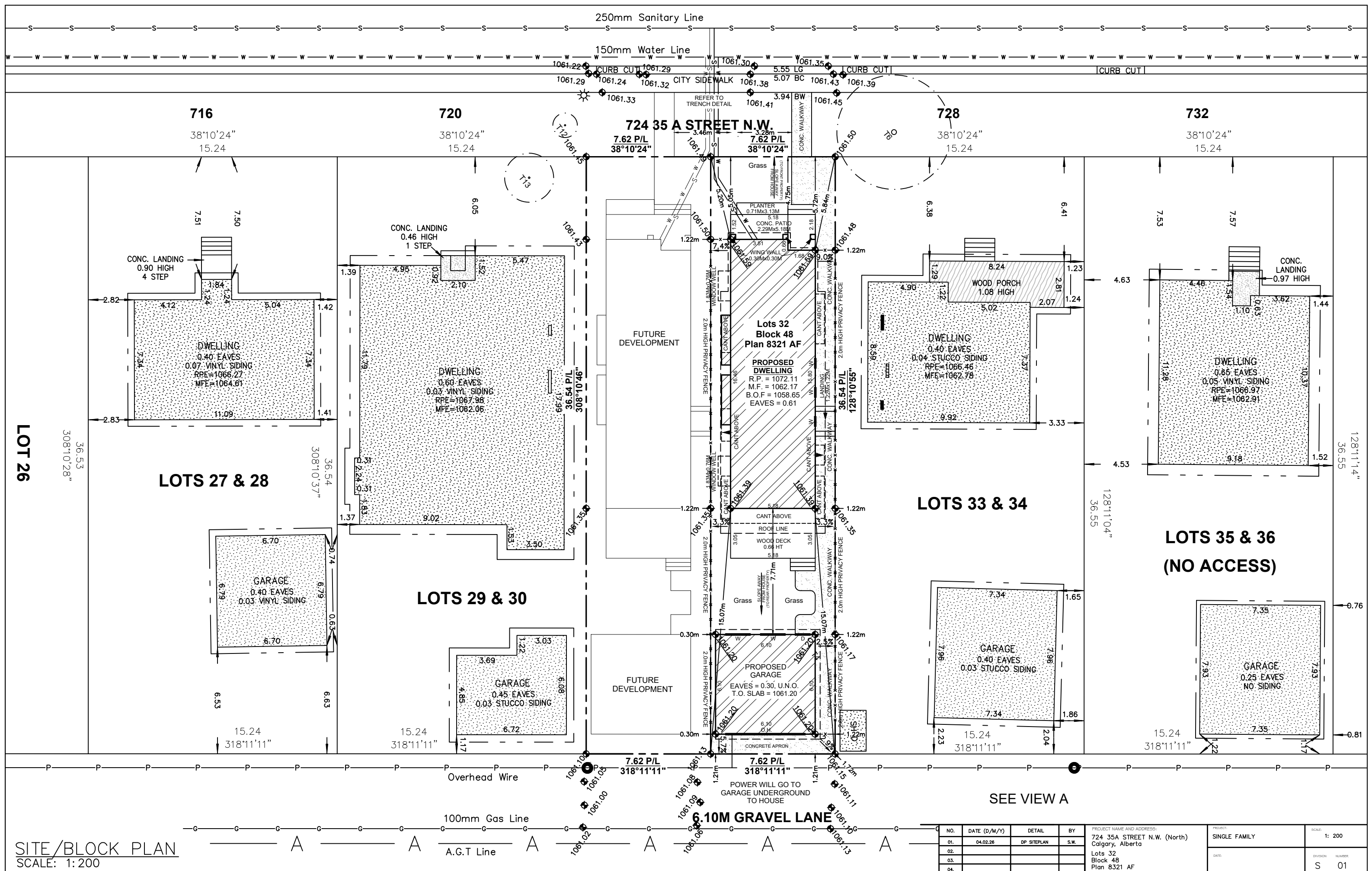
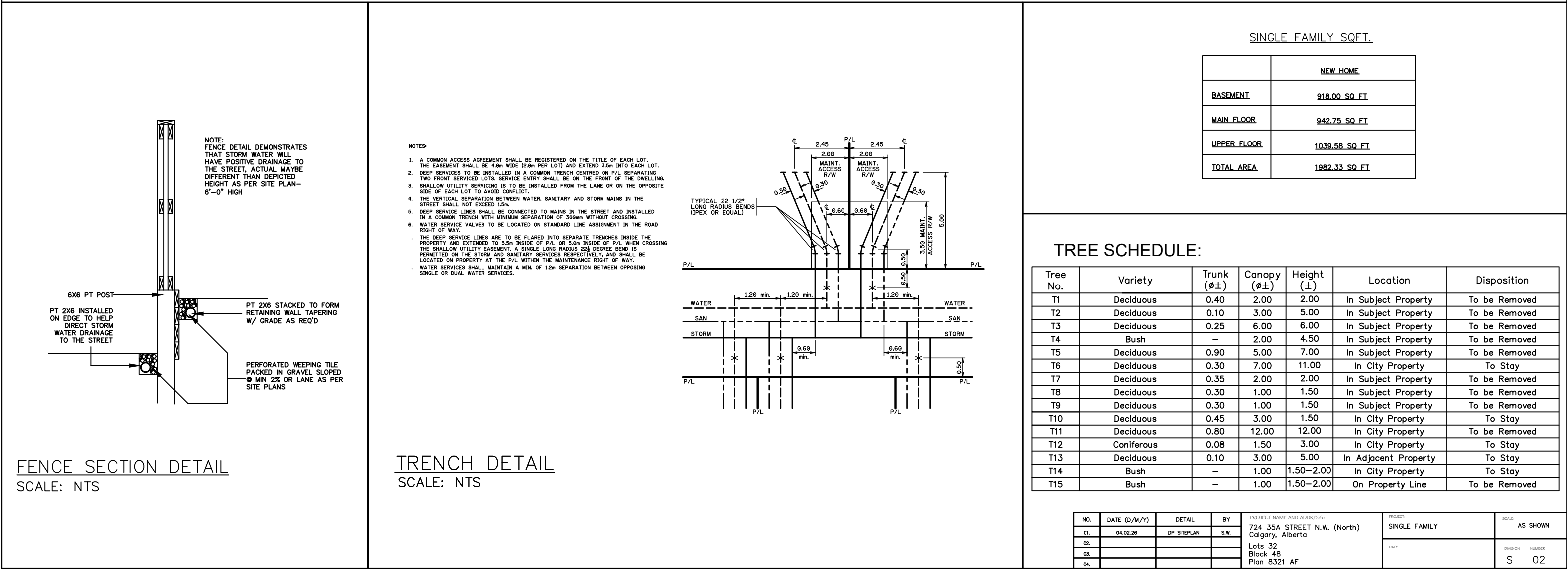
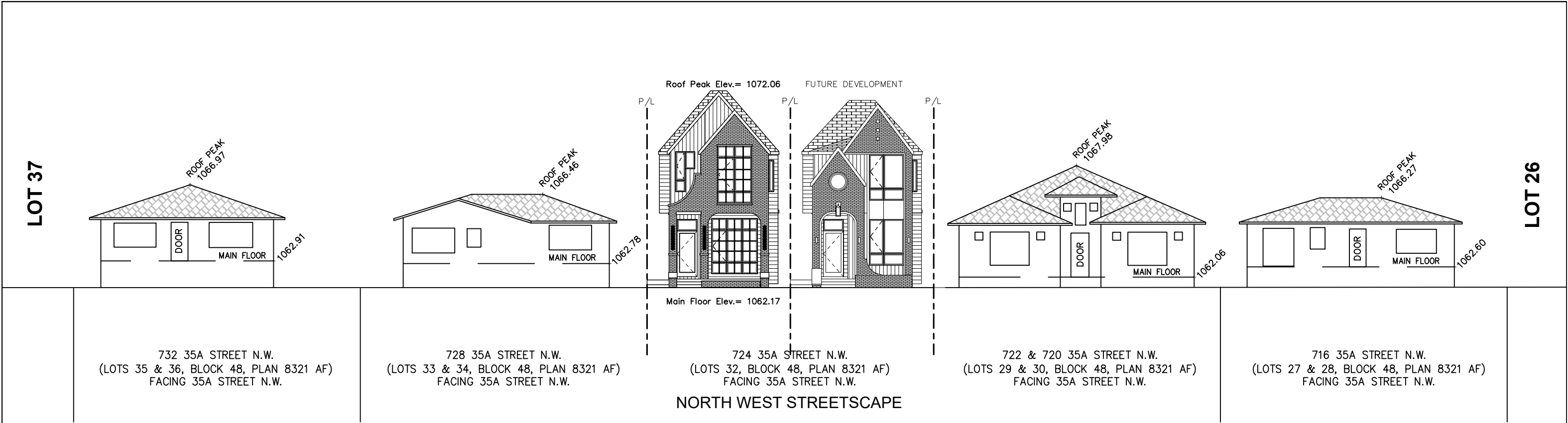








FLOOR AREA

BASEMENT = 918.00 SQ. FT.
MAIN = 942.75 SQ. FT.
UPPER = 1039.58 SQ. FT.
TOTAL = 1982.33 SQ. FT.

PROJECT NOTES:

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CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
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RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
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05.	--	--	--



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PROJECT:
NEW HOME

STATUS: -

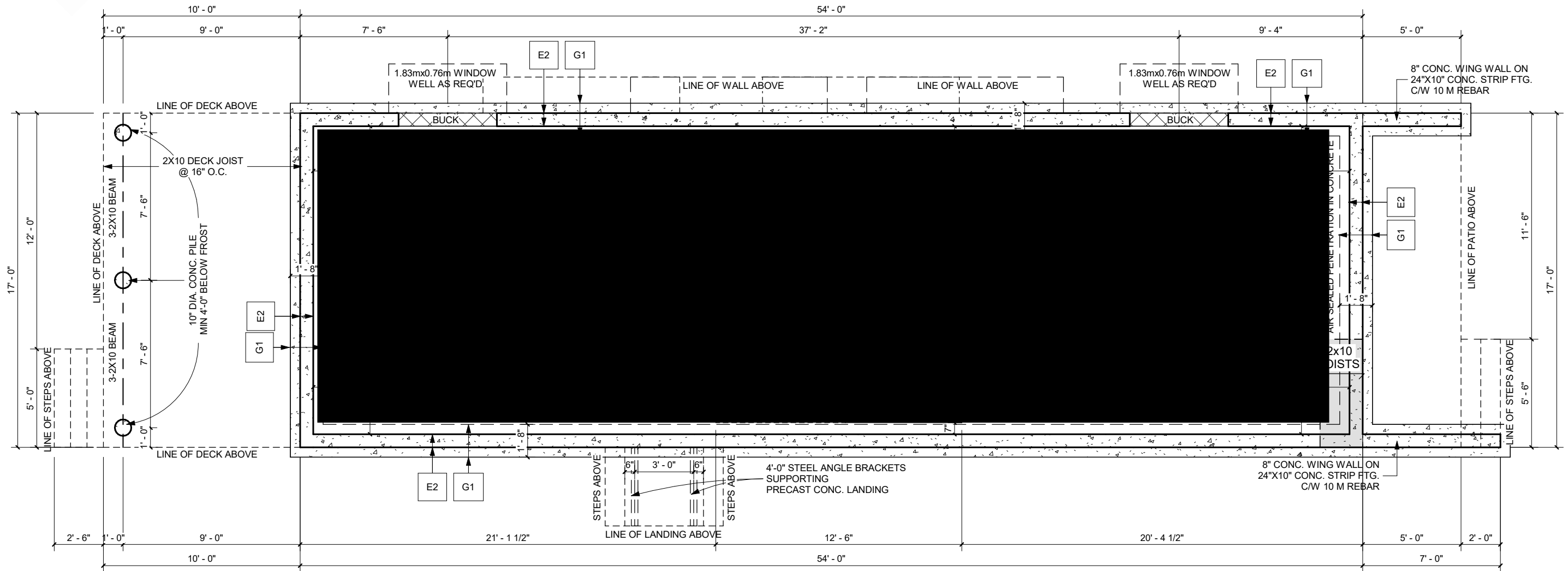
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PRINTED: 2026-02-24 8:21:02 AM

PROJECT NAME:
724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 41 - 26

SCALE: AS SHOWN SHEET: A-0.0



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

(PROPOSED BUILDING WILL BE DESIGNED AS TO PREVENT STRUCTURAL DAMAGE BY FLOOD WATER)

PROJECT NOTES:

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FOR RADON PIPE SIZE:
-THE CODE IS NOT SPECIFIC ON THE TYPE OF PIPE THAT MAY BE USED, ONLY ON THE DIMENSION OF NOT LESS THAN 100mm (4")

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

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PROJECT NAME:

724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

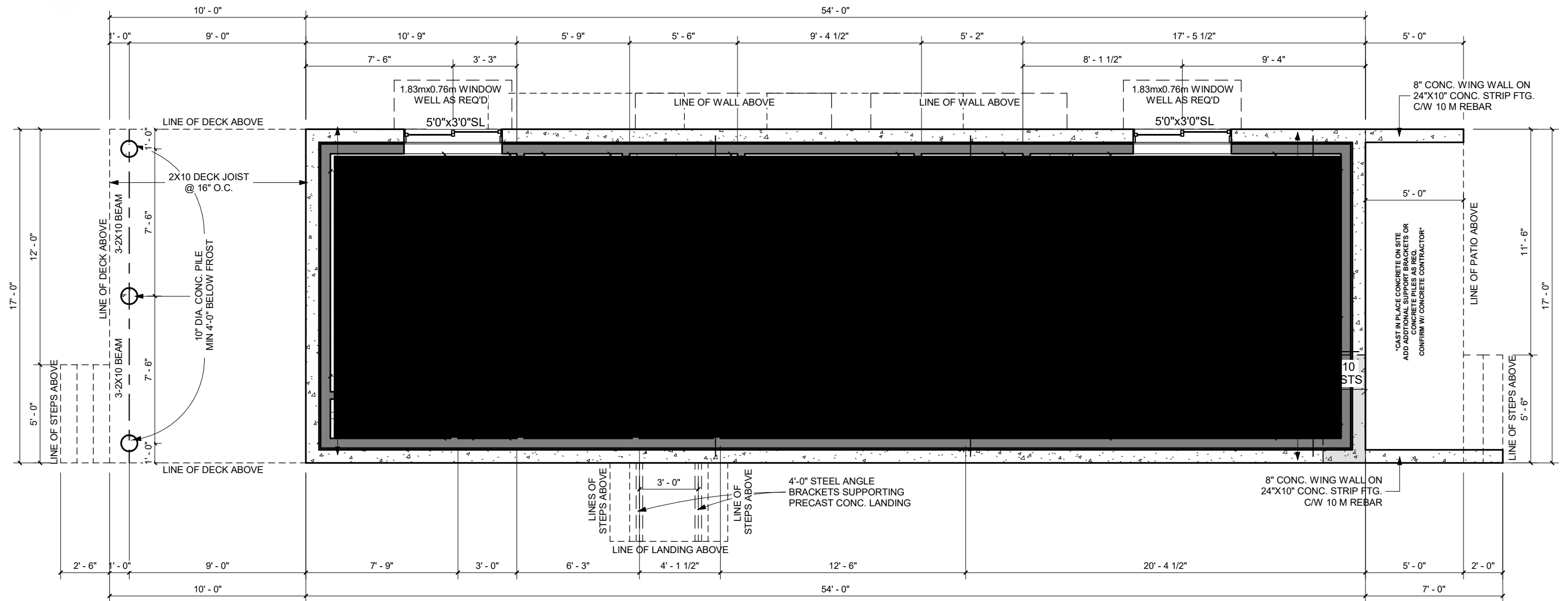
41 - 26

SCALE:

AS SHOWN

SHEET:

A-1.0



9'-0" BASEMENT FLOOR

BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

WITH LIFE BREATH RNC 205 HEAT RECOVERY VENTILATION
(SEE SPEC. FOR DETAILS A-4.3)

- ENSURE HEADROOM AT ELEC. PANEL IS MIN 6'-6" AND HAS 39" CLEARANCE
- EXACT FURNACE & HWT LOCATION & ORIENTATION TO BE DETERMINE BY HEATING CONTRACTOR. RADON PIPING LOCATION TBD ON SITE.
- LENNOX FURNACE WITH AFUE Rating of 95% -98.7%
- BRADFORD WATER HEATER WITH 0.67-0.70 ENERGY STAR RATING AND 70-80 RECOVERY EFFICIENCY

PROJECT NOTES:

BASEMENT FLOOR AREA
TOTAL = 918.00 SQ. FT.

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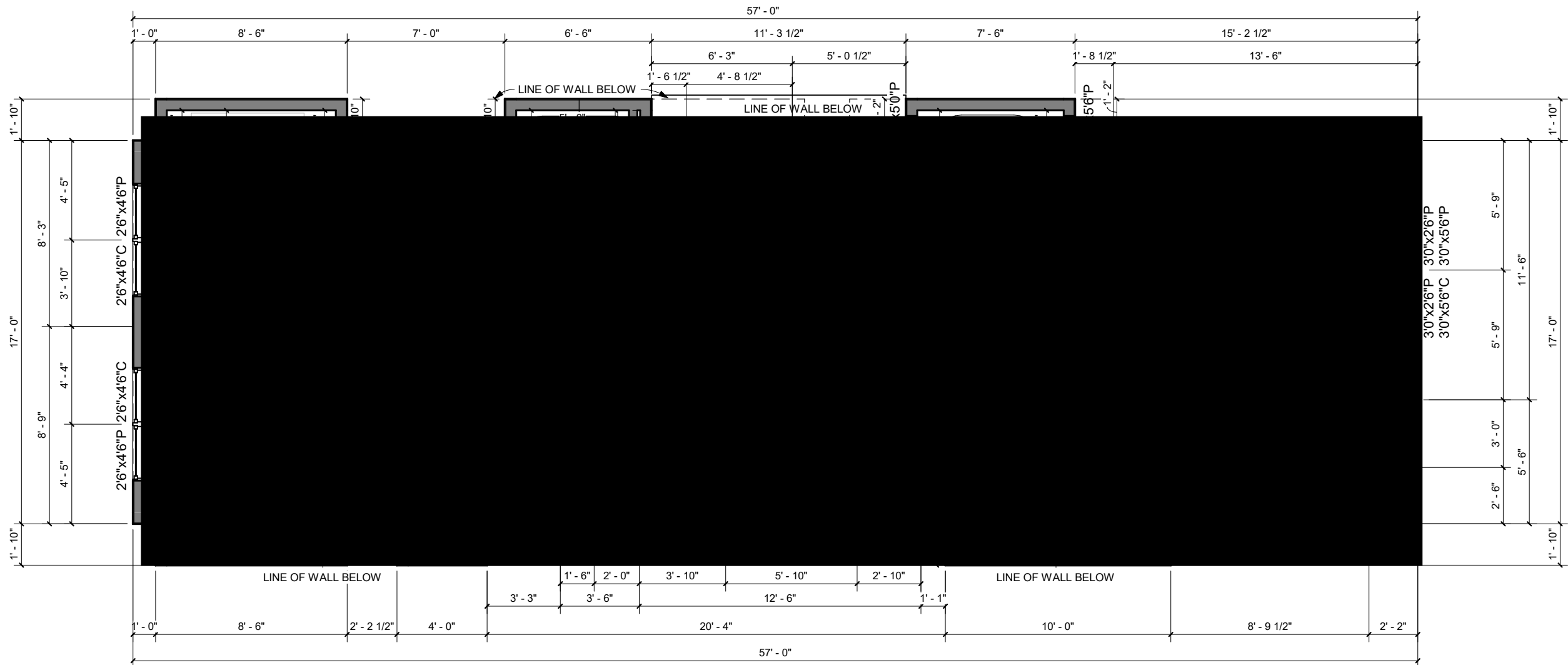
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PROJECT:	NEW HOME
STATUS:	-
SIGNATURES:	X
PRINTED:	2026-02-24 8:21:02 AM



PROJECT NAME:	
724 35A STREET N.W. CALGARY, ALBERTA	
DESIGNER:	JT
JOB #:	41 - 26
SCALE:	AS SHOWN
SHEET:	A-1.1



9'-1 1/8" UPPER FLOOR

UPPER FLOOR PLAN
SCALE: 3/16" = 1'-0"

-ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE
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PROJECT NOTES:

UPPER FLOOR AREA
TOTAL = 1039.58 SQ. FT.

SPRAY FOAM NOTES: CCMC#14140-L
2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS
-FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF
EXT DOOR AND TRANSOM UNLESS NOTED
-ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8
DRYWALL & NON VENTING SOFFIT ON UNDERSIDE, NAILING
PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD-
GALVANISED NAILS TO BE USED

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-02-24 8:21:03 AM



PROJECT NAME:

724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

41 - 26

SCALE:

AS SHOWN

SHEET:

A-1.3

1	ASPHALT SHINGLES	4	VERTICAL HARDIE FINISH - BLACK	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - WHITE		
3	HARDIE FINISH - BLACK	6	CAST-IN-PLACE CONCRETE		

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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ISSUES:

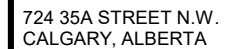
NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/02/2026	DP PLANS	K.G
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03.	--	--	--
04.	--	--	--
05.	--	--	--

NEW HOME

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X

PRINTED: 2026-02-24 8:21:04 AM



DESIGNER:
.IT

JOB #:
41 - 26

SCALE:
AS SHOWN

SHEET:
A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	VERTICAL HARDIE FINISH - BLACK	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - WHITE		
3	HARDIE FINISH - BLACK	6	CAST-IN-PLACE CONCRETE		

WINDOW CALCULATION
WALL AREA = 1279.12 SQ. FT.
WINDOW AREA = 48.81 SQ. FT.
TOTAL: 48.81 / 1279.12 = 3.82%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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02.	--	--	--
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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

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PROJECT NAME:

724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

41 - 26

SCALE:

AS SHOWN

SHEET:

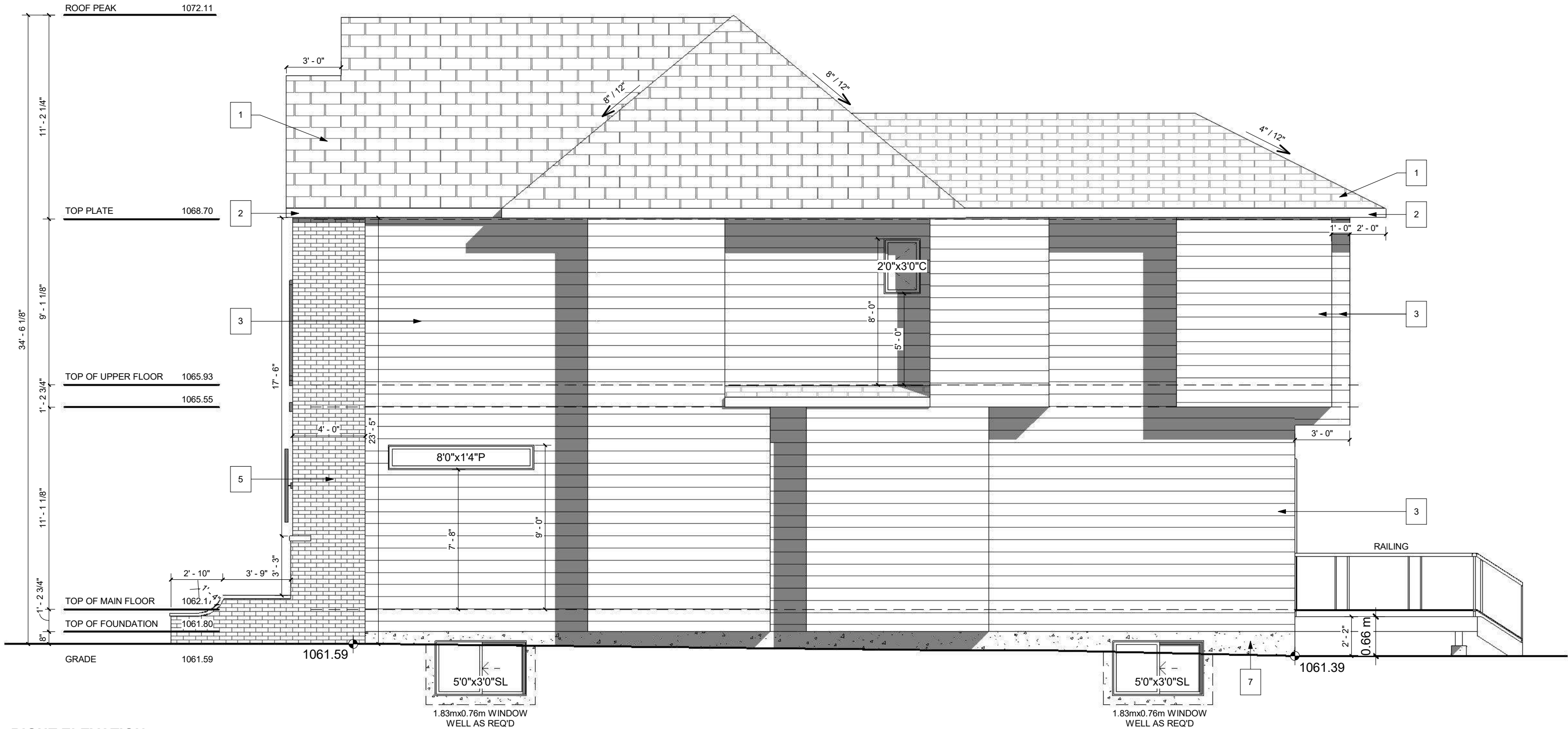
A-2.1

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	VERTICAL HARDIE FINISH - BLACK	7	CONCRETE PARGING
2	6" ALUMNIMUM FASCIA	5	BRICK FINISH - WHITE		
3	HARDIE FINISH - BLACK	6	CAST-IN-PLACE CONCRETE		

WINDOW CALCULATION
WALL AREA = 1307.31 SQ. FT.
WINDOW AREA = 22.81 SQ. FT.
TOTAL: 22.81 / 1307.31 = 1.74%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

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PROJECT NAME:

724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

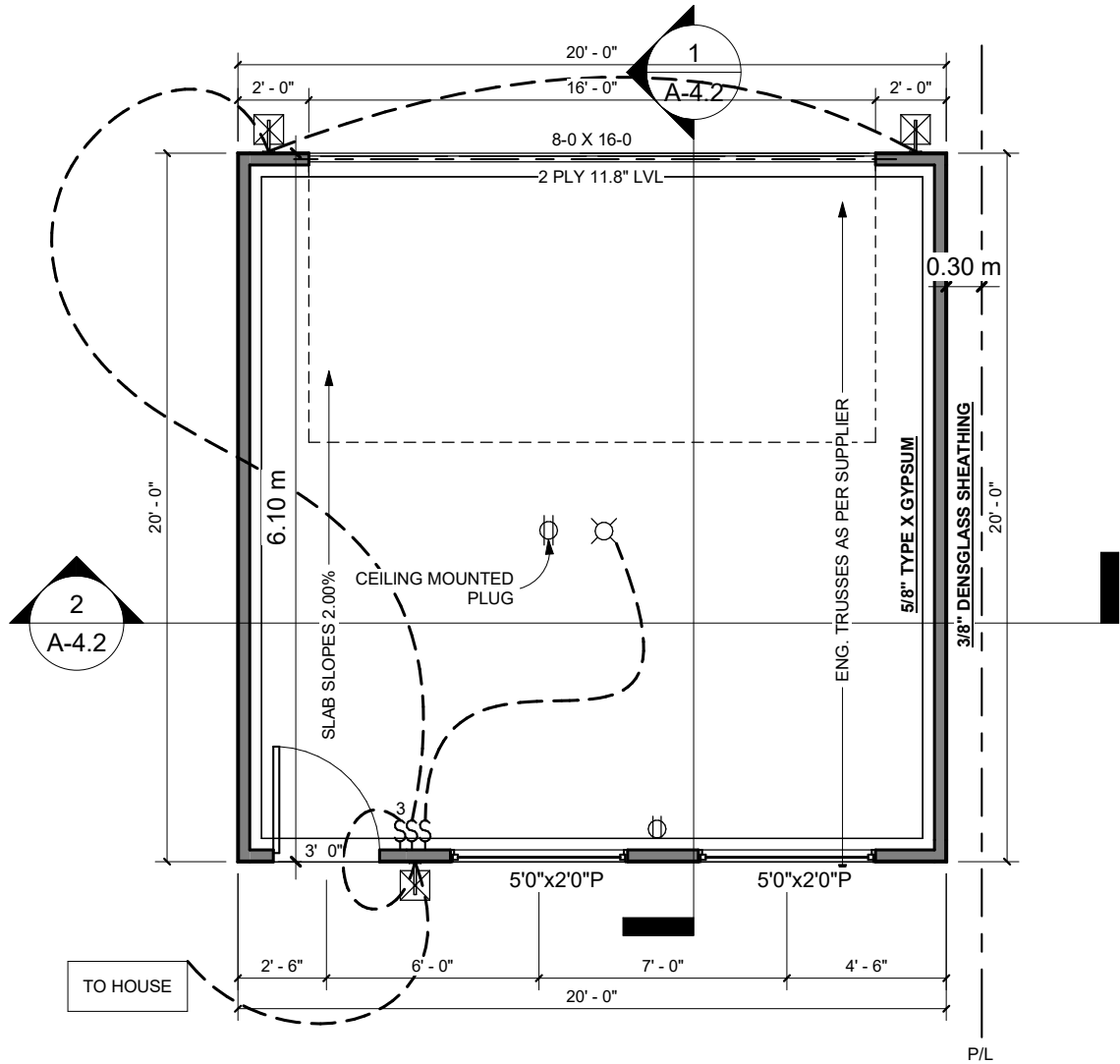
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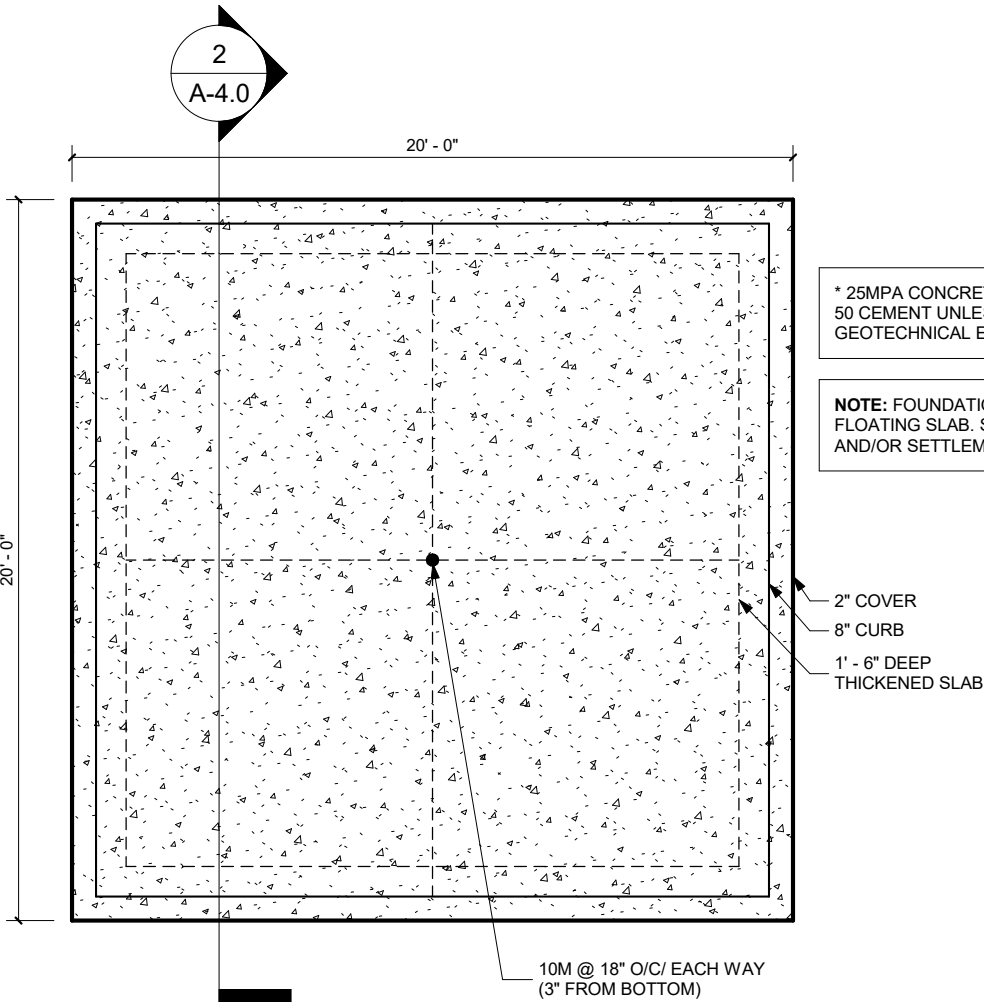
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SHEET:

A-2.2

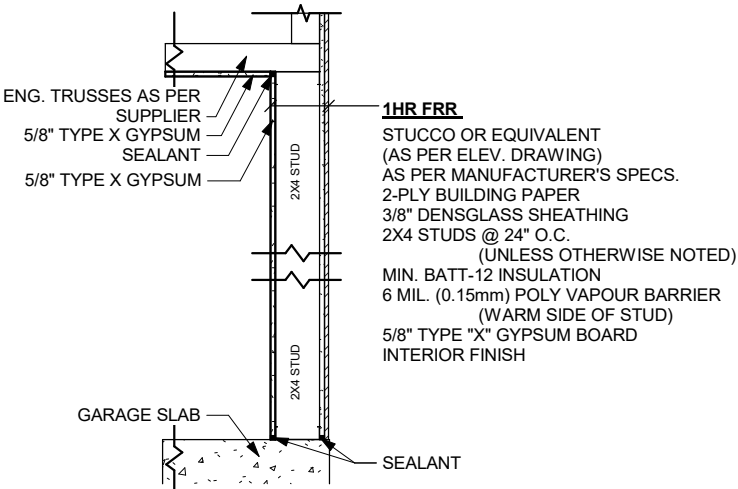


GARAGE FLOOR PLAN
SCALE: 3/16" = 1'-0"

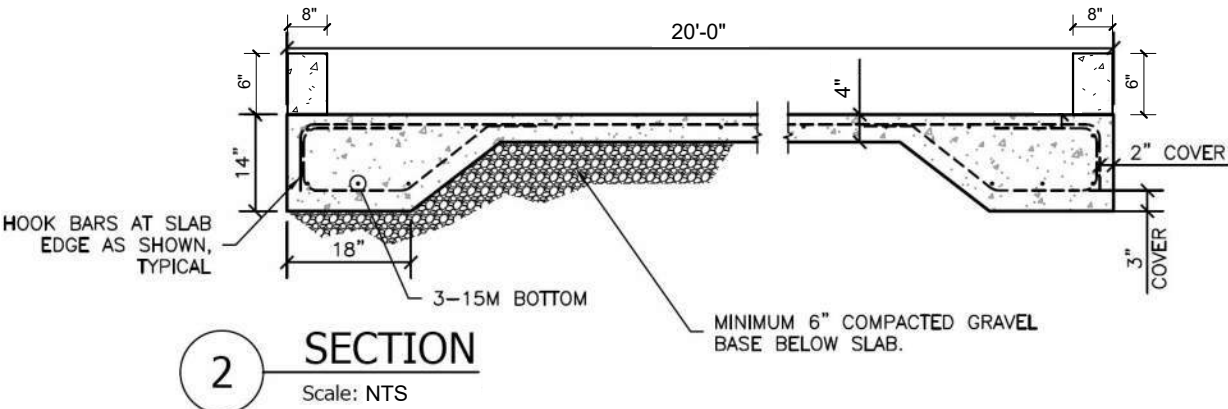


GARAGE FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL SCHEDULE			
DATA	DATA OUTLET	CEILING FIXTURE	
TV OUTLET		WALL SCONES	
4-WAY SWITCHING		POT LIGHTING	
3-WAY SWITCHING		SMOKE DETECTOR	
SINGLE SWITCHING		STANDARD PLUG	
BATH FAN		GFI PLUG	



GARAGE 1HR FRR WALL
SCALE: NTS



SECTION 2
Scale: NTS

PROJECT NOTES:

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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
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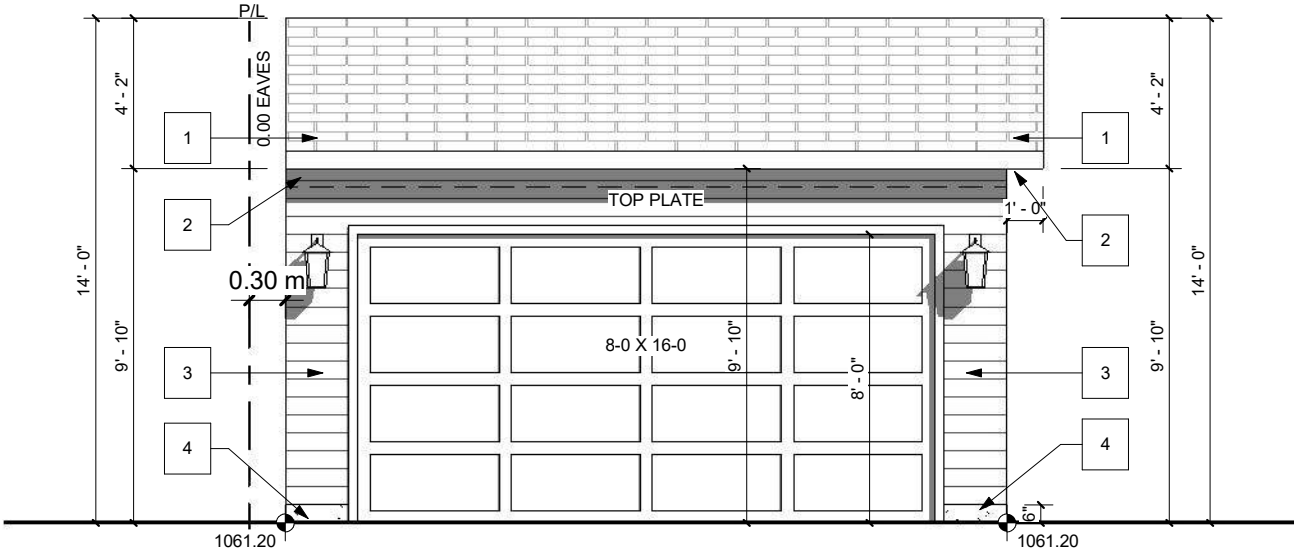
PROJECT NAME:
724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 41 - 26

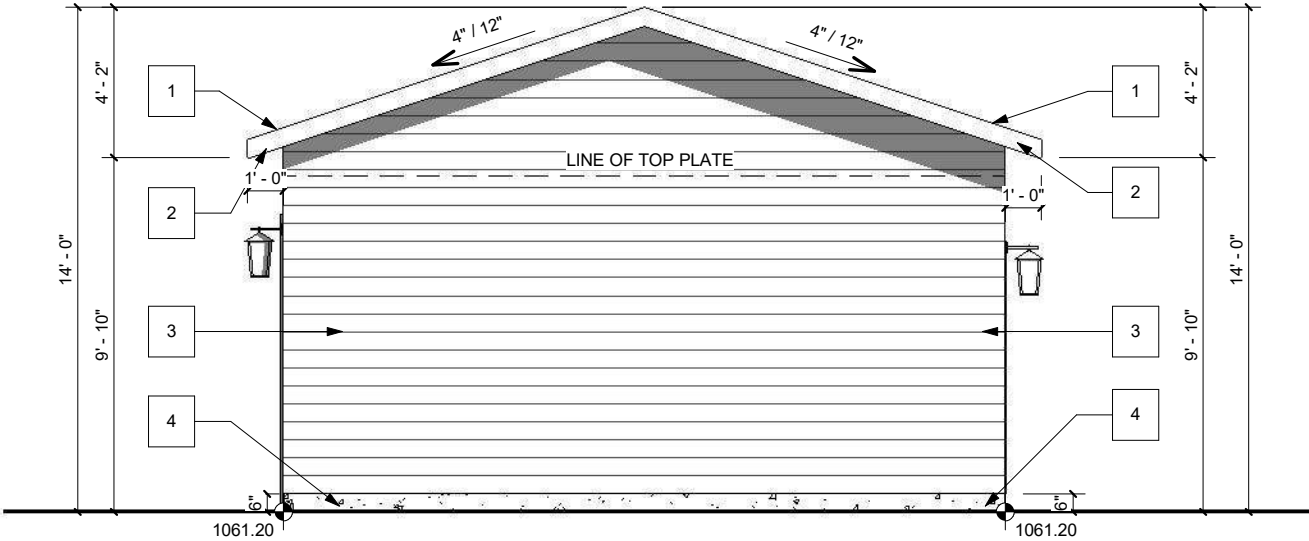
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EXTERIOR FINISHES:

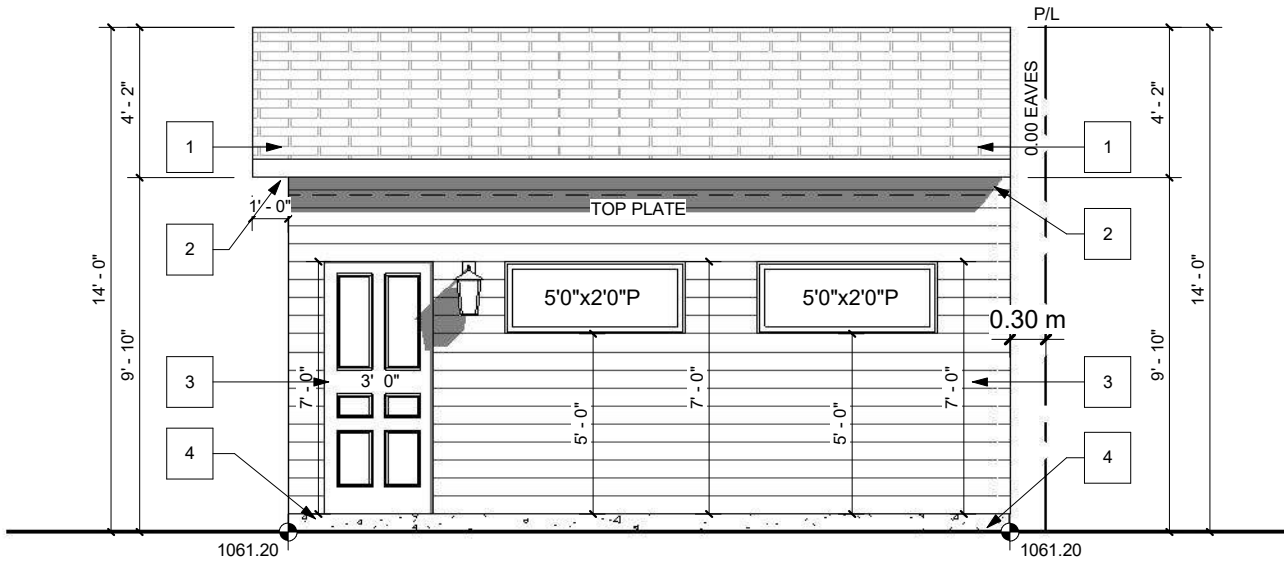
- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 SIDING FINISH
- 4 CONC. PARGING



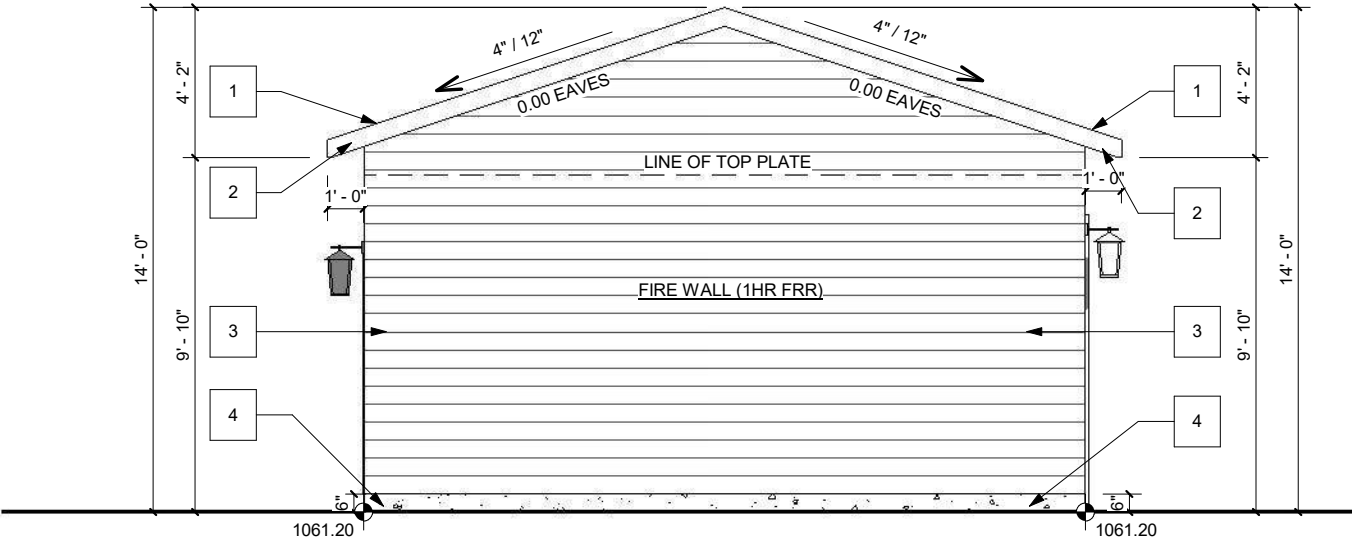
GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"

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PROJECT:
NEW HOME

STATUS: -

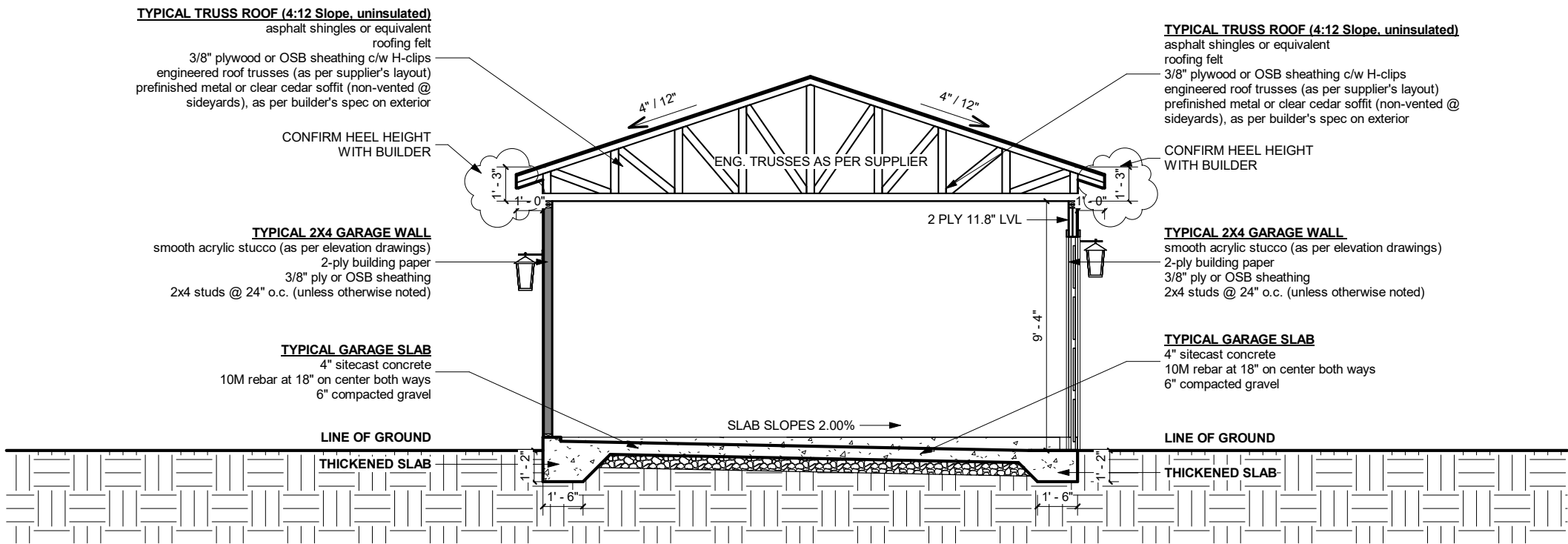
SIGNATURES:
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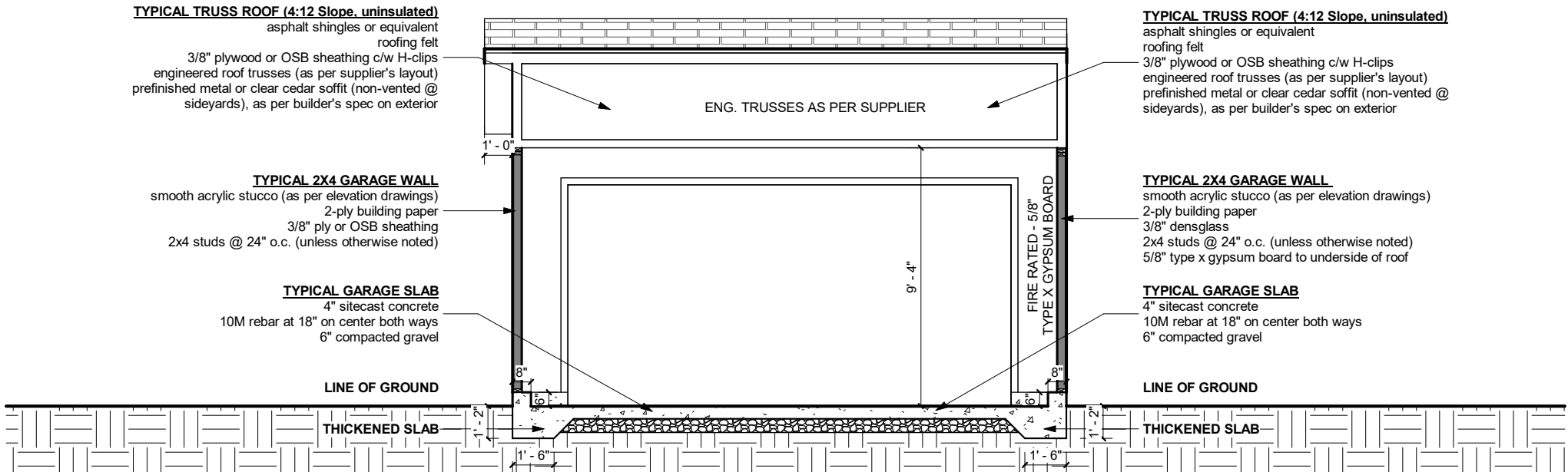
PROJECT NAME:
724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 41 - 26

SCALE: AS SHOWN SHEET: A-4.1



GARAGE SECTION 1
SCALE: 3/16" = 1'-0"



GARAGE SECTION 2
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/02/2026	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-02-24 8:21:06 AM

PROJECT NAME:

724 35A STREET N.W.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

41 - 26

SCALE:

AS SHOWN

SHEET:

A-4.2