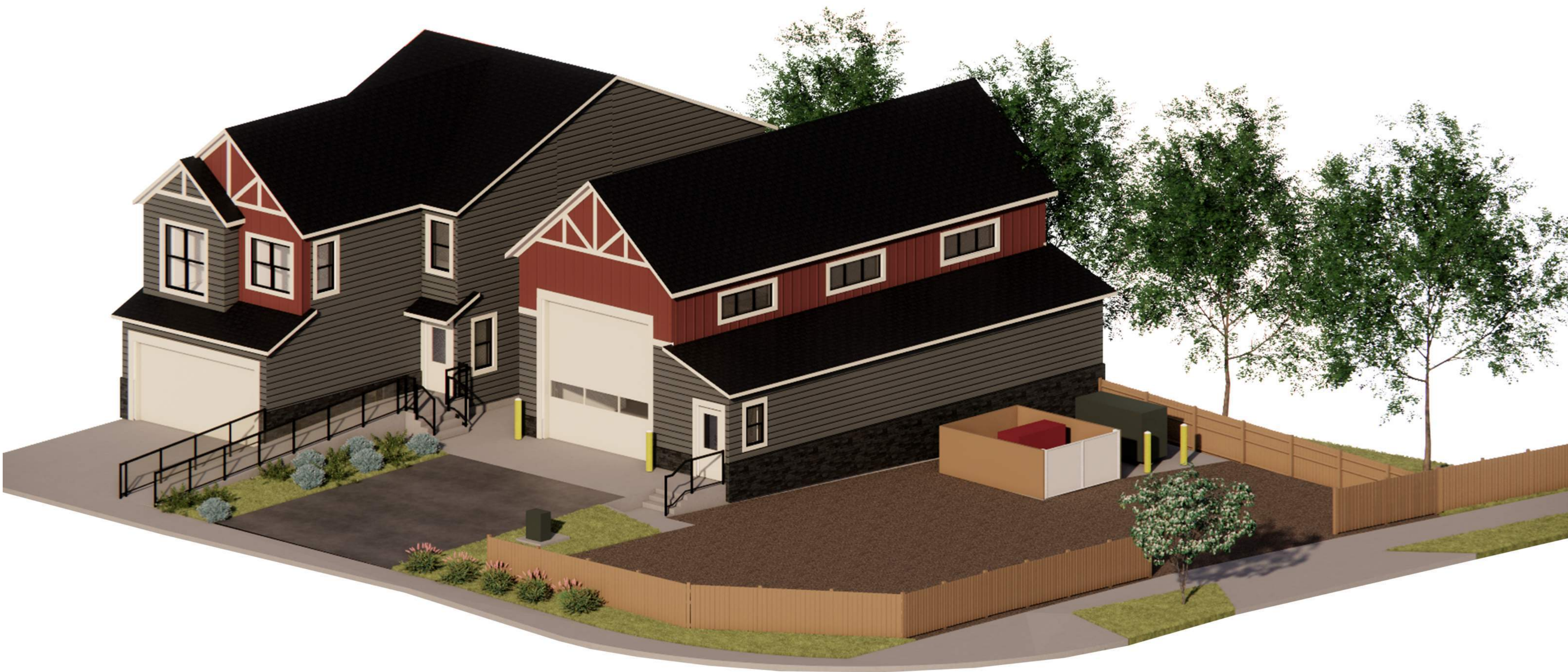


HOTCHKISS
TEMPORARY FIRE STATION
ISSUED FOR DEVELOPMENT PERMIT



Architectural	
DP-0.0	COVER SHEET
DP-0.1	SITE PHOTOS & PROJECT STATISTICS
DP-0.2	SITE SURVEY
DP-1.0	SITE PLAN - KEYNOTES & UTILITIES
DP-1.1	SITE PLAN - DIMENSIONS & SETBACKS
DP-1.2	SITE DETAILS
DP-1.3	FIRE ACCESS / W&R VEHICULAR MOVEMENT PLAN
DP-2.0	FIRST FLOOR PLAN
DP-2.1	BASEMENT & SECOND FLOOR PLAN
DP-2.2	ROOF PLAN
DP-3.0	EXTERIOR ELEVATIONS
DP-4.0	BUILDING SECTIONS
Electrical	
E0-00	ELECTRICAL SYMBOL LEGEND & DRAWING LIST
E0-02	SITE ELECTRICAL PLAN
E0-03	SITE LIGHTING SIMULATION
E2-03	ROOF SOLAR PLAN
Civil	
C-100	SITE SERVICING PLAN
C-200	SITE GRADING PLAN
Landscape	
L0.01	PUBLIC TREE PROTECTION & REMOVAL PLAN
L1.01	LANDSCAPE PLAN

HOTCHKISS
TEMPORARY FIRE STATION

176 HOTCHKISS MANOR SE, CALGARY, AB

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CITY OF CALGARY



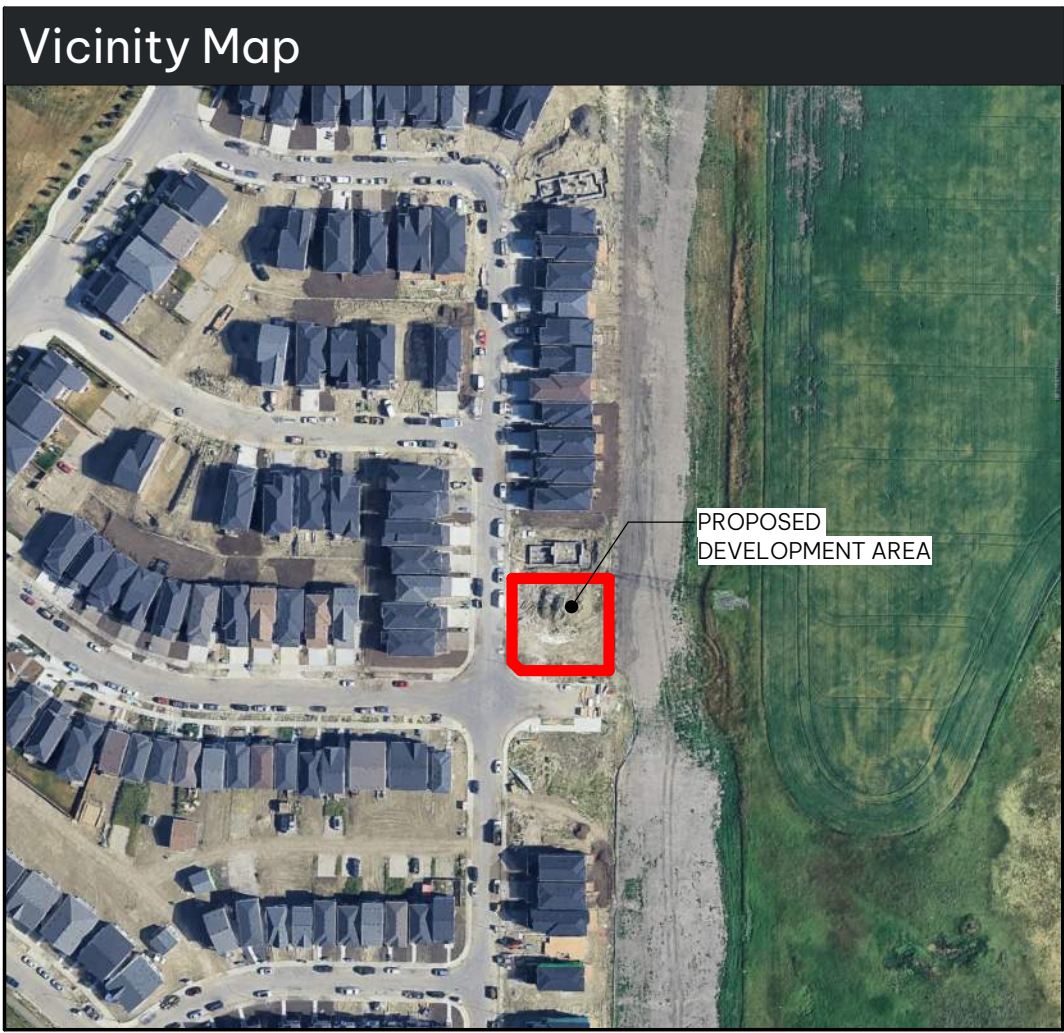
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Design Team

ARCHITECT:	STRUCTURAL & BUILDING ENVELOPE:	MECHANICAL & ENERGY MODELLING:	ELECTRICAL:	CIVIL:	LANDSCAPE:
S2ARCHITECTURE					
S2 ARCHITECTURE 6TH FLOOR, 220 - 12th AVENUE SW CALGARY, AB T2R 0E9 PHONE: 403.670.7000	READ JONES CHRISTOFFERSEN LTD. #200 - 1816 CROWCHILD TRAIL NW CALGARY, AB.T2M 3Y7 PHONE: 403.283.5073	REMEDY ENGINEERING #810, 919 - 11th AVENUE SW CALGARY, AB. T2R 1P3 PHONE: 403.984.6960	MULVEY + BANANI ENGINEERS #2300, 715 - 5th AVENUE SW CALGARY, AB. T2P 2X6 PHONE: 403.262.7400	URBAN SYSTEMS LTD. #101, 134 - 11th AVENUE SE CALGARY, AB. T2G 0X5 PHONE: 403.291.1193	THE TULA PROJECT #1, 1701 - 11th STREET SE CALGARY, AB. T2G 3G1 PHONE: 403.470.0827

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PROJECT NO.	225053
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DRAWING NO.	DP-0.0



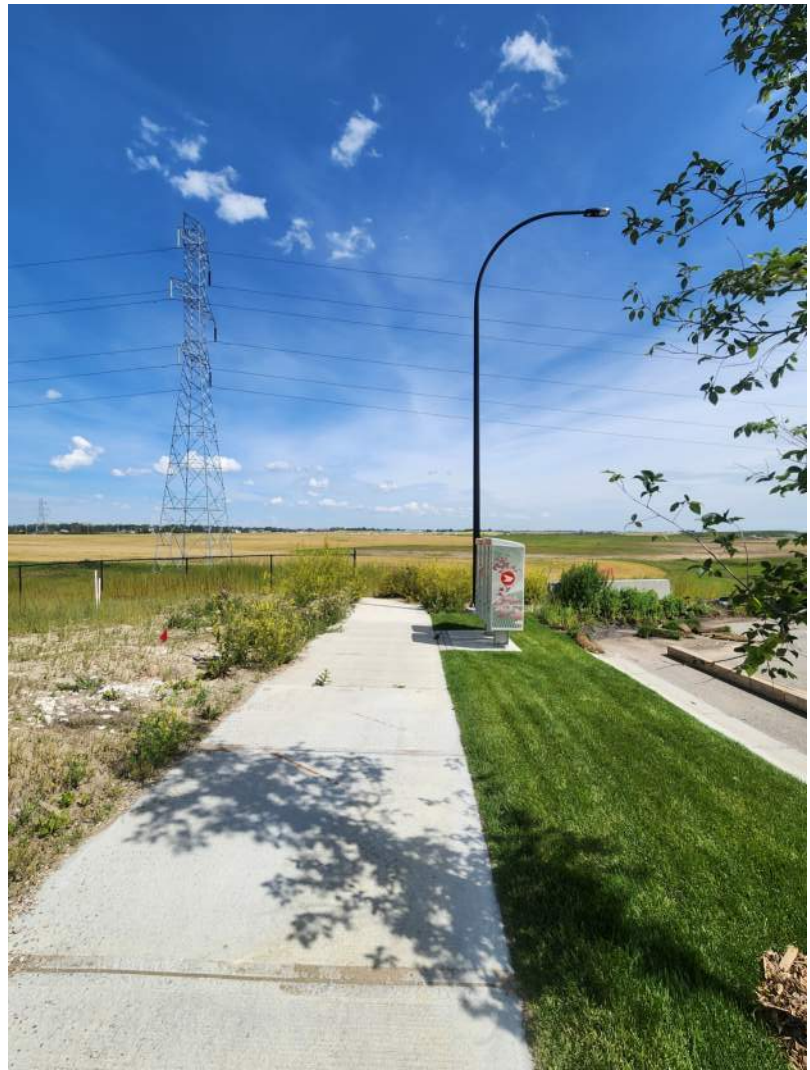
Municipal Address
176 HOTCHKISS MANOR SE CALGARY, AB
Legal Address
LOTS 28, BLOCK 5, PLAN 2512302
Site Summary
AREA: 1072.9m ² (0.107 ha) (0.265 acres)
By-Law Zoning
PART 5, DIVISION 12 LOW DENSITY RESIDENTIAL DISTRICTS (R-1-0m)
By-Law Setback
MINIMUM SETBACK AREAS FRONT: 1.0m REAR: 7.5m • 7.5m FROM REAR PROPERTY LINE • 5.0m DISCRETIONARY SETBACK FROM REAR PROPERTY LINE (TO ACCOMMODATE REQUIRED APPARATUS GARAGE CLEARANCES; APPARATUS PARKING ON TARMAC WITHOUT SIDEWALK OVERHANG, AND TO ALLOW ADEQUATE SPACE FOR MANEUVERING THE APPARATUS INTO THE GARAGE) SIDE: • 1.0m AT SOUTH PROPERTY LINE • ZERO LOT LINE EASEMENT AGREEMENT AT NORTH PROPERTY LINE 1.5m UTILITY RIGHT OF WAY LOCATED IN PARCEL (231479 UR/W) 2.4m UTILITY RIGHT OF WAY LOCATED IN PARCEL (231933 UR/W)
Proposed Development
PROTECTIVE AND EMERGENCY SERVICES (PERMITTED USE) BUILDING CLASSIFICATION AS PER ALBERTA BUILDING CODE: APPARATUS GARAGE: GROUP F, DIVISION 3, LOW-HAZARD INDUSTRIAL OCCUPANCY HOME (LIVING QUARTERS): GROUP C, RESIDENTIAL OCCUPANCY
Building Height
MAXIMUM BUILDING HEIGHT: 12.0m PROPOSED: 11.95m
Motor Vehicle Parking Requirements
PROTECTIVE AND EMERGENCY SERVICES DO NOT REQUIRE PARKING STALLS PER THE CALGARY LAND USE BYLAW PROPOSED/CFD REQUIRED PARKING: 6 STAFF PARKING STALLS 1 VISITOR STALL (NOT PROVIDED ON SITE) 1 BARRIER-FREE VISITOR STALL
Bicycle Parking Requirements
PROTECTIVE AND EMERGENCY SERVICES DO NOT REQUIRE BICYCLE STALLS PER THE CALGARY LAND USE BYLAW
Waste & Recycling Requirements
CALGARY FIRE DEPARTMENT (CFD) REQUIRES ONLY BLUE, GREEN AND BLACK RESIDENTIAL BINS FOR A TEMPORARY STATION WITH 4 SHIFTS OF 4 STAFF. A 2 YARD RED HAZARDOUS MATERIALS BIN WITH ENCLOSURE IS A CFD REQUIREMENT.
Area Summary
APPARATUS GARAGE: 139 sq.m. LINK: 5 sq.m. MAIN FLOOR: 138 sq.m. 2nd FLOOR: 131 sq.m. BASEMENT: 95 sq.m. BUILDING TOTAL: 509 sq.m. NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.



1 Aerial Site View & Legend
[DP-01 SCALE: 1:5]



2 Topography & Rear of Site
[DP-01 SCALE: 1:10]



3 Sidewalk Parallel Hotchkiss Way SE
[DP-01 SCALE: 1:10]



4 Site Overview from Intersection
[DP-01 SCALE: 1:10]



5 Undeveloped Site to the South
[DP-01 SCALE: 1:100]



6 View Looking East
[DP-01 SCALE: 1:10]



7 Rear of Adjacent Homes
[DP-01 SCALE: 1:100]



8 North Neighbour
[DP-01 SCALE: 1:10]



9 Homes Across Hotchkiss Manor SE
[DP-01 SCALE: 1:10]

HOTCHKISS
TEMPORARY FIRE STATION

176 HOTCHKISS MANOR SE, CALGARY, AB

CLIENT
CITY OF CALGARY



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DRAWING TITLE	SITE PHOTOS & PROJECT STATISTICS	
DRAWING NO.		

DP-0.1

HOTCHKISS
TEMPORARY FIRE STATION

176 HOTCHKISS MANOR SE, CALGARY, AB

CLIENT
CITY OF CALGARY



- Notes:
- DISTANCES ARE IN METERS AND DECIMALS THEREOF.
 - COORDINATES ARE BASED ON SURVEY TIES TO ASGM 263806.
 - COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999742.
 - PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (3TM)
 - HORIZONTAL DATUM: NORTH AMERICA DATUM 1983 (NAD83)
 - ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CVD28) VIA HT2.0 GEOID MODEL
 - ORTHOMETRIC REFERENCE MERIDIAN: 114° W.
 - ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.
 - ON-SITE BURIED UTILITIES WERE LOCATED USING INDIRECT DETECTION PROCEDURES AND ARE SHOWN FOR REFERENCE PURPOSES ONLY.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE INDIVIDUAL UTILITY OWNERS, OPERATORS, OR AUTHORITIES TO OBTAIN ANY REQUIRED PERMITS AND METHODS OF LOCATING AND EXPOSING ANY BURIED FACILITIES PRIOR TO ANY PLANNED GROUND DISTURBANCE.
 - DEEP UTILITY LOCATIONS (STORM, SANITARY, WATER) WERE EXTRACTED FROM INFORMATION PUBLISHED BY THE CITY OF CALGARY.
 - THE LANDS DESCRIBED WITHIN THIS PLAN ARE NOT WITHIN THE CITY OF CALGARY FLOOD FRINGE.
 - SOME CATCH BASIN INVERTS WERE NOT PERFORMED DUE TO STORM WATER.
 - ALL PARCELS ARE SUBJECT TO DRAINAGE RIGHT OF WAY EASEMENT 231 1937.
 - LOT 3, BLOCK 5, PLAN 231 1932 IS SUBJECT TO ZERO LOT LINE EASEMENT 231 300 143.

Legend:

- MAJOR CONTOUR 1.0m. INTERVAL
- MINOR CONTOUR 0.2m. INTERVAL
- SPOT ELEVATION
- FOUND STATUTORY IRON POST
- FOUND I. BAR
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE
- FENCE - CHAINLINK
- FENCE - POST AND CABLE
- POWER POLE
- GUY WIRE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- VALVE
- SIOW
- OUTLET ON CONC. BASE
- SPOTLIGHT ON CONC. BASE
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS LINE
- STM LINE
- SANITARY LINE
- COMMUNICATIONS - BURIED LINE
- COMMUNICATIONS - OVERHEAD LINE
- WATER MAIN
- CULVERT
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES

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ISSUED DATE
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DO	ISSUED TO CLIENT	LN.	AUG 7, 2025	N.K.
No.	Revision Description	By	Date	Appr

Title:
TOPOGRAPHIC SITE SURVEY
SURFACE AND SITE FEATURES

Job Description:
LOTS 1 & 2, BLOCK 5, PLAN 231 1477
LOT 3, BLOCK 5, PLAN 231 1932
170, 174, 176 Hotchkiss Manor S.E. Calgary, Alberta
Hotchkiss Temporary Fire Station

Client:
Buildings & Architecture Dept., City of Calgary
800 Macleod Trail S.E.
Calgary, Alberta

Watt Consulting Group Ltd.
1300, 736 6th Avenue S.W.
Calgary, AB, T2P 3T7
T: 403 273 9001
F: 403 273 3440
www.wattconsultinggroup.com

Drawn: R.N.	Field Surveyor(s): C.A./E.L.
Draft Chk: N.K.	Survey Date: JULY 31, 2025
Approved: N.K.	Date: AUG 5, 2025
Scale: 1:125	File #: 25L0582
	Sheet: 01
	Total Sheets: 01

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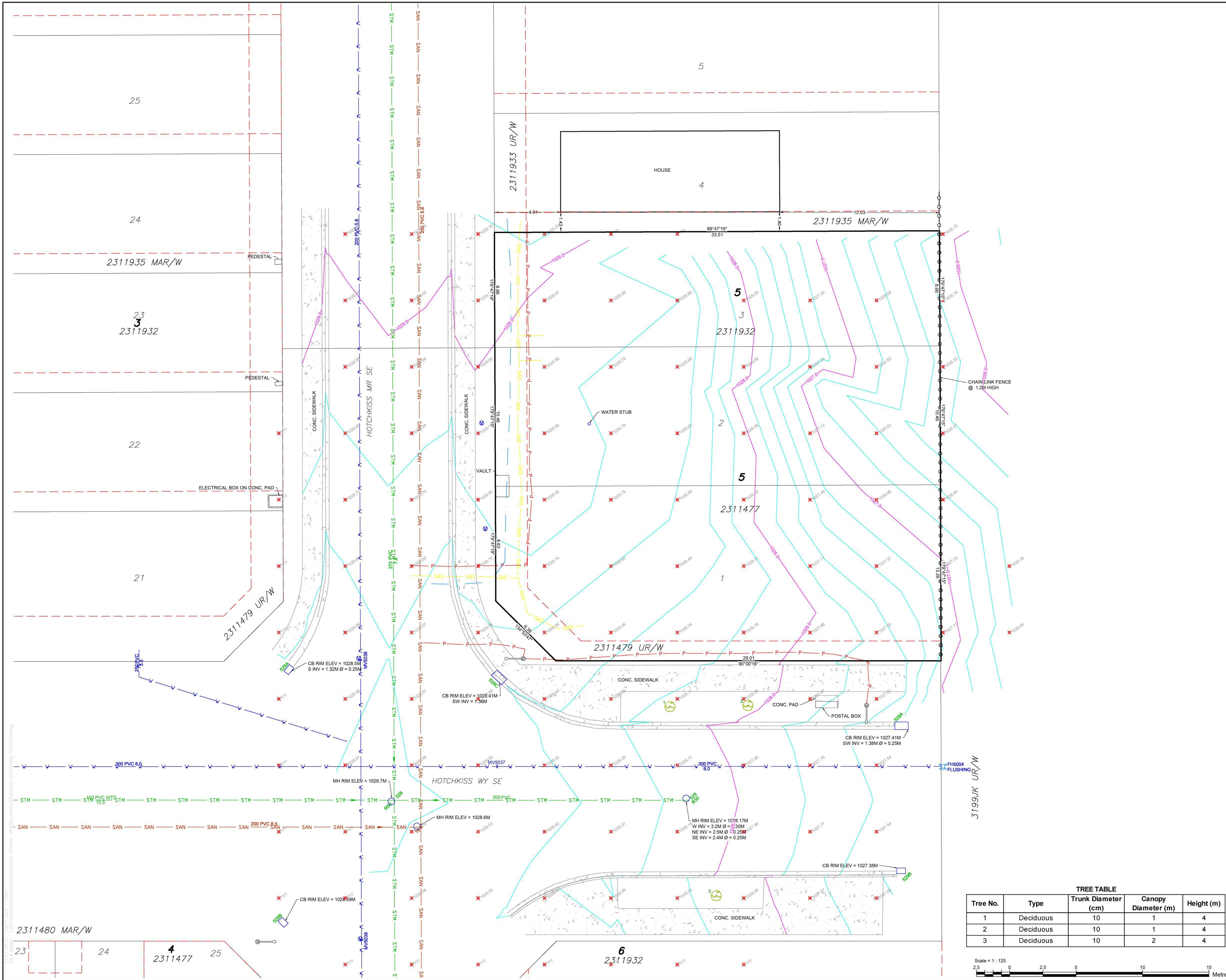
PROJECT NO. 225053

DRAWING TITLE

SITE SURVEY

DRAWING NO.

DP-0.2



HOTCHKISS

TEMPORARY FIRE STATION

176 HOTCHKISS MANOR SE, CALGARY, AB

CLIENT
CITY OF CALGARY



Municipal Address

176 HOTCHKISS MANOR SE
CALGARY, AB

Legal Address

LOTS 28, BLOCK 5, PLAN 2512302

Site Plan - Keynote Legend

- | | |
|-----|--|
| S1 | EXISTING PUBLIC SIDEWALK |
| S2 | EXISTING BOULEVARD TREE |
| S3 | EXISTING MAILBOX |
| S4 | EXISTING LIGHT STANDARD |
| S5 | PROPOSED TRANSFORMER |
| S6 | PROPOSED DRIVEWAY |
| S7 | PROPOSED RETAINING WALL |
| S8 | PROPOSED BARRIER FREE RAMP |
| S9 | PROPOSED CAST IN PLACE STAIRS |
| S10 | PROPOSED BACK UP GENERATOR |
| S11 | PROPOSED RED BIN ENCLOSURE |
| S12 | PROPOSED STAFF PARKING AREA |
| S13 | PROPOSED LOCATION FOR APPROX. 65L WASTE, RECYCLING & COMPOST RESIDENTIAL CARTS |
| S14 | PROPOSED CONCRETE PAD |
| S15 | PROPOSED PRIVACY SLATS (BLACK) TO BE INSTALLED ON EXISTING CHAIN LINK FENCE |
| S16 | PROPOSED NO PARKING SIGNAGE |
| S17 | PROPOSED WHEEL STOP |
| S18 | PROPOSED WOOD DECK |
| S19 | PROPOSED LANDSCAPING |
| S20 | PROPOSED HAZARDOUS MATERIALS RED BIN & ENCLOSURE |
| S21 | PROPOSED FIRE PANEL LOCATION |
| S22 | PROPOSED TREE. REFER TO LANDSCAPE |
| S23 | PROPOSED BOLLARD |
| S24 | PROPOSED RED BIN |
| S25 | PROPOSED RED PAINT |
| S26 | PROPOSED FLAG POLE |
| S27 | EXISTING 0.25 ROLLED CURB & GUTTER |

Site Plan - Symbol Legend

- | | |
|--|---|
| | INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING |
| | INDICATES EXTENT AND LOCATION OF PROPOSED ON-SITE CONCRETE SURFACING |
| | INDICATED EXTENT AND LOCATION OF PROPOSED ASPHALT SURFACING |
| | INDICATES EXTENT AND LOCATION OF EXISTING PUBLIC SIDEWALK |
| | INDICATES EXTENT AND LOCATION OF PROPOSED HEAVY DUTY ASPHALT PAVING TO SUPPORT SB.556kg |
| | INDICATES EXTENT AND LOCATION OF PROPOSED NO PARKING ZONE |
| | INDICATES EXTENT AND LOCATION OF PROPOSED GRAVEL SURFACING |
| | INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY) |
| | INDICATES SETBACK LINE |
| | INDICATES LOCATION OF EXISTING BLACK CHAIN LINK FENCE APPROX 1.5M IN HEIGHT |
| | INDICATES LOCATION OF PROPOSED 1.2M HIGH WOOD FENCE |
| | INDICATES LOCATION OF PROPOSED 1.8M HIGH WOOD FENCE OR PRIVACY SCREEN |
| | INDICATES LOCATION OF EXISTING CATCH BASIN |
| | INDICATES LOCATION OF PROPOSED CATCH BASIN |
| | INDICATES LOCATION OF PROPOSED MANHOLE |
| | INDICATES LOCATION OF EXISTING MANHOLE |
| | INDICATES LOCATION OF PROPOSED FIRE HYDRANT |
| | INDICATES LOCATION OF PROPOSED SAAMESSE CONNECTION |
| | INDICATES LOCATION OF PROPOSED TRANSFORMER |
| | INDICATES LOCATION OF EXISTING TRANSFORMER |
| | INDICATES LOCATION OF PROPOSED LIGHT STANDARD |
| | INDICATES LOCATION OF EXISTING LIGHT STANDARD |
| | INDICATES LOCATION OF PROPOSED WHEEL STOP |
| | INDICATES LOCATION OF PROPOSED BARRIER FREE PARKING STALL |
| | INDICATES LOCATION OF PROPOSED BOLLARD |
| | INDICATES LOCATION OF PROPOSED FLAGPOLE |
| | INDICATES LOCATION OF PROPOSED NO PARKING SIGN |
| | INDICATES EXISTING GEOCOTIC SPOT ELEVATION |
| | INDICATES PROPOSED GEOCOTIC SPOT ELEVATION |

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1 Site Plan - Keynotes & Utilities

A4.00 | DP-1.0 SCALE:1:100

NOTE: REFER TO DP-1.1 FOR SITE PLAN DIMENSIONS AND SETBACKS

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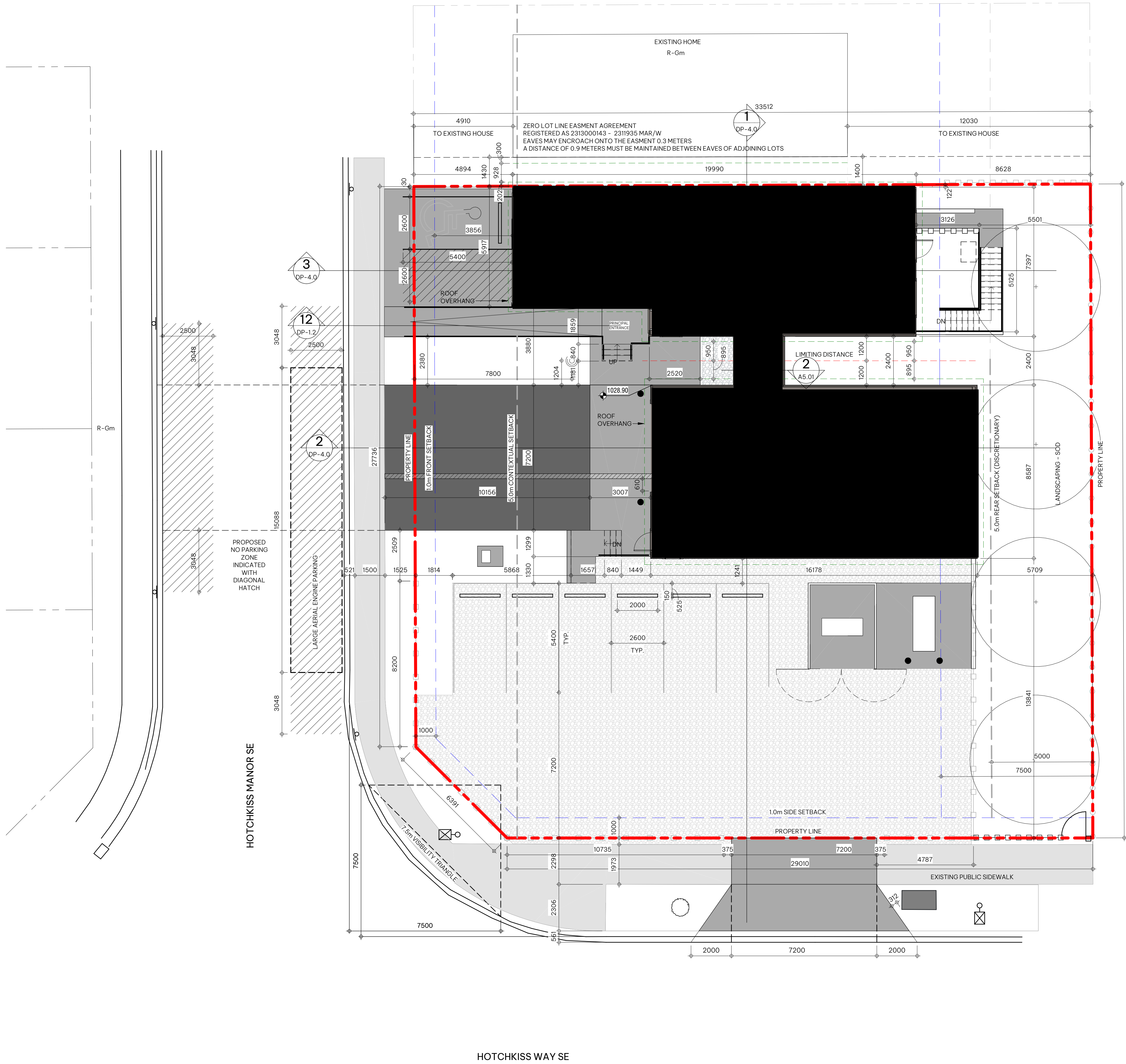
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SITE PLAN - KEYNOTES & UTILITIES

DRAWING NO

DP-1.0

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1 Site Plan - Dimensions and Setbacks

A4.00 [DP-1.1] SCALE 1:100

NOTE: REFER TO DP-1.0 FOR SITE PLAN KEYNOTES & UTILITIES

Municipal Address

176 HOTCHKISS MANOR SE
CALGARY, AB

Legal Address

LOTS 28, BLOCK 5, PLAN 2512302

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF PROPOSED ON-SITE CONCRETE SURFACING
- INDICATED EXTENT AND LOCATION OF PROPOSED ASPHALT SURFACING
- INDICATES EXTENT AND LOCATION OF EXISTING PUBLIC SIDEWALK
- INDICATES EXTENT AND LOCATION OF PROPOSED HEAVY DUTY ASPHALT PAVING TO SUPPORT 38.5664g
- INDICATES EXTENT AND LOCATION OF PROPOSED NO PARKING ZONE
- INDICATES EXTENT AND LOCATION OF PROPOSED GRAVEL SURFACING
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- INDICATES LOCATION OF EXISTING MANHOLE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF PROPOSED SAINSE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER
- INDICATES LOCATION OF EXISTING TRANSFORMER
- INDICATES LOCATION OF PROPOSED LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED WHEEL STOP
- INDICATES LOCATION OF PROPOSED BARRIER FREE PARKING STALL
- INDICATES LOCATION OF PROPOSED BOLLARD
- INDICATES LOCATION OF PROPOSED FLAGPOLE
- INDICATES LOCATION OF PROPOSED NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION

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HOTCHKISS TEMPORARY FIRE STATION

176 HOTCHKISS MANOR SE, CALGARY, AB

CLIENT
CITY OF CALGARY



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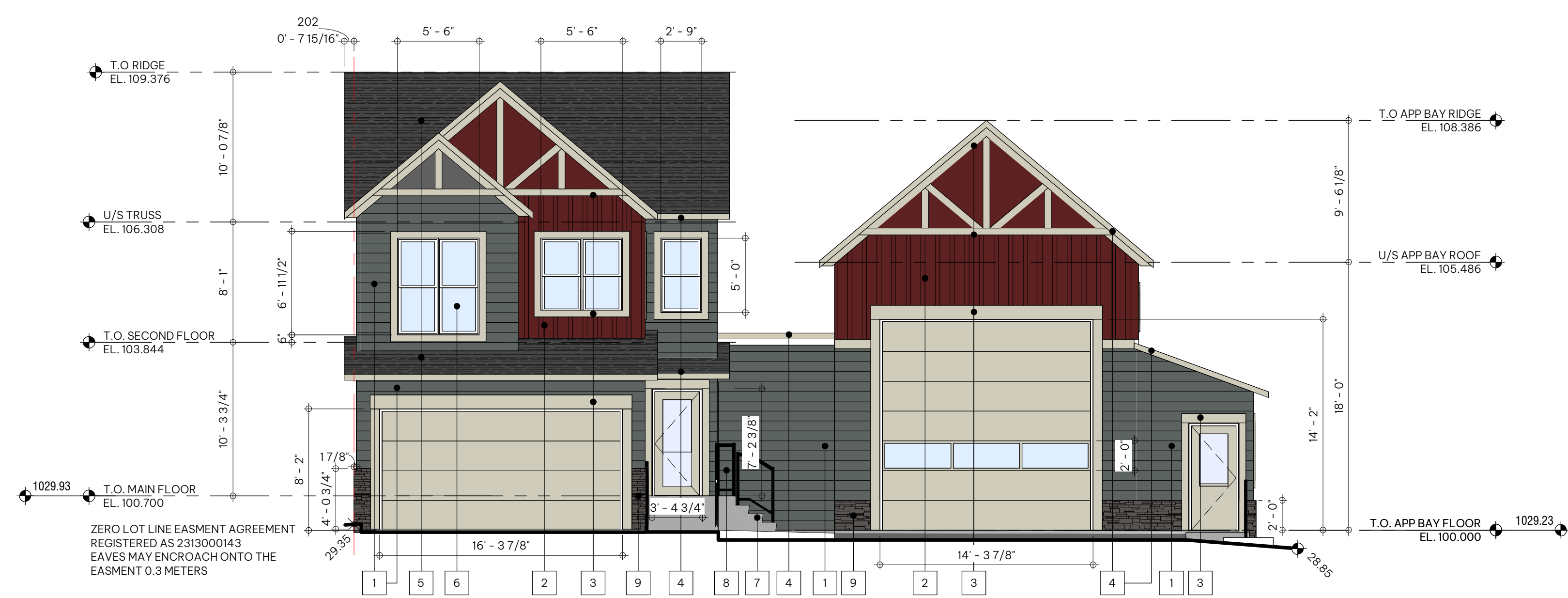
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SITE PLAN - DIMENSIONS &
SETBACKS

DRAWING NO.

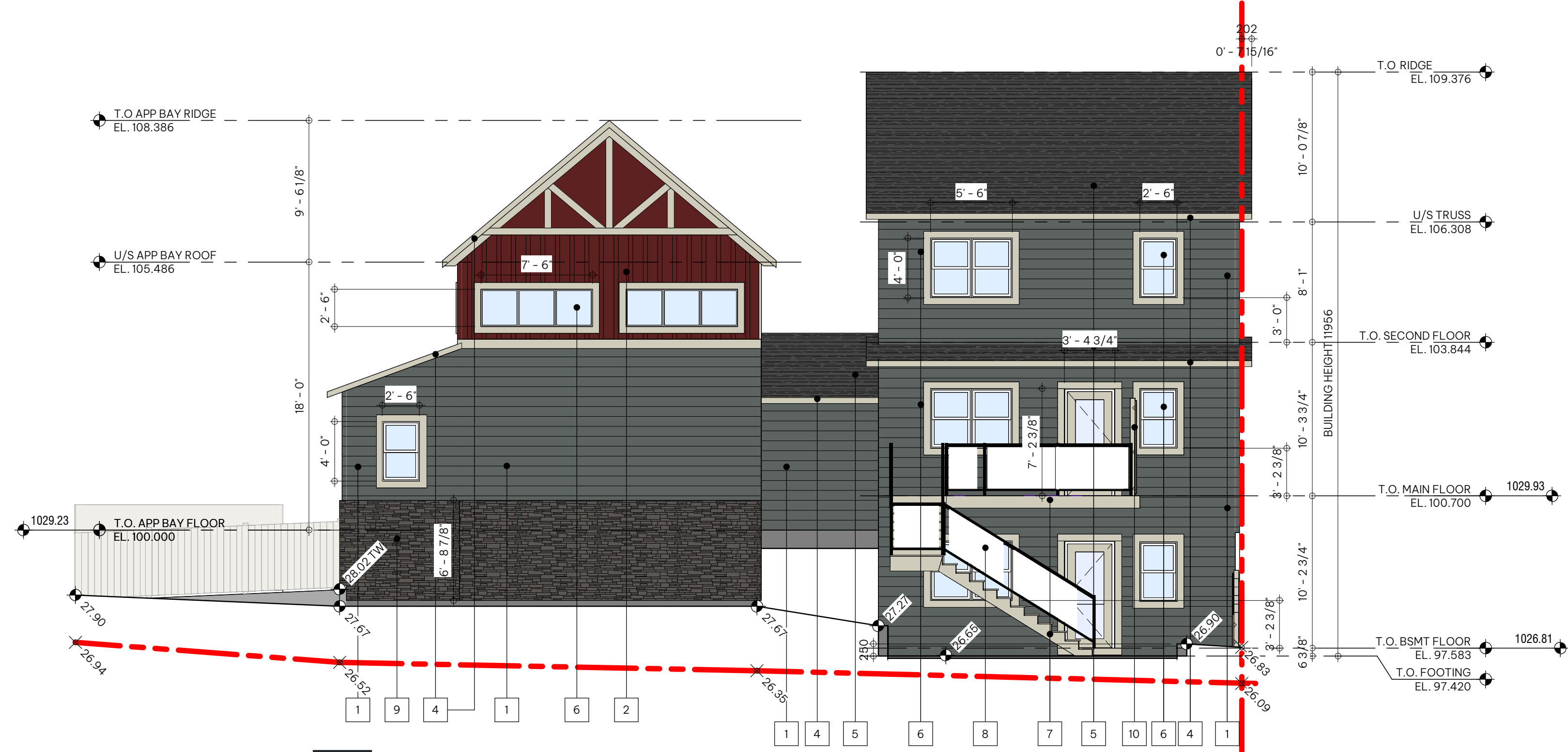
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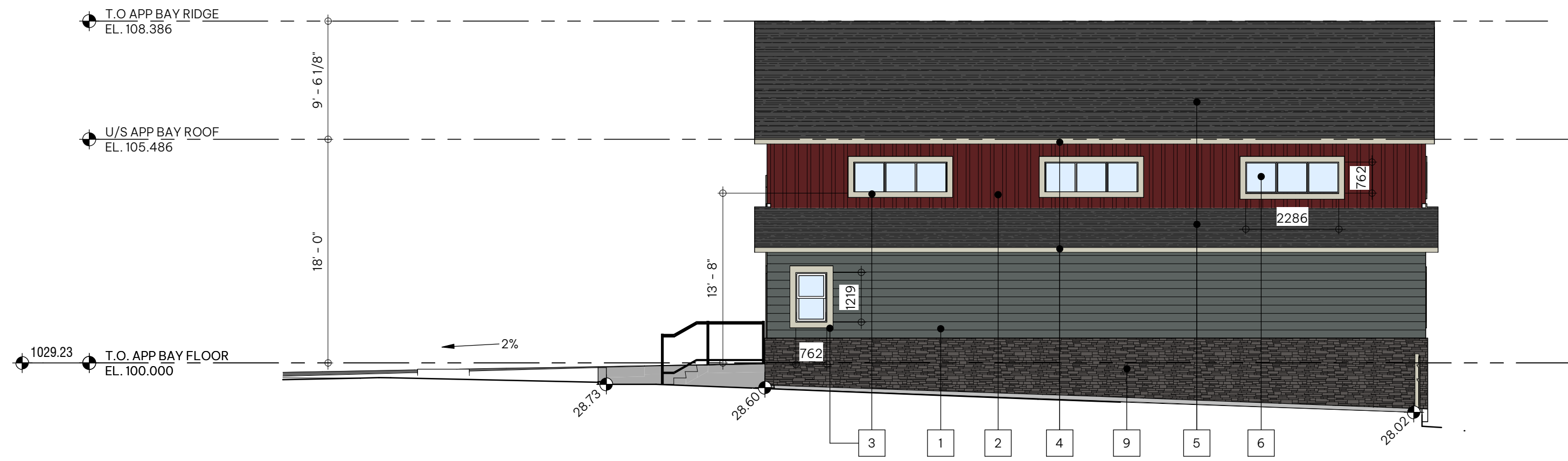
1 West Elevation

DP-2.0 | DP-3.0 SCALE:1:75



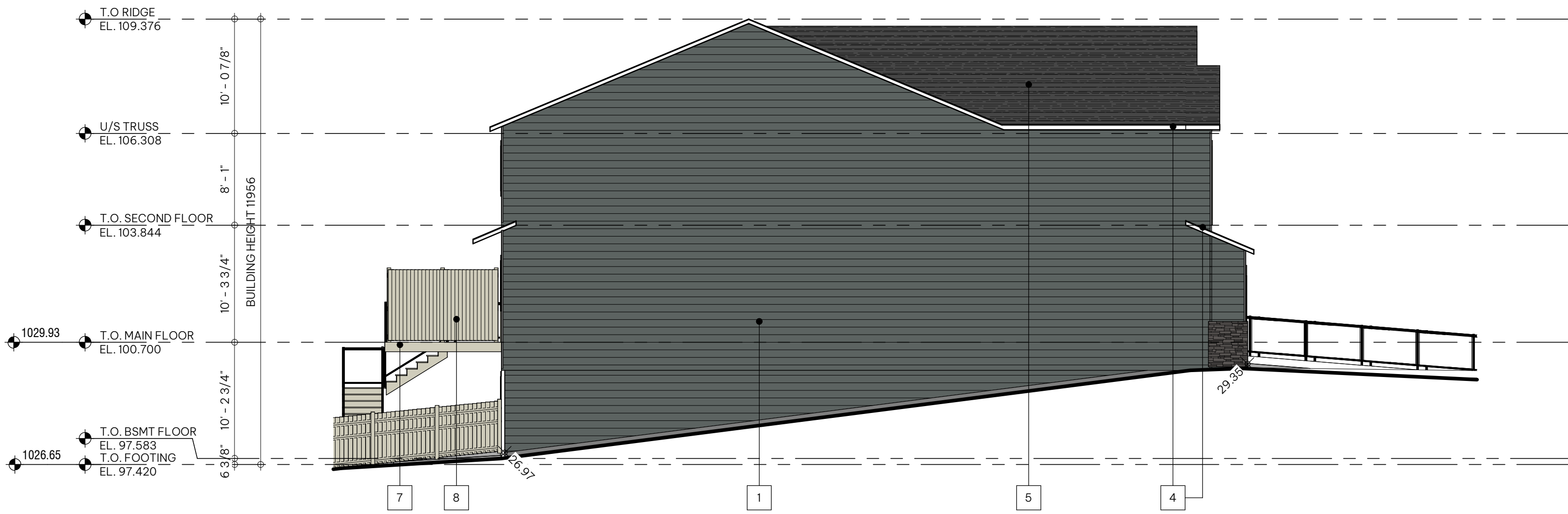
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DP-2.0 | DP-3.0 SCALE:1:75



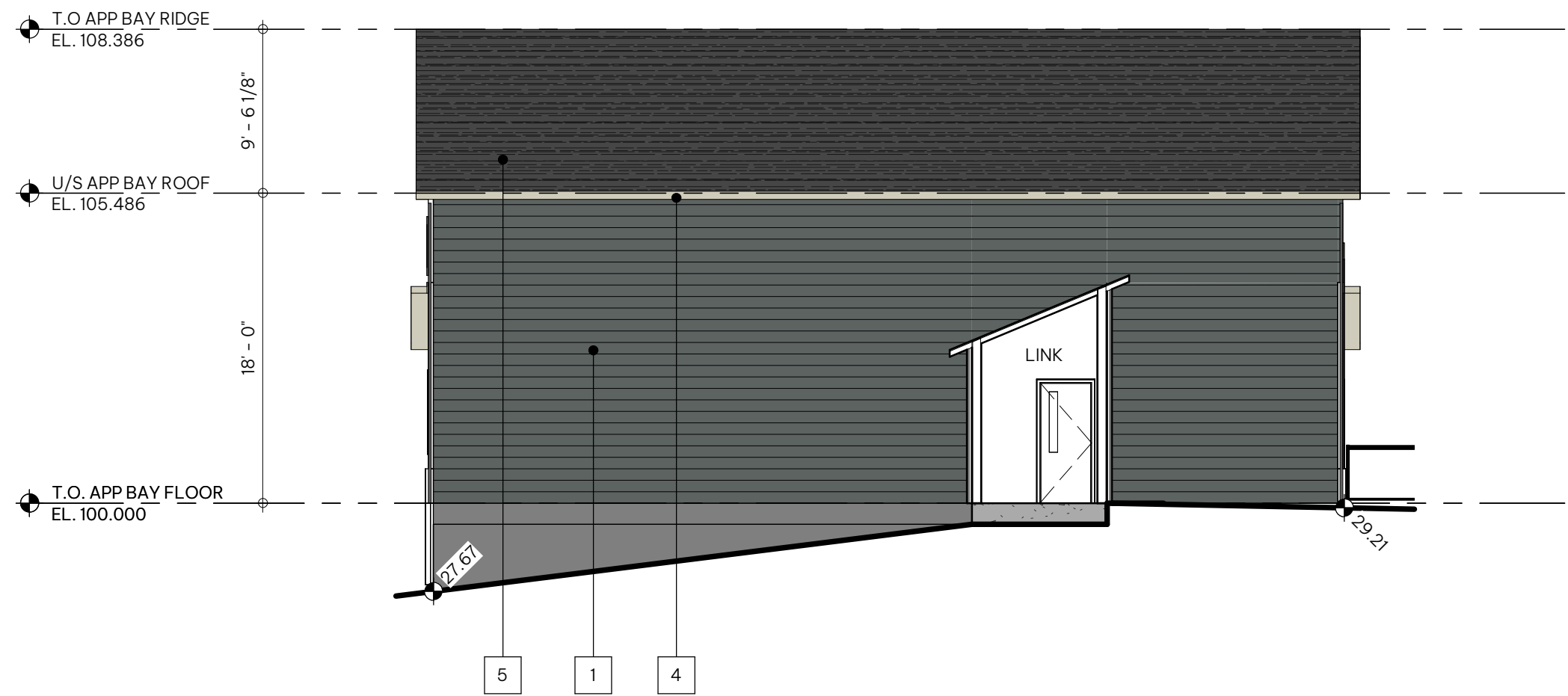
3 South Elevation

DP-2.0 | DP-3.0 SCALE:1:100



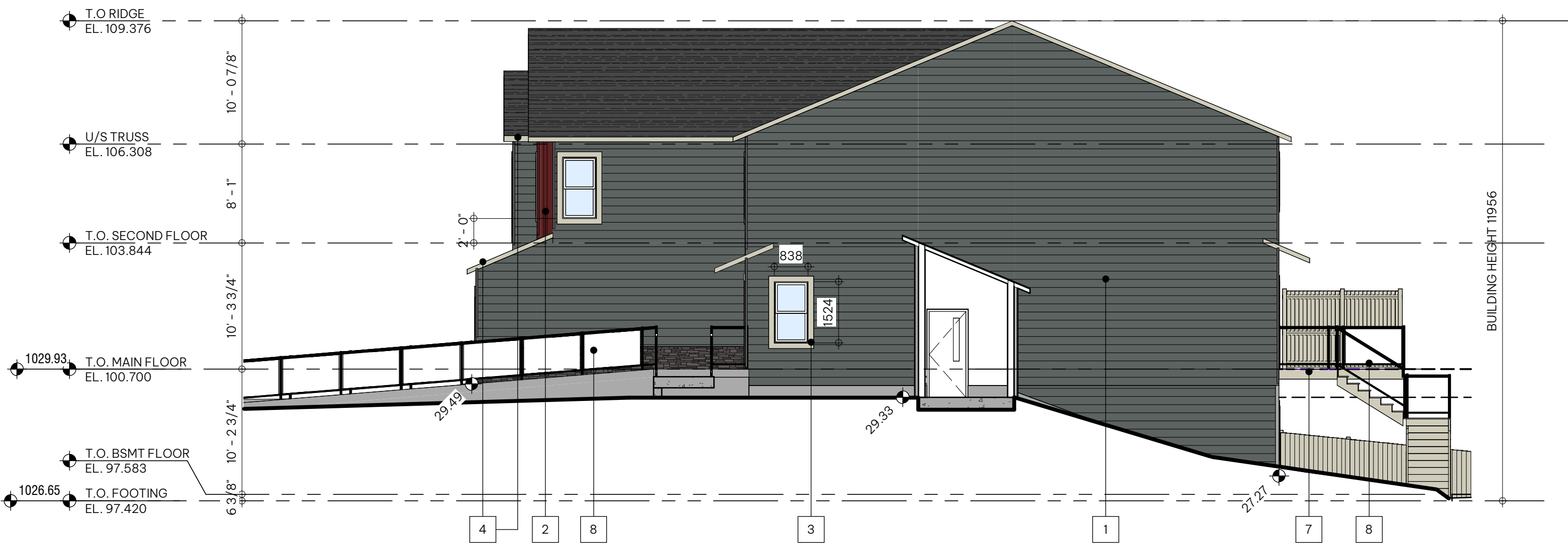
4 North Elevation

DP-2.0 | DP-3.0 SCALE:1:100



5 Section Elevation - Apparatus Garage North Elevation

DP-2.0 | DP-3.0 SCALE:1:100



6 Section Elevation - Fire Station Living Quarters South Elevation

DP-2.0 | DP-3.0 SCALE:1:100

Municipal Address

176 HOTCHKISS MANOR SE
CALGARY, AB

Legal Address

LOTS 28, BLOCK 5, PLAN 2512302

Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | PLANK LAP FIBER CEMENT SIDING - GRAY |
| 2 | BOARD AND BATTEN FIBER CEMENT SIDING - RED |
| 3 | FIBER CEMENT DECORATIVE TRIM - BEIGE |
| 4 | FASCIA - BEIGE |
| 5 | ASPHALT SHINGLES - GRAY |
| 6 | GLAZING WITH WHITE PVC FRAMES |
| 7 | COMPOSITE DECK AND STAIR - BEIGE |
| 8 | GLASS RAILING WITH BLACK BALUSTER |
| 9 | MASONRY - GRAY |
| 10 | WOOD PRIVACY SCREEN 1.8M H - BEIGE |

S2ARCHITECTURE

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HOTCHKISS TEMPORARY FIRE STATION

176 HOTCHKISS MANOR SE, CALGARY, AB

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PROJECT NO. 225035

DRAWING TITLE

EXTERIOR ELEVATIONS

DRAWING NO.

DP-3.0

Linetype Legend

	property line
	setback line
	unw line
	existing 1.5m black chain link fence with privacy slats
	existing gas line - refer to civil
	existing lotus line - refer to civil
	existing power line - refer to civil
	existing sanitary line - refer to civil
	existing water line - refer to civil
	existing storm line - refer to civil
	tree protection fence - refer to detail 2 sheet L0.01, typ.
	proposed 1.2m wood fence - refer to arch.
	proposed 1.8m wood fencing or privacy screening - refer to arch.
	roof overhang - refer to arch.

Hatch Legend

Soft Surface Landscape Areas	
	bluegrass sod
	planting bed w/ bark mulch and growing media for trees and shrubs
Hard Surface Landscape Areas	
	concrete - refer to arch
	asphalt - refer to arch
	gravel for parking - refer to arch
	decorative gravel - 20mm limestone

Symbol Legend

	existing tree - do not disturb
	existing tree to be removed - refer to existing tree schedule sheet L0.01
	building entry

Tree Protection Notes

- Tree protection barriers must be 1.2 meters high and extend 4.0 meters from trunk of the protected tree (if applicable).
- Barriers can consist of either:
 - A solid wood frame with orange snow fencing stapled to the outside
 - Metal fencing
- Call Alberta - 1 at 1-800-242-3447 before installing any fencing
- No work is to be carried out inside of the tree protection zone.
- Protected trees are to be watered at least once a week during construction.
- Designated contact person is Julian. Phone 403-470-0827.
- An Urban Forestry Technician must be on site for cut/b realignment near tree T3 to assess roots. Prior to construction, contact Urban Forestry at 311 and ask to speak to an urban forestry technician. Urban forestry requires minimum two business days prior to meetings on site.

the TULA project

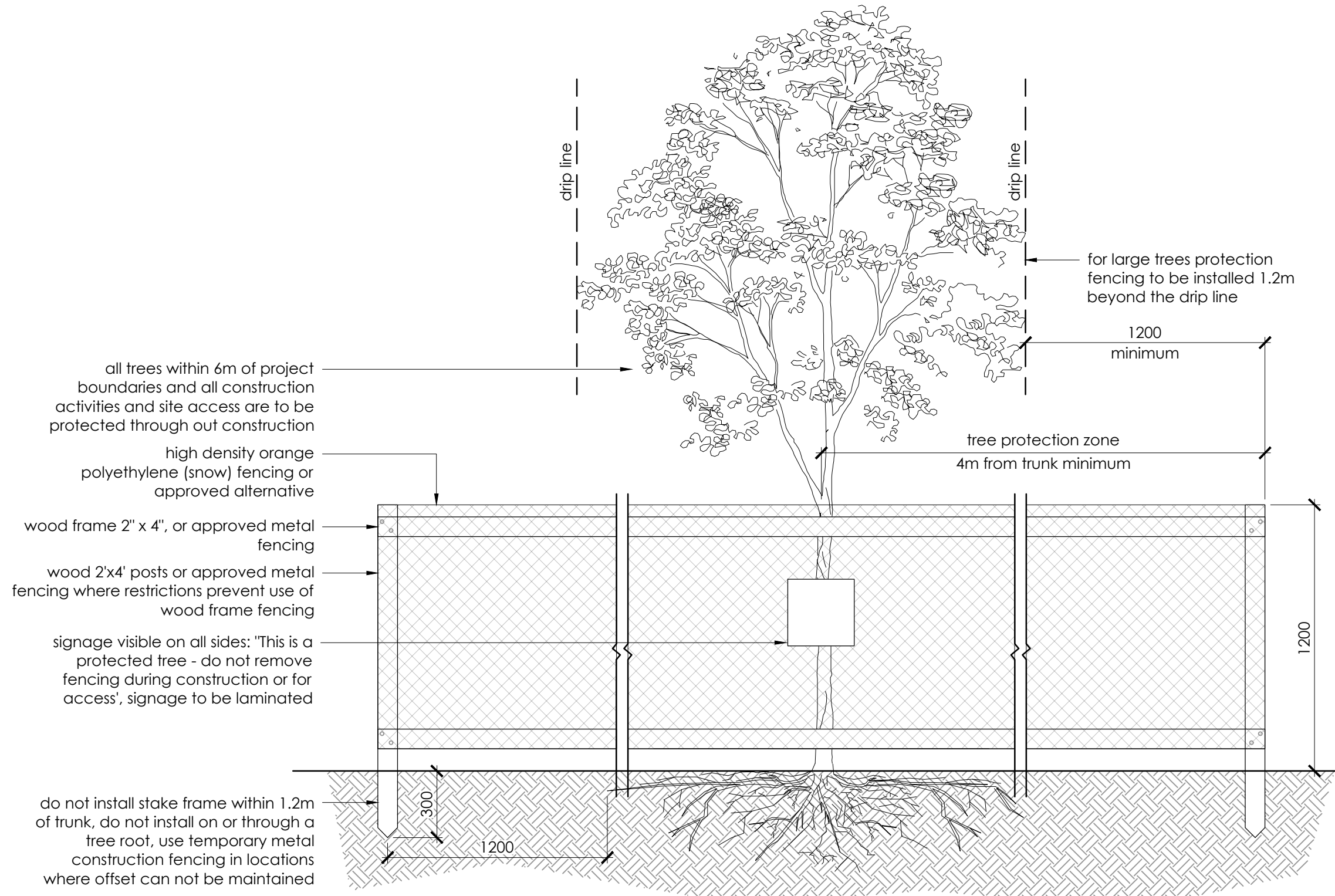
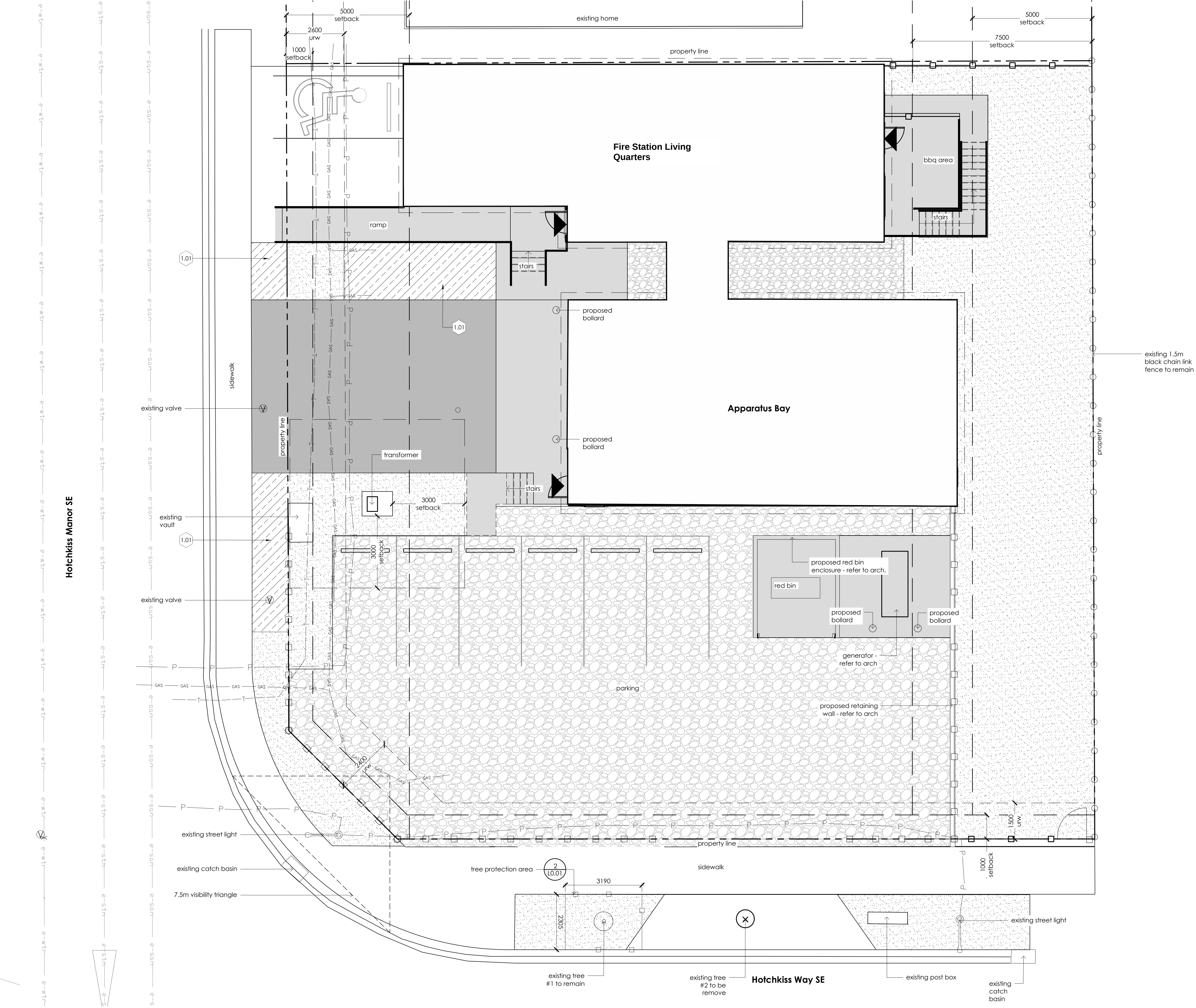
HOTCHKISS
TEMPORARY FIRE STATION

170, 174, 176 HOTCHKISS MANOR SE,
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Existing Tree Schedule							
Tree #	Species	Calliper	Height	Spread	Removal	Health	Rational
1	Fraxinus Pennsylvanica	10cm	1m	4m	Remain	Good	NA
2	Fraxinus Pennsylvanica	10cm	1m	4m	Remove	Poor	Remove due to the conflict with the driveway



NOTE

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ISSUED	DATE
Issued for Review	2026/01/30
Issued for DP	2026/02/23

SEALS

NOT FOR
CONSTRUCTION

SCALE	As indicated	
DATE	1/29/2026 12:38:29 PM	TRUE NORTH
DRAWN BY	FL	
CHECKED BY	AG	
PROJECT NO.	25.022	
DRAWING TITLE	Public Tree Protection & Removal Plan	
DRAWING NO.	L0.01	

	property line
	setback line
	urw line
	existing 1.5m black chain link fence with privacy slats
	existing gas line - refer to civil
	existing telus line - refer to civil
	existing power line - refer to civil
	existing sanitary line - refer to civil
	existing water line - refer to civil
	existing storm line - refer to civil
	tree protection fence - refer to detail 2 sheet L0.01, typ.
	proposed 1.2m wood fence - refer to arch.
	proposed 1.8m wood fencing or privacy screening - refer to arch.
	roof overhang - refer to arch.

	existing site tree - do not disturb
	public tree removal - refer to existing tree schedule
	building entry

Soft Surface Landscape Areas	
hatch	description
S1	bluegrass sod
S2	planting bed w/ bark mulch and growing media for trees and shrubs
Hard Surface Landscape Areas	
hatch	description
	concrete - refer to arch
	asphalt - refer to arch
	gravel for parking - refer to arch
S3	decorative gravel - 20mm limestone

tag	description
1.01	shrub planting bed, typ. - refer to detail 2 Sheet L1.01

Softscape assemblies

The diagrams illustrate three different softscape assembly methods, each shown in a cross-sectional view with dimensions and material labels.

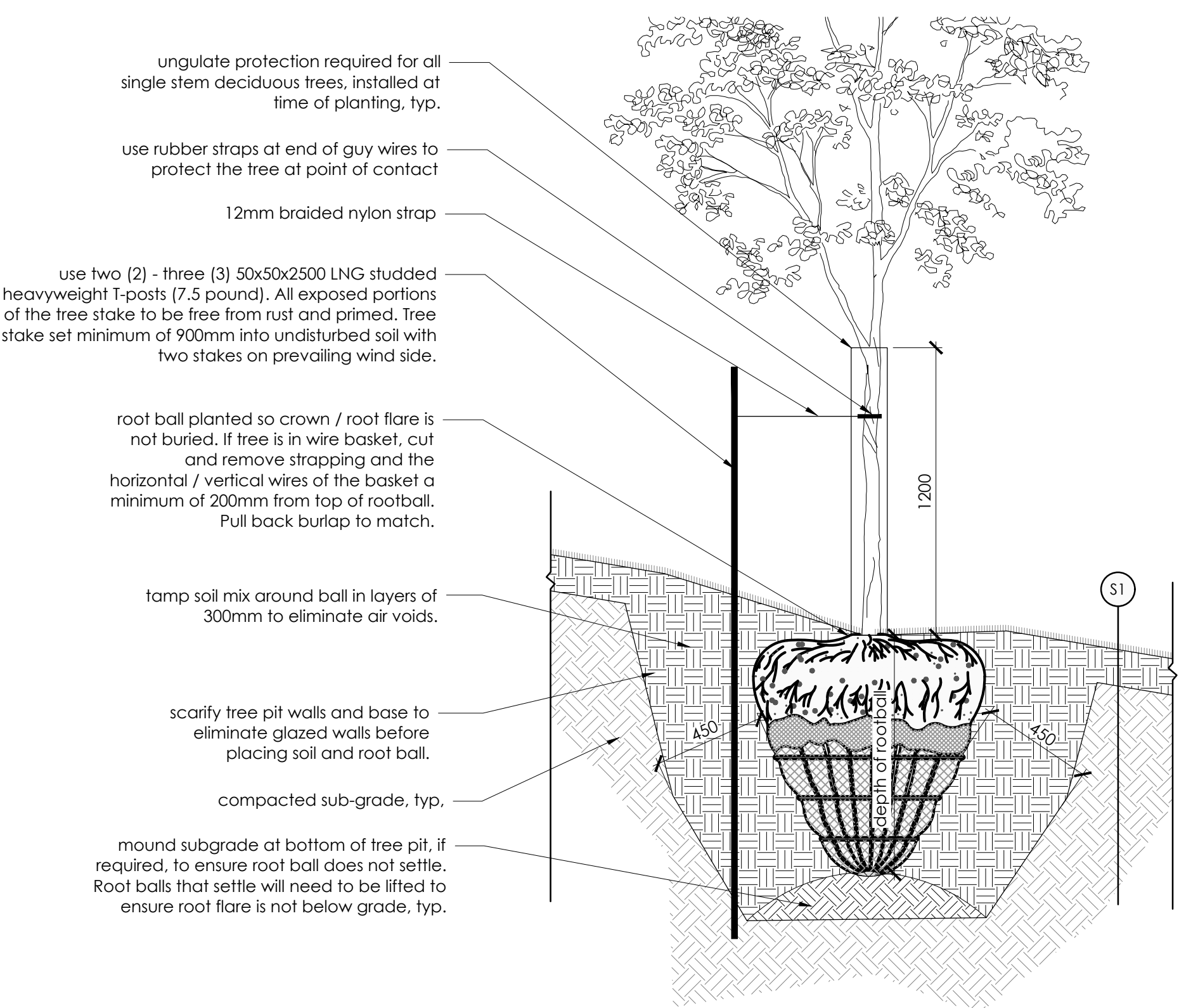
- S1 Sod:** This assembly consists of a 150mm thick layer of bluegrass sod placed over a growing media layer (typical thickness 100mm). Below the growing media is a subgrade compacted to 98% SPD, typical.
- S2 Planting bed:** This assembly features a 75mm thick layer of bark mulch over a growing media layer (typical thickness 600mm). The growing media is compacted to 70% typical. Below the growing media is a subgrade compacted to 98% typical.
- S3 Decorative gravel:** This assembly includes a 50mm thick layer of 20mm diameter limestone over a non-woven geotextile layer (typical thickness 100mm). Below the geotextile is a subgrade compacted to 98% typical.

1. Site plan prepared using information provided by S2 Architecture, received February 17, 2026.
2. All drawings are property of Landscape Architect.
3. Site clean up is incidental to the project.
4. All soft landscape areas are to be sloped to ensure positive drainage away from structures, unless noted otherwise.
5. All drawings are metric unless otherwise noted.
6. Refer to related disciplines as indicated on plans where applicable.
7. Disturbance outside of the Property Line is to be repaired to the satisfaction of the Landscape Architect.
8. All softscape shall be non irrigated. New plant material will be watered during the maintenance period to obtain establishment.

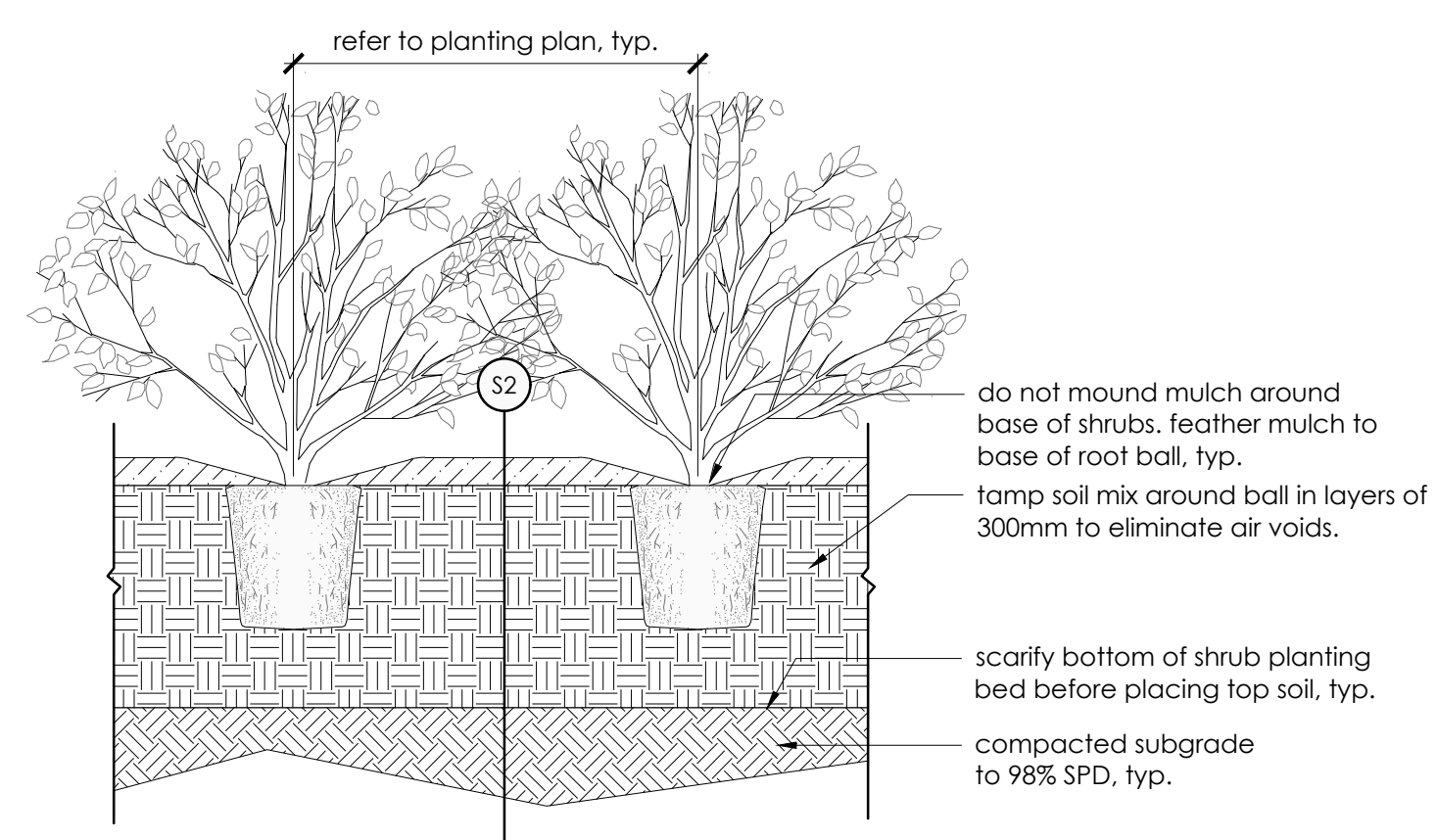
1. All planting shall be approved on-site by Landscape Architect prior to installation on private property. Contractor to notify Landscape Architect of any changes to approved planting.
2. Any planting in City of Calgary boulevard shall be performed and inspected in accordance with Parks Development Conditions and Standard Specifications - Landscape Construction Current Edition. Contractor to contact Parks Development Inspector to arrange on planting.
3. No stock piling or dumping of construction materials is permitted on site.
4. All plant material to be disease free and true to form, specimen grade single stem stock - unless noted otherwise.
5. Plant material list was prepared for estimating purposes only. Contractor shall make adjustments to quantities using drawings to determine quantities, reporting promptly and discrepancies which may affect bidding.
6. Contractor to adjust quantities when required to meet the satisfaction of the Landscape Architect.
7. Landscape Architect is not responsible for animal foraging.

Trees						
Code	Botanical Name/ Common Name	Qty	Height	Spread	Caliper	Remarks
SCSM	Acer saccharinum 'Silver Cloud'	4	15.0	9.7m	50mm	
	Silver Cloud Silver Maple					

Shrubs						
Code	Botanical Name/ Common Name	Qty	Height	Spread	Caliper	Remarks
afdr	Cornus sericea 'Farrow'	5	0.9m	0.9m	#2	---
	Arctic Fire Red Twig Dogwood					
msd	Potentilla fruticosa 'Morden Snow'	7	0.9m	0.9m	#2	---
	Morden Snow Potentilla					
pbp	Potentilla fruticosa 'Pink Beauty'	3	0.9m	0.9m	#2	---
	Pink Beauty Potentilla					
rb	Barberis thunbergii 'Baltane'	7	0.9m	0.9m	#2	---
	Ruby Caroussel Japanese Barberry					
slmp	Pinus mugo 'Slowmound'	4	1.2m	0.7m	#2	---
	Slowmound Mugo Pine					
ccj	Juniperus sabinia 'Calgary Carpet'	2	0.35m	1.5m	#2	---
	Calgary Carpet Juniper					



3	Decidious Tree Planted In Sod On Slope, typ.
L1.01	1:20



2	Shrub Planting Bed, typ.
L1.01	1:20

the **TULA** project

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CHECKED BY AG

PROJECT NO. 25.022

DRAWING TITLE

DRAWING NO.

L1.01



