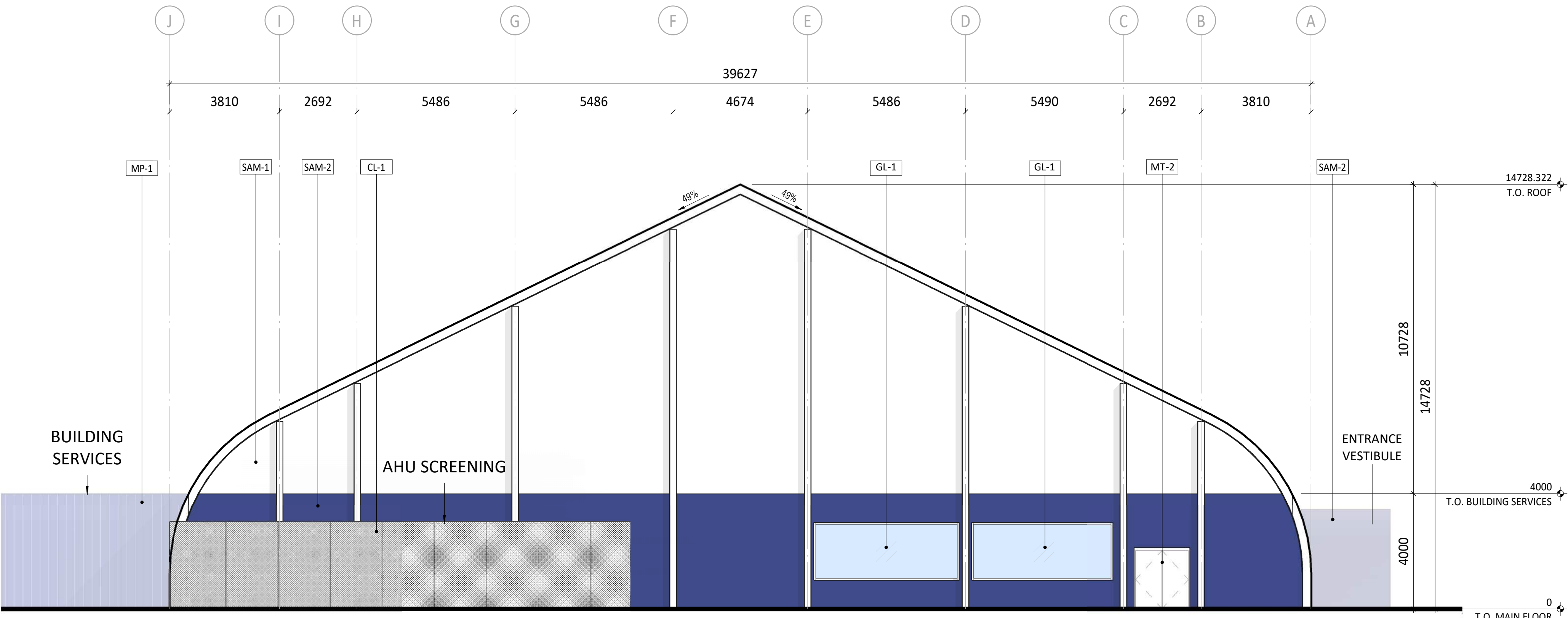
Drawing Number: DP10.02	Drawing Package: A
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AD Title Block - R24 Rev 0 (2024-01-03)

[139,846.5 m² / ±13.98ha [±34.56ac]

LACOMBE HOME
CEMETERY

PRELIMINARY - NOT FOR CONSTRUCTION



MATERIALS

- SAM-1 ARCHITECTURAL MEMBRANE - WHITE
- SAM-2 ARCHITECTURAL MEMBRANE - BLUE
- MT-1 PAINTED METAL PANEL - BLUE
- MT-2 PAINTED METAL - DOOR
- CL-1 CHAIN-LINK FENCE
- EPT-1 EPT RUBBER FENCE
- GL1-1 WINDOW GLAZING

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Issued For / Revisions 		
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St. Mary's Athletic Facility		
14500 BANNISTER RD SE, CALGARY, AB		
Legal Description	Building Permit No.	
BLOCK 2; PLAN 3677JK		
Development Permit No.	DSSP No.	

350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title ELEVATIONS	
Drawn by: Author	Scale 1 : 100
Reviewed by:	Date (YYYY-MM-DD) 2026-02-24
Manager:	Peer Review:
Drawing Number DP40.01	Drawing Package Revision Number A

Legend

property line

setback line

proposed development

permit proposed scope

private deciduous tree - to be removed

private coniferous tree - to be removed

deciduous tree - to remain

coniferous tree - to remain

where a setback area shares a property line with an LRT corridor, street or parcel designated as a residential district, the setback area must provide a minimum of: (a) 1.0 trees and 2.0 shrubs for every 30.0 square metres

where a setback area shares a property line with a lane or parcel designated as a commercial, industrial or special purpose district, the setback area must provide a minimum of: (a) 1.0 trees and 2.0 shrubs for every 45.0 square metres; or

islands provided in the parking area must: (d) provide a minimum of 1.0 trees and 2.0 shrubs; and

total trees provided both within and outside setback areas = 59
total shrubs provided both within and outside setback areas = 194

deciduous trees must have a minimum caliper of 50 millimetres and at least 50.0 per cent of the provided deciduous trees must have a minimum caliper of 75 millimetres at the time of planting.

coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must have a minimum height of 3.0 metres at the time of planting.

south setback area = 826 m² / 30 m² = 28 trees and 56 shrubs

east setback area = 67 m² / 45 m² = 2 trees and 4 shrubs

29 parking islands: 29 trees and 58 shrubs

50mm caliper deciduous trees (41 x 0.50) = 18
75mm caliper deciduous trees (41 x 0.50) = 19
2m height coniferous trees (20 x 0.50) = 10
3m height coniferous trees (20 x 0.50) = 10

28 trees and 56 shrubs provided within the south setback area

2 trees and 12 shrubs provided adjacent to east setback area - the setback area is too limited for planting in the setback proper

24 trees and 121 shrubs provided within the parking lot islands, parking island planting limited due to gas line, refer to DP-L2

50mm caliper deciduous trees = 17
75mm caliper deciduous trees = 18
2m height coniferous trees = 10
3m height coniferous trees = 10

General Notes

1. site plan prepared using information provided by GGA-Architecture on February 17th, 2026

2. contractor is responsible for locating utilities and protecting same from damage during construction, contact Utility Safety Partners at 1-800-242-3447, commencement of work indicates completion of utility locates

3. all drawings are property of landscape architect, site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative

4. if discrepancies exist between drawings, the largest scale shall be taken as correct, final interpretation belongs to the landscape architect

5. contractor to coordinate and attend all inspections and approvals required by the owner

6. all drawings are metric unless otherwise noted

7. all layouts shall be approved on site by landscape architect prior to construction, contractor to notify owner's representative minimum 72 hours prior

8. contractor shall refer to related disciplines as indicated on plan's where applicable

9. all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o.

10. disturbance outside limit of construction line to repaired to the satisfaction of the owner's representative

11. refer to civil engineering drawings for grading information.

Irrigation Note

1. All soft surfaced landscaped areas must be irrigated by an underground irrigation system.

1 Context Plan
DP-L1 Scale 1:1500

2 Bylaw and Tree Removal Plan
DP-L1 Scale 1:250

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groundcubed

1. Issued for Development Permit

No. / Description

2026-02-24

Date (YYYY-MM-DD)

Issued For / Revisions

Project

Project Number: 26.0301

St. Mary's Athletic Facility

14500 BANNISTER RD SE, CALGARY, AB

Legal Description

BLOCK 2; PLAN 3677JK

Building Permit No.

Development Permit No.

DSSP No.

350,140-10 Ave SE

Calgary, Alberta.

T2G 0R1

Ph: 403.233.2000

GGA-ARCHITECTURE

Fax: 403.264.2077

Drawing Title

Context Plan & Bylaw and Tree Removal Plan

Drawn by:

JK

Scale

as shown

Reviewed by:

EB

Date (YYYY-MM-DD)

2026-02-24

Manager:

JS

Tech Review:

2026-02-24

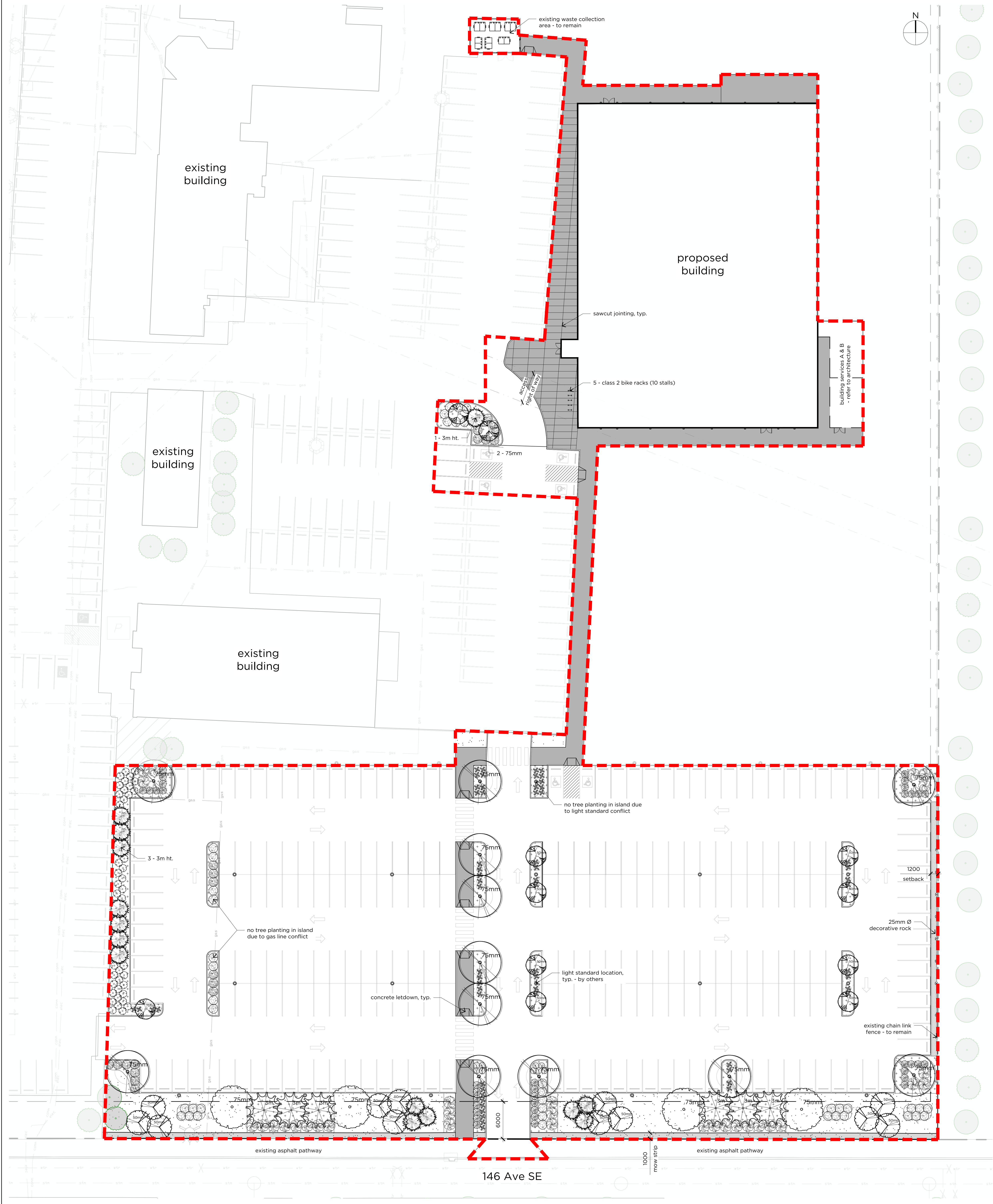
Drawing Number

DP-L1

Drawing Package

Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION



Utility and Linetype Legend

symbol	description
---	property line
---	setback line
---	proposed development
---	permit proposed scope
---	water line - refer to civil
---	storm line - refer to civil
---	electrical line - refer to civil
---	gas line - refer to civil
---	communication line - refer to civil

Plant List for Trees

number	symbol	description
58		
12		deciduous trees - caliper as noted on plans • brandon elm <i>ulmus americana 'brandon'</i>
4		• redmond linden <i>tilia americana 'redmond'</i>
12		• amur maple <i>acer ginnala</i>
11		• snowbird hawthorn <i>crataegus x mordensis 'snowbird'</i>
6		coniferous trees - height as noted on plans • french blue scotch pine <i>pinus sylvestris 'french blue'</i>
14		• white spruce <i>picea glauca</i>

Landscape Legend

symbol	description
	100mm depth concrete c/w broom finish
	sod on 300mm depth topsoil
	75mm depth coniferous bark mulch

Plant List for Shrubs

number	symbol	description
194		
31		• saskatoon <i>amelanchier alnifolia</i>
39		• siberian coral dogwood <i>cornus alba 'sibirica'</i>
20		• rose glow barberry <i>berberis thunbergii 'rose glow'</i>
35		• slowmound mugo pine <i>pinus mugo 'slowmound'</i>
9		• autumn magic black chokecherry <i>pinus mugo 'columnaris'</i>
60		• goldflame spirea <i>spirea x bumalda 'goldflame'</i>

Plant List for Perennials

number	symbol	description
41		• flame grass <i>miscanthus sinensis 'purpurascens'</i>

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2026-02-24

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BLOCK 2; PLAN 3677JK

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DSP No.

GGA-ARCHITECTURE

350,140-10 Ave SE

Calgary, Alberta.

T2G 0R1

Ph: 403.233.2000

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Drawing Title

Landscape Plan

Drawn by: JK

Reviewed by: EB

Manager: JS

Tech Review:

Scale: as shown

Date (YYYY-MM-DD): 2026-02-24

Drawing Number

DP-L2

Drawing Package

Revision Number