

ST. MARY'S UNIVERSITY ATHLETIC FACILITY



STRUCTURAL

CIVIL

LANDSCAPE

MECHANICAL & ELECTRICAL

ENTUITIVE

WATT
Consulting Group

groundcubed
calgary | edmonton | saskatoon

Smith + Andersen

ISSUED FOR: DETAILED REVIEW (DR-1)
2026-06-17

AMENDED DRAWINGS
DP No Date Received
DP2026-01030 2026-06-17
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DRAWING INDEX

ARCHITECTURE

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DP10.02	EXISTING SITE PLAN
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DP40.01	BUILDING ELEVATIONS
DP50.01	BUILDING SECTIONS

LANDSCAPE

DP-L1	CONTEXT PLAN
DP-L2	LANDSCAPE PLAN

CIVIL

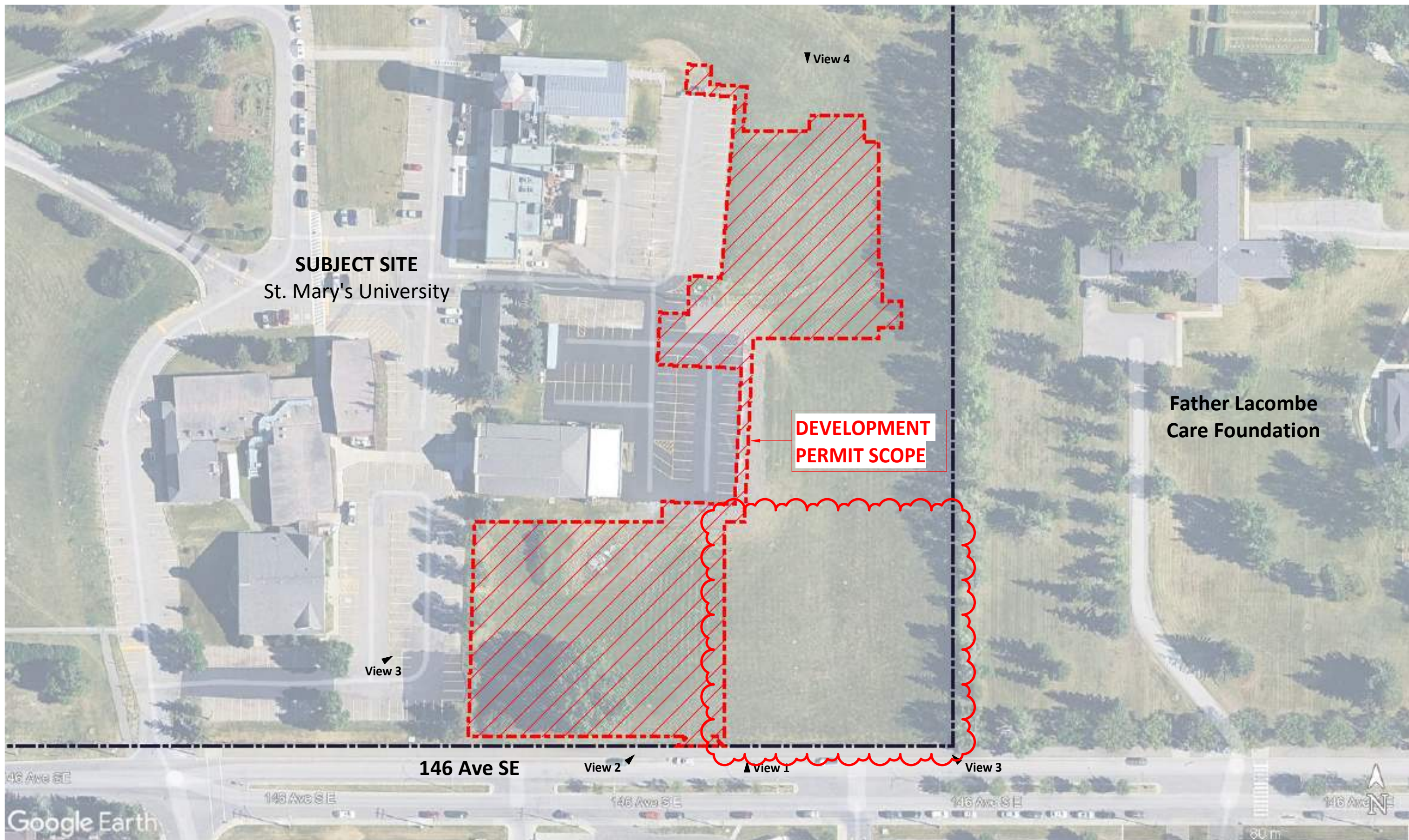
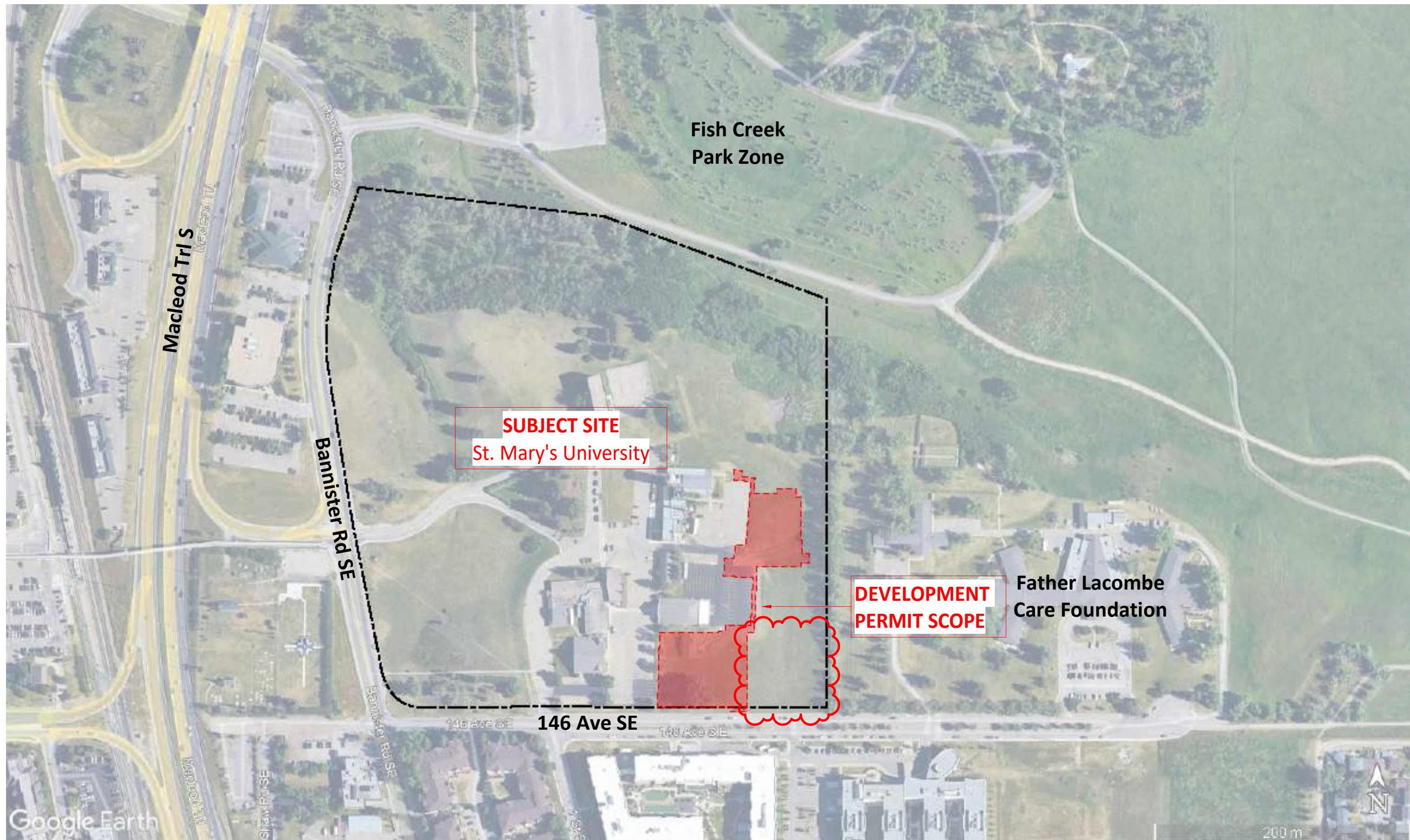
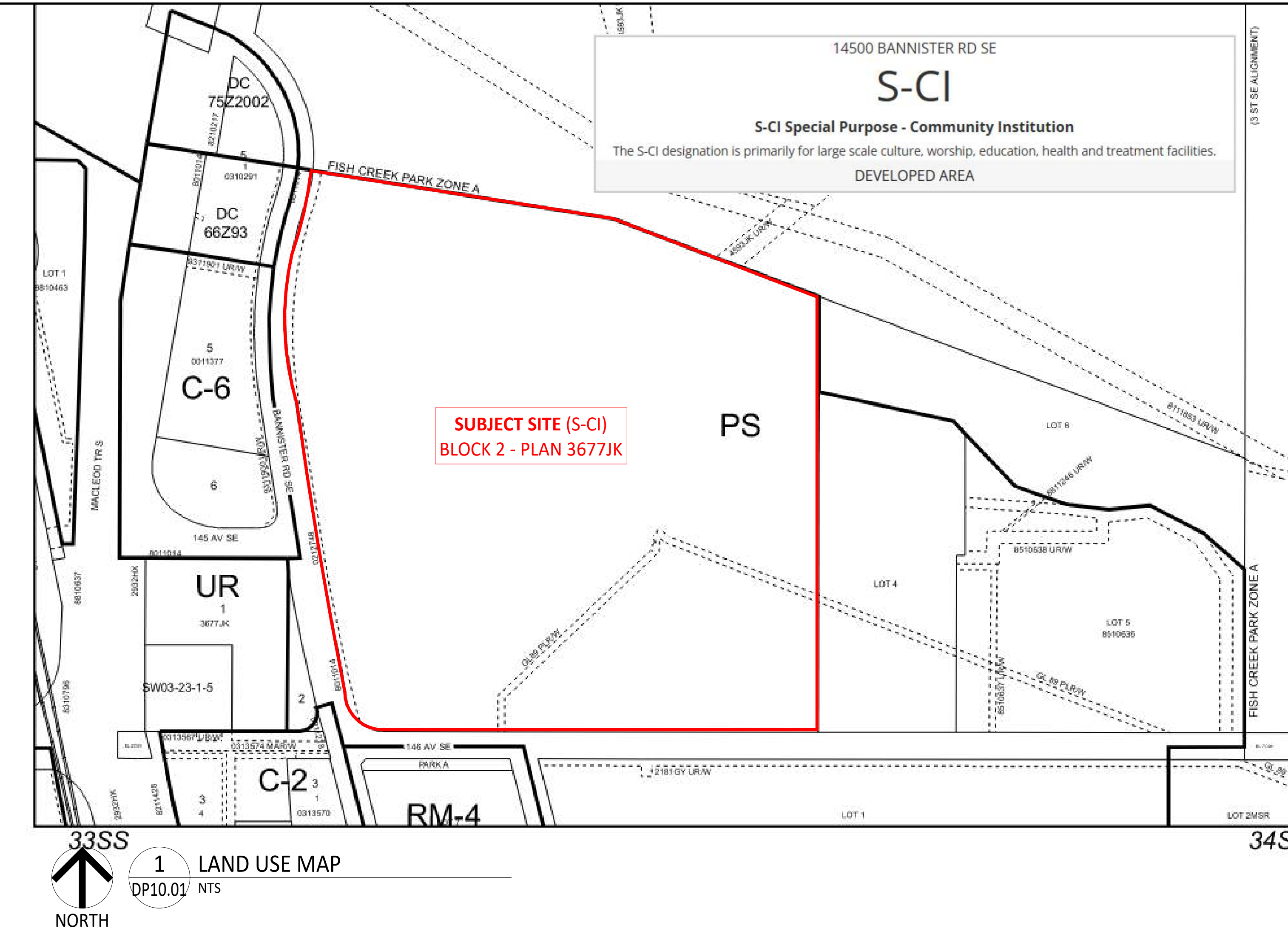
C01	SITE SERVICING PLAN
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ELECTRICAL

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DPE0.1	ELECTRICAL LEGENDS
DPE1.0	SITE PLAN
DPE1.1	PHOTOMETRIC CALCULATIONS
DPE2.0	ELECTRICAL SCHEDULES

GGA-ARCHITECTURE
350 140 10 Avenue SE Calgary, AB. T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077

PROJECT NAME: St. Mary's University
DEVELOPMENT PERMIT: 25069
PROJECT ADDRESS: 14500 BANNISTER RD SE, CALGARY, AB
PROJECT NUMBER: 25069
Autodesk Docs: 125000 - St. Mary's Athletic Gym/25008_STMAY_ATHLETIC_GYM_ARCH.rvt
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2024 Rev 01 (2024-01-01)



1- SOUTH VIEW (FROM 146 AVE SE)



2- SOUTHWEST VIEW



3- SOUTHEAST VIEW



4- NORTH VIEW

PROPERTY DESCRIPTION & ZONING

MUNICIPAL ADDRESS	14500 BANNISTER RD SE
LEGAL DESCRIPTION	PLAN 3677JK; BLOCK 2
LAND USE	S-CI Special Purpose - Community Institution * The S-CI designation is primarily for large scale culture, worship, education, health and treatment facilities.

SITE ANALYSIS

SUBJECT PARCEL AREA	139,846.5 m ² / ±13.98ha [±34.56ac]
DP SCOPE AREA	8,084.0 m ² / ±0.81ha [±2.00ac]
GROSS FLOOR AREA	2,135.0 m ² G.F.A. / SITE AREA 2,135.0 m ² / 139,846.5 m ² 0.015
F.A.R.	0.015
BUILDING FOOTPRINT	2,135.0 m ²
SITE COVERAGE	1.53%
BUILDING SETBACKS	FRONT 6.0 m SIDE 1.2 m REAR 1.2m

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PARKING REQUIREMENTS

GROUP B (INDOOR RECREATION FACILITY) 4.0 motor vehicle parking stalls per 100.0 m² of gross usable floor area.

REQUIRED VEHICLE PARKING	2,135.0 m ² / 100.0 m ² = 21.35 x 4.0 STALLS = 86 STALLS
REQUIRED BF STALLS	6 STALLS
EXISTING PARKING COUNT	384 STALLS (- 5 STALLS TO BE CONVERTED TO BF STALLS)

EXISTING PARKING TO REMAIN	379 STALLS
PROVIDED VEHICLE PARKING	+ 117 STALLS
PROVIDED BF STALLS	+ 6 STALLS
TOTAL PROVIDED PARKING	+ 123 STALLS
ON-SITE PARKING SUMMARY	502 STALLS

CLASS 2 (INDOOR RECREATION FACILITY) requires a minimum of 0.5 bicycle class 2 stalls per 100.0 m² of gross usable floor area.

REQUIRED CLASS 2 STALLS	2,135.0 m ² / 100.0 m ² = 21.35 x 0.5 STALLS = 10.67 CLASS 2 STALLS REQUIRED
PROVIDED CLASS 2 STALLS	12 STALLS

WASTE COLLECTION

Every 1000 m2 of the development producing a minimum of 3 m3 of combined waste in an average week.

ANTICIPATED VOLUME	2,135.0 m ² / 1000.0 m ² = 2.13 x 3.0 m ³ = 6.4 m ³ / 8.37 yd ³
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PROVIDED	6.9 m ³ / 9.0 yd ³
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Existing waste collection area to remain; Private collection; Waste operations managed by facility operator, with multiple pick-ups per week.

*A letter from current waste operator has been included in the DR-1 response.

NOTES:
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H	DR-1	2026-06-17
B	30% REVIEW	2026-03-31
A	DEVELOPMENT PERMIT	2026-02-24
No.	Description	Date (YYYY-MM-DD)

Issued For / Revisions

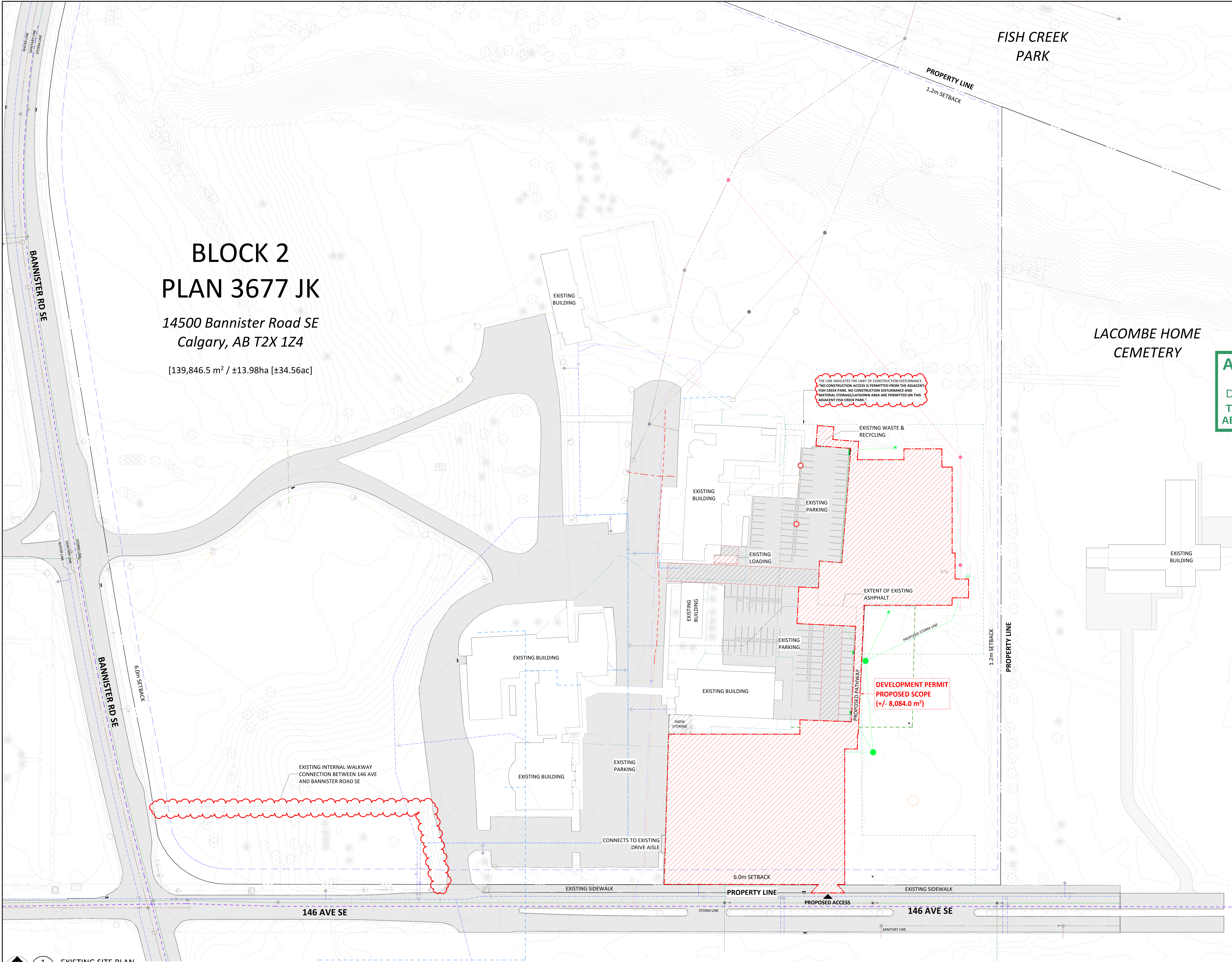
Project	Project Number: 25069
St. Mary's University	
14500 BANNISTER RD SE, CALGARY, AB	
Legal Description	Building Permit No.
Development Permit No.	DSSP No.

GGA-ARCHITECTURE
350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.2077

Drawing Title
CONTEXT PLAN & PROJECT STATISTICS

Drawn by:	Scale
Reviewed by:	
Manager:	Date (YYYY-MM-DD)
Peer Review:	2026-06-17

Drawing Number	Revision Number
DP10.01	H



BLOCK 2 PLAN 3677 JK

14500 Bannister Road SE
Calgary, AB T2X 1Z4

[139,846.5 m² / ±13.98ha [±34.56ac]

FISH CREEK
PARK

LACOMBE HOME
CEMETERY

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- NOTES:
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SITE LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED SCOPE OF DP

SURVEY LEGEND

- GAS LINE
- SANITARY LINE
- WATER LINE
- STORM LINE
- ELECTRICAL LINE
- COMMUNICATION LINE
- ELECTRICAL POWER POLE
- LIGHT POST

*Site servicing information is shown for reference only. Refer to Civil drawings for detailed site servicing information.

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A	DEVELOPMENT PERMIT	2026-02-24
No.	Description	Date (YYYY-MM-DD)

Issued For / Revisions

Project	Project Number: 25069
St. Mary's University	

14500 BANNISTER RD SE, CALGARY, AB	Building Permit No.
BLOCK 2; PLAN 3677JK	DSSP No.
Development Permit No.	

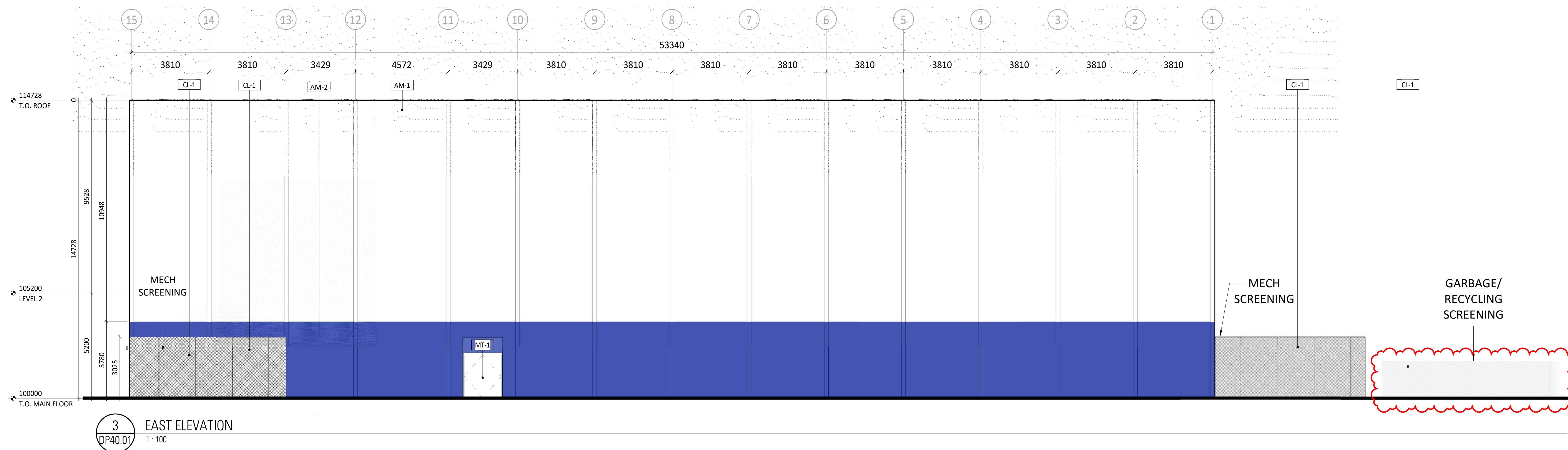
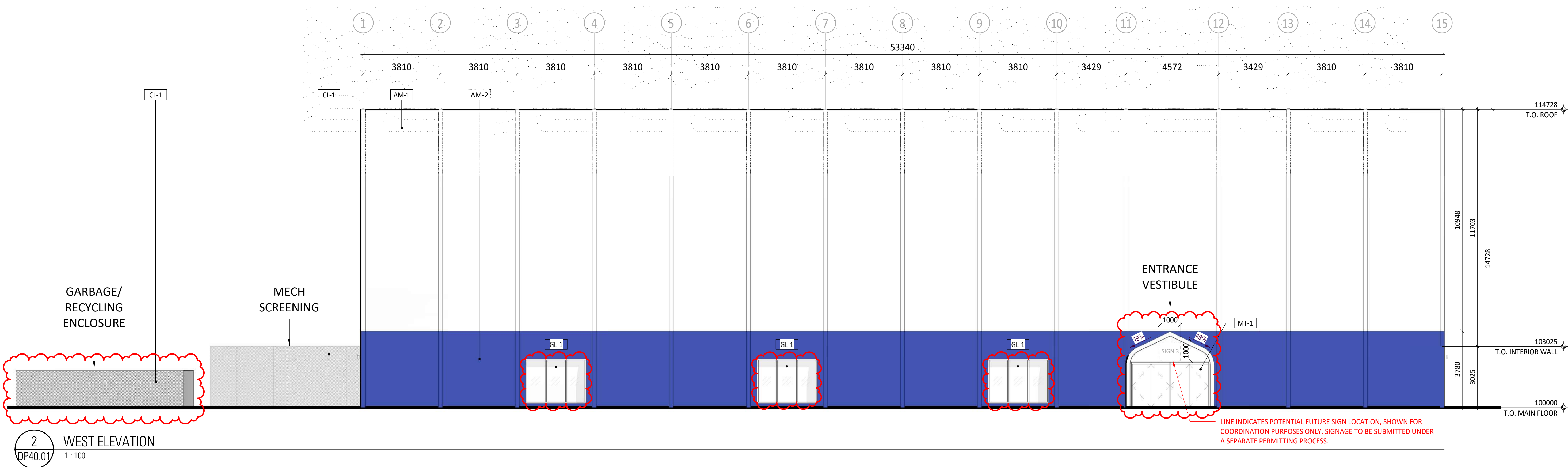
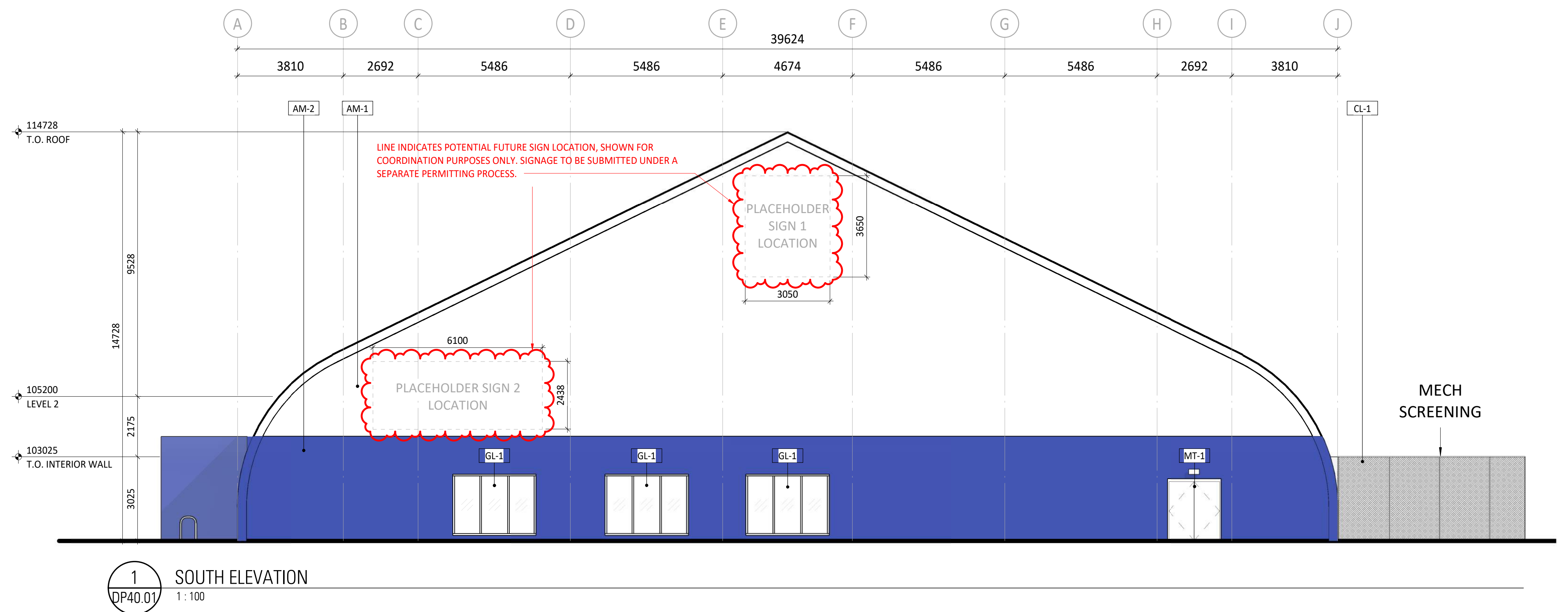
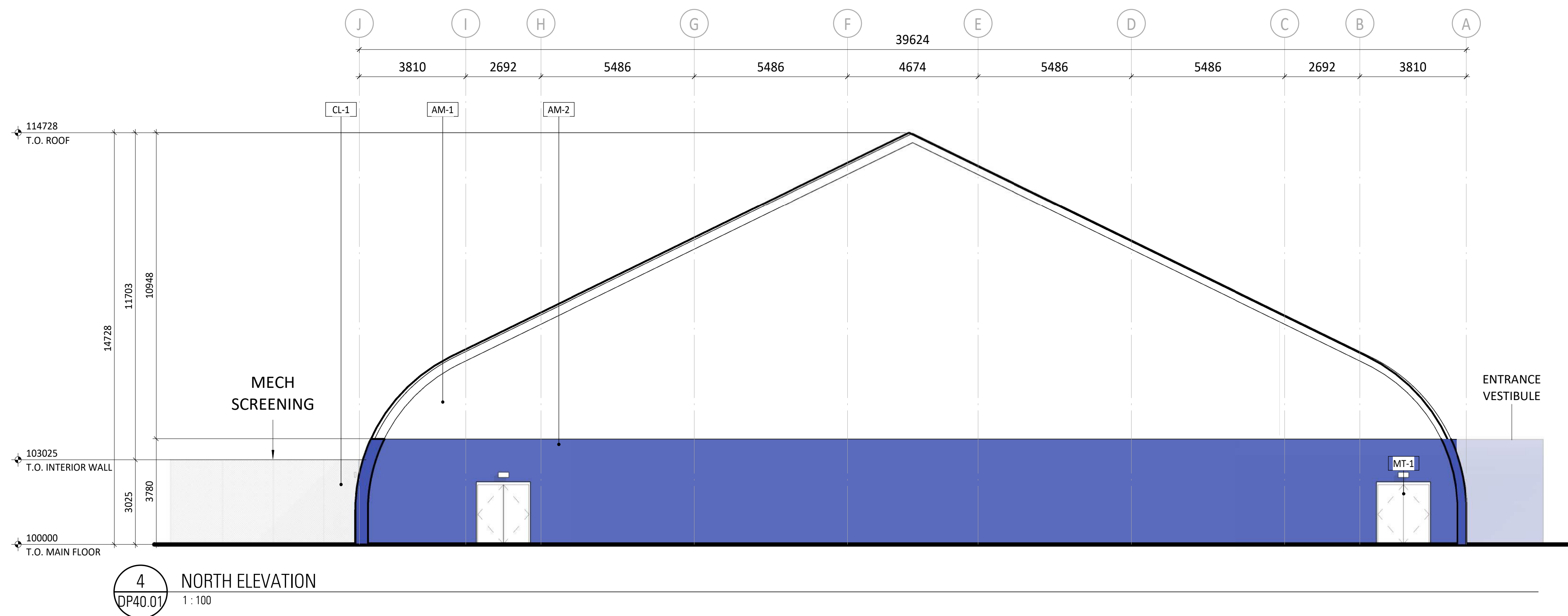
350,140-10 Ave SE
Calgary, Alberta,
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
EXISTING SITE PLAN

Drawn by: Author	Scale 1:500
Reviewed by:	Date (YYYY-MM-DD) 2026-06-17
Manager:	Peer Review:

Drawing Number DP10.02	Drawing Package Revision Number H
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NOTES:
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MATERIALS

- AM-1 ARCHITECTURAL MEMBRANE - WHITE
AM-2 ARCHITECTURAL MEMBRANE - BLUE
AP-1 ALUMINUM METAL PANEL
MT-1 PAINTED METAL - DOOR
GL-1 WINDOW GLAZING

CL-1 CHAIN-LINK FENCE WITH SLATS

H	DR-1	2026-06-17
B	30% REVIEW	2026-03-31
A	DEVELOPMENT PERMIT	2026-02-24

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project St. Mary's University Project Number: 25069

14500 BANNISTER RD SE, CALGARY, AB
BLOCK 2, PLAN 3677JK Building Permit No.
Development Permit No. D5SP No.

GGA-ARCHITECTURE 350,140-10 Ave SE
Calgary, Alberta, T2G 0R1
Ph: 403.233.2000 Fax: 403.264.2077

Drawing Title EXTERIOR ELEVATIONS

Drawn by: Author Scale 1:100
Reviewed by: Manager Date (YYYY-MM-DD) 2026-06-17
Peer Review:

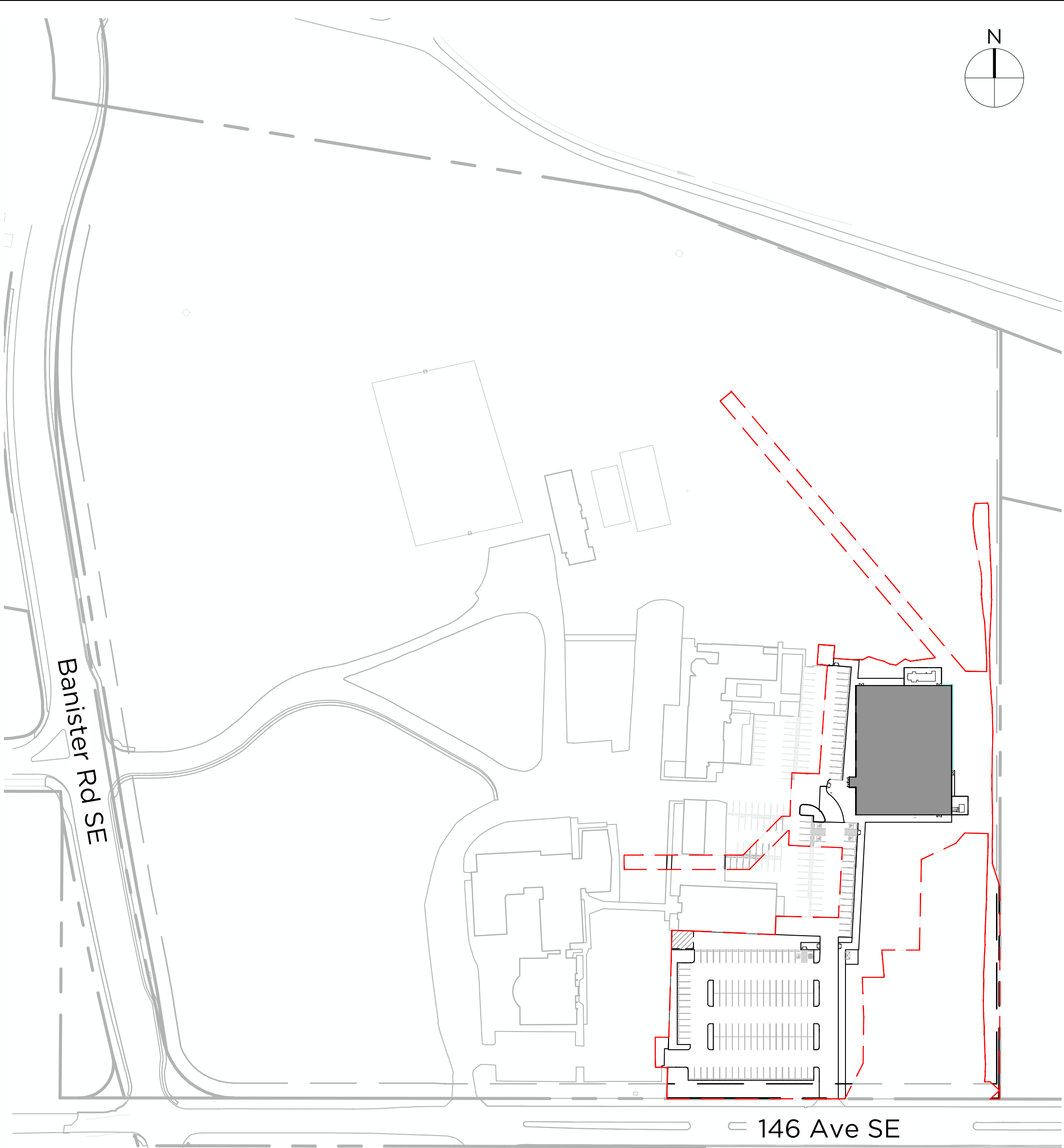
Drawing Number DP40.01 Drawing Package Revision Number H

Symbol	Description
	property line
	setback line
	limit of disturbance - refer to civil
	private deciduous tree - to be removed
	private coniferous tree - to be removed
	deciduous tree - to remain
	coniferous tree - to remain

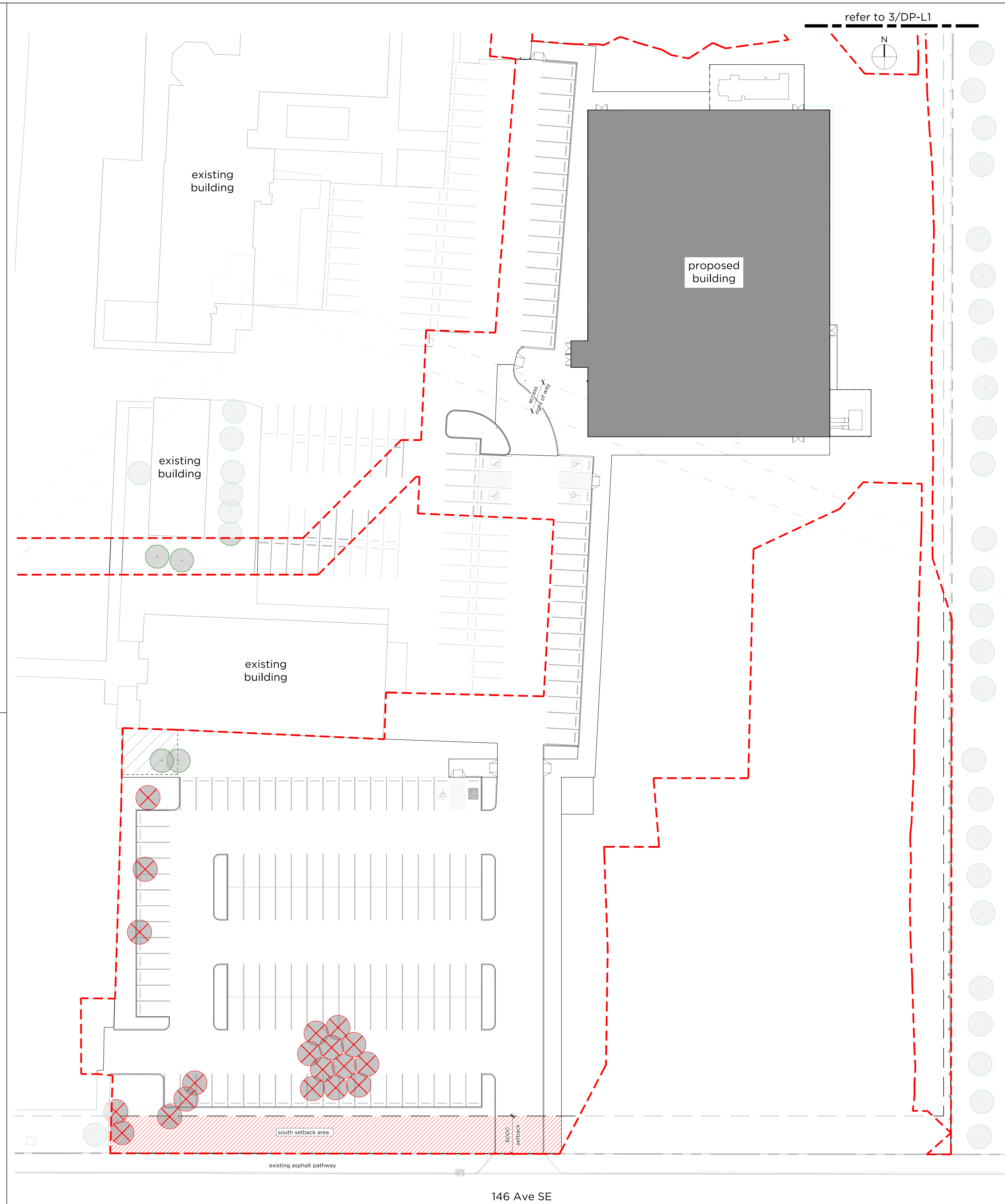
Landscape Bylaw Calculations - City of Calgary Land-Use Bylaw 1P2007 (Zone S-CI)		
standard	required	provided
where a setback area shares a property line with an LRT corridor, street or parcel designated as a residential district, the setback area must provide a minimum of: (a) 1.0 trees and 2.0 shrubs for every 30.0 square metres	south setback area = 458 m² / 30 m² = 16 trees and 32 shrubs	16 trees and 34 shrubs provided within the south setback area
Islands provided in the parking area must: (d) provide a minimum of 1.0 trees and 2.0 shrubs; and	15 parking islands: 15 trees and 30 shrubs	11 trees and 72 shrubs provided within the parking lot islands. parking island planting limited due to gas line, refer to DP-L2
total trees provided both within and outside setback areas = 47 total shrubs provided both within and outside setback areas = 132		
deciduous trees must have a minimum caliper of 50 millimetres and at least 50.0 per cent of the provided deciduous trees must have a minimum caliper of 75 millimetres at the time of planting.	50mm caliper deciduous trees (30 x 0.50) = 15 75mm caliper deciduous trees (30 x 0.50) = 15	50mm caliper deciduous trees = 14 75mm caliper deciduous trees = 16
coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must have a minimum height of 3.0 metres at the time of planting.	2m height coniferous trees (17 x 0.50) = 8.5 3m height coniferous trees (17 x 0.50) = 8.5	2m height coniferous trees = 8 3m height coniferous trees = 9

- General Notes**
- site plan prepared using information provided by GGA-Architecture on June 11th, 2026.
 - contractor is responsible for locating utilities and protecting same from damage during construction. contact Utility Safety Partners at 1-800-242-3447. commencement of work indicates completion of utility locates.
 - all drawings are property of landscape architect. site clean-up is incidental to the work. the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
 - if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect.
 - contractor to coordinate and attend all inspections and approvals required by the owner.
 - all drawings are metric unless otherwise noted.
 - all layouts shall be approved on site by landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
 - contractor shall refer to related disciplines as indicated on plan's where applicable.
 - all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o.
 - disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
 - refer to civil engineering drawings for grading information.

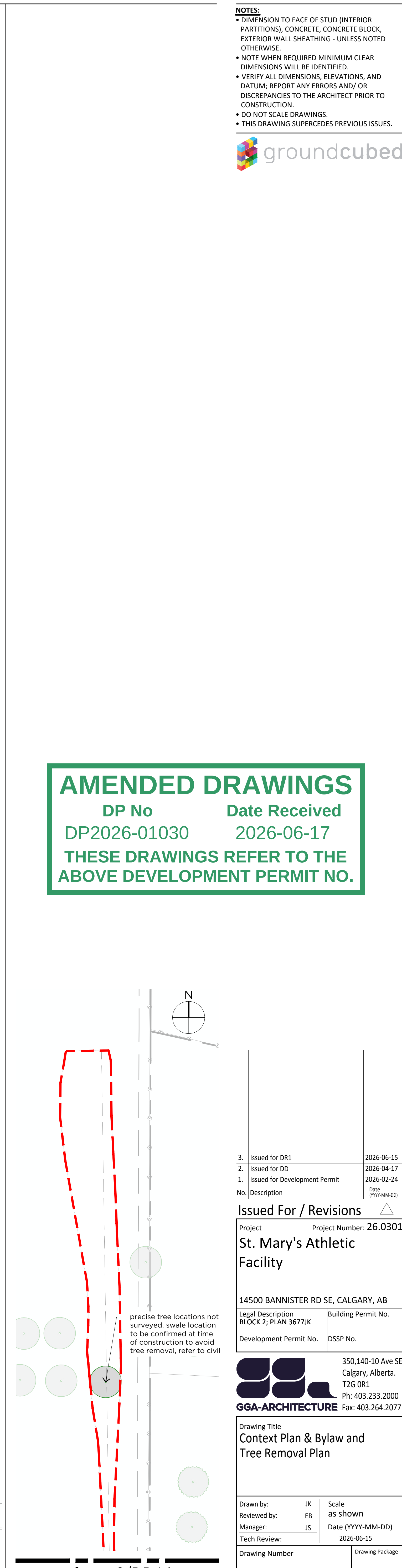
- Irrigation Note**
- All soft surfaced landscaped areas must be irrigated by an underground irrigation system.



1 Context Plan
DP-L1 Scale 1:1500



2 Bylaw and Tree Removal Plan A
DP-L1 Scale 1:250



3 Bylaw and Tree Removal Plan B
DP-L1 Scale 1:250

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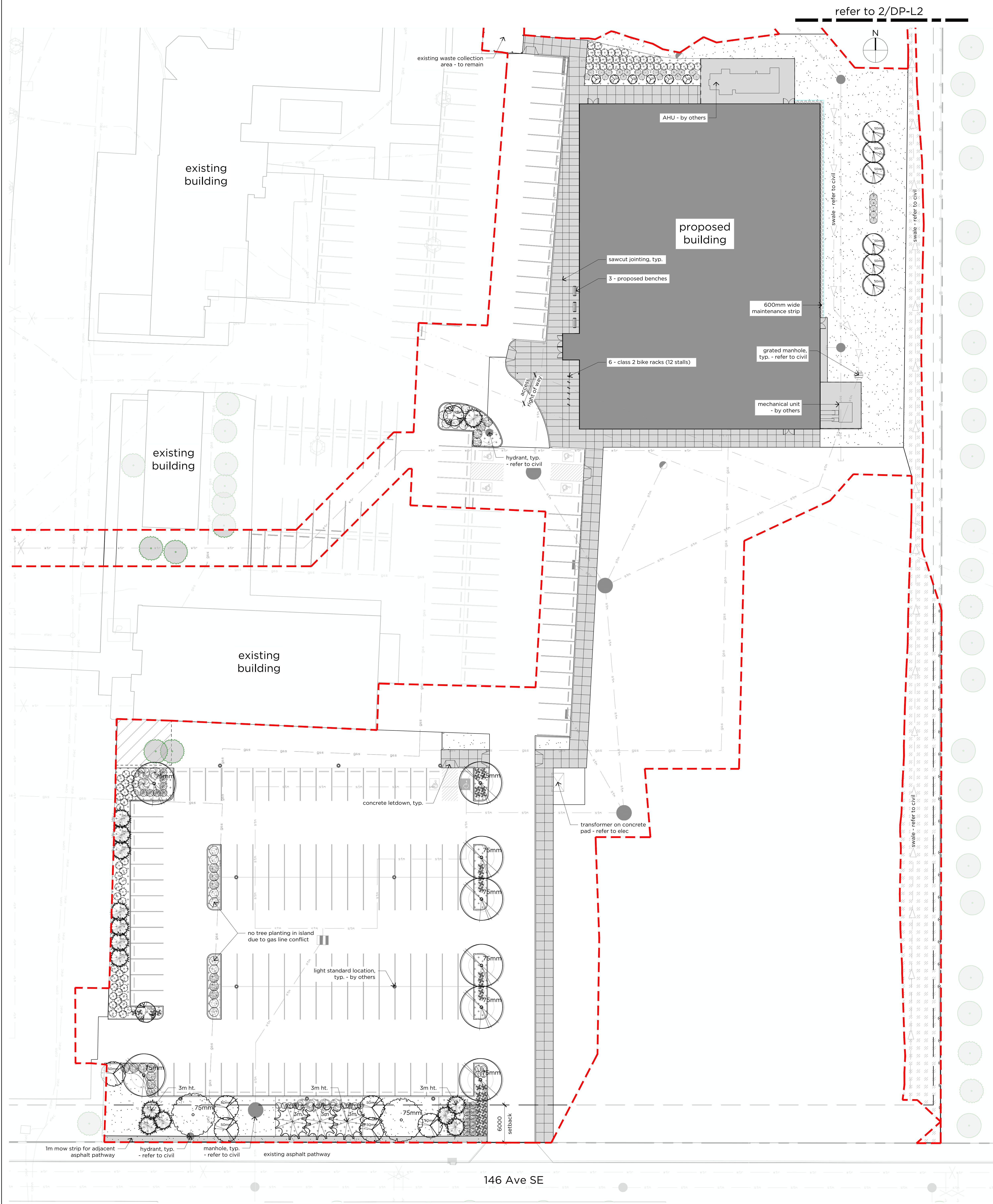
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Issued For / Revisions

No.	Description	Date (YYYY-MM-DD)
3.	Issued for DR1	2026-06-15
2.	Issued for DD	2026-04-17
1.	Issued for Development Permit	2026-02-24

Project: St. Mary's Athletic Facility
Project Number: 26.0301
Legal Description: 14500 BANNISTER RD SE, CALGARY, AB
Block 2; PLAN 3677JK
Building Permit No.:
Development Permit No.: DSSP No.
350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.2077
GGA-ARCHITECTURE
Drawing Title: Context Plan & Bylaw and Tree Removal Plan
Drawn by: JK
Reviewed by: EB
Manager: JS
Tech Review: 2026-06-15
Scale: as shown
Date (YYYY-MM-DD): 2026-06-15
Drawing Number: DP-L1
Drawing Package:
Revision Number:



1 Landscape Plan A
DP-L2 Scale 1:250

refer to 2/DP-L2

Utility and Linetype Legend

symbol	description
	property line
	setback line
	limit of disturbance - refer to civil
	water line - refer to civil
	sanitary line - refer to civil
	storm line - refer to civil
	electrical line - refer to civil
	gas line - refer to civil

Plant List for Trees

number	symbol	description
47		
8		deciduous trees - 75mm caliper • brandon elm ulmus americana 'brandon'
2		• redmond linden tilia americana 'redmond'
6		• trembling aspen populus tremuloides
6		deciduous trees - 50mm caliper • amur maple acer ginnala
2		• snowbird hawthorn crataegus x mordensis 'snowbird'
6		• columnar swedish aspen populus tremula 'erecta'
3		coniferous trees - height as noted on plans • french blue scotch pine pinus sylvestris 'french blue'
14		• white spruce picea glauca

Plant List for Shrubs

number	symbol	description
132		
7		• saskatoon amelanchier alnifolia
15		• siberian coral dogwood cornus alba 'sibirica'
17		• rose glow barberry berberis thunbergii 'rose glow'
17		• slowmound mugo pine pinus mugo 'slowmound'
12		• autumn magic black chokecherry pinus mugo 'columnaris'
40		• goldflame spirea spirea x bumalda 'goldflame'
24		• columnar mugo pine pinus mugo 'columnaris'

shrub notes:
600-90 / Ht
± 900-2000 mature
min. #2 container size

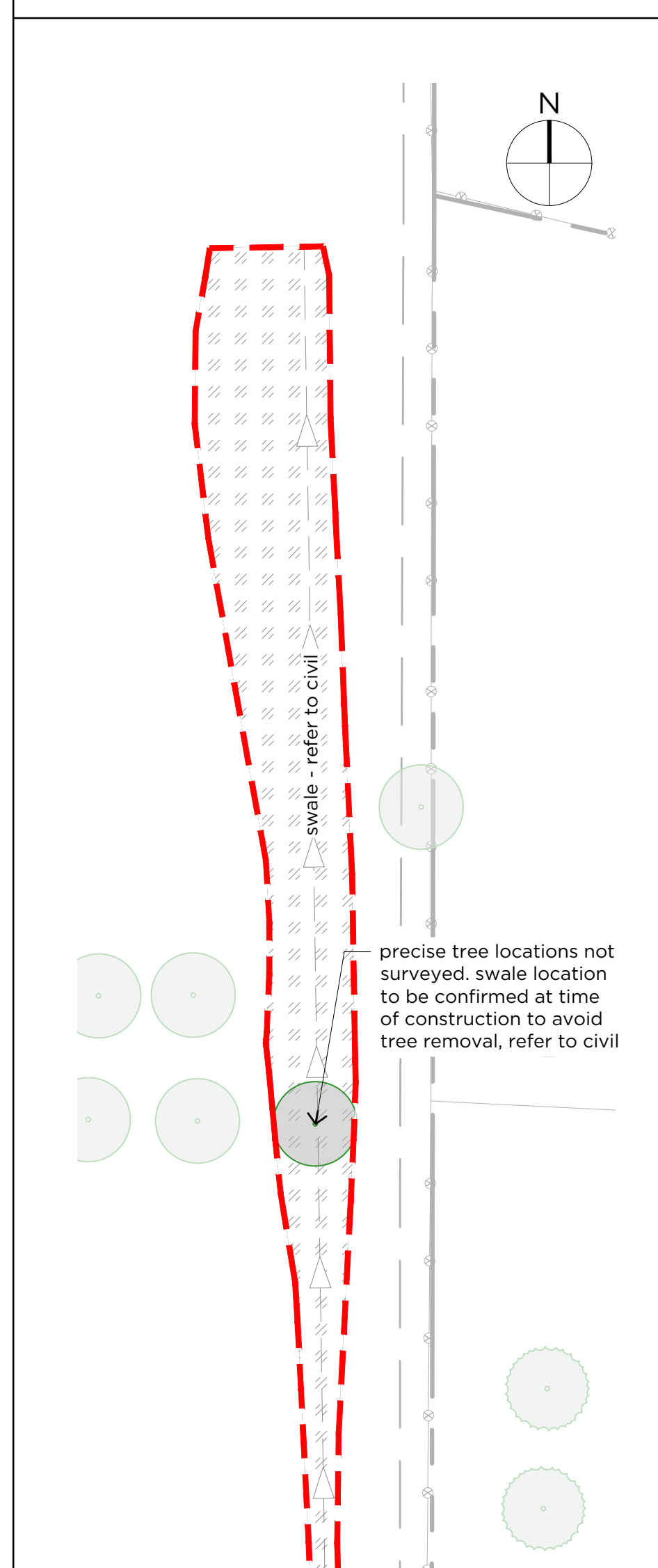
Plant List for Perennials

number	description
77	• flame grass miscanthus sinensis 'purpurascens'

Landscape Legend

symbol	description
	100mm depth concrete c/w broom finish & saw cut joints
	sod on 300mm depth topsoil
	seed on 300mm depth topsoil
	75mm depth coniferous bark mulch

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2 Landscape Plan B
DP-L2 Scale 1:250

refer to 1/DP-L2

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Project Project Number: 26.0301
St. Mary's Athletic Facility

14500 BANNISTER RD SE, CALGARY, AB
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Development Permit No. DSSP No.

350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
Landscape Plan A & B

Drawn by: JK Scale: as shown
Reviewed by: EB
Manager: JS Date (YYYY-MM-DD): 2026-06-15
Tech Review: 2026-06-15

Drawing Number
DP-L2
Drawing Package
Revision Number

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION