

CAPITOL HILL MULTI-FAMILY

S2ARCHITECTURE

CALGARY | EDMONTON | VANCOUVER

CONSULTANT INFORMATION

ISSUED FOR DR-1 DP REVISIONS



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CAPITOL HILL MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT NW, CALGARY, AB

CLIENT
UNITII

- NOTE
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PROJECT NO. 225150

DRAWING TITLE

COVER SHEET

DRAWING NO.

DP0.00

Design Team

CLIENT:	ARCHITECT:	CIVIL:	LANDSCAPE:	CONSULTANT:	CONSULTANT:
	S2ARCHITECTURE				
	S2 ARCHITECTURE 6TH FLOOR, 220 - 12th AVENUE SW CALGARY, AB T2R 0E9 PHONE: 403.670.7000	JUBILEE ENGINEERING 3702 EDMONTON TRAIL NE CALGARY, AB T2E 3P4 PHONE: 403.276.1101	ARQUIECOS GROUP 8 - 121 VILLAGE HEIGHTS SW CALGARY, AB T3H 2L2 PHONE: 403.618.4427	CONSULTANT NAME OWNER ADDRESS CITY, PROV. POSTAL CODE PHONE: 000.000.0000	CONSULTANT NAME OWNER ADDRESS CITY, PROV. POSTAL CODE PHONE: 000.000.0000

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250mm SANITARY LINE
150mm WATER LINE
250mm SANITARY LINE
150mm WATER LINE

CAPITOL HILL CRESCENT NW

23 AVENUE NW

300mm STORM LINE

300mm STORM LINE

1104.91

PROPERTY LINE

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S22

S22

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R-CG

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Site Plan - Kevnote Legend

S1	PROPOSED WIDENED CONCRETE WALKWAY	S12	PROPOSED PARKADE ACCESS RAMP - REFER TO DP1.03 FOR DETAILS
S2	EXISTING CITY WALKWAY	S13	PROPOSED POWER POLE LOCATION
S3	OUTLINE OF PARKADE BELOW	S14	EXISTING POWER POLE LOCATION - TO REMAIN
S4	CLASS 2 BICYCLE PARKING STALLS	S15	PROPOSED PATIO
S5	PROPOSED LANDSCAPE PLANTERS	S16	PATIO DIVIDERS
S6	PROPOSED SIAMESE CONNECTION	S17	PROPOSED TELUS / ROGERS PEDESTAL
S7	LOCKBOX LOCATION	S18	EXISTING GRAVEL LANEWAY
S8	FIRE ALARM PANEL LOCATION	S19	1.8m FENCE
S9	RESERVED	S20	EXISTING POWER POLE LOCATION - TO BE REMOVED
S10	PROPOSED TRANSFORMER	S21	LOADING STALL AND STAGING AREA. LOADING STALL TO MEET CITY OF CALGARY SPECIFICATION
S11	BOLLARD	S22	EXISTING TREES AND SHRUBS PROPOSED FOR REMOVAL (see DP0.03)
		S23	PROPOSED BARRIER FREE RAMP

Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
3. ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5. ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

Site Plan - Symbol Legend

	INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
	INDICATES EXTENT AND LOCATION OF CONCRETE SIDEWALK
	INDICATES EXTENT AND LOCATION OF CONCRETE RAMP AND LOADING SURFACE (min 25,000kg)
	INDICATES EXTENT AND LOCATION OF PATIOS & TERRACE
	INDICATES EXTENT AND LOCATION OF LANDSCAPING
	INDICATES EXTENT AND LOCATION OF LANDSCAPED PLANTERS
	INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
	INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
	INDICATES LINE OF FENCE
	INDICATES LOCATION OF EXISTING FIRE HYDRANT
	INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
	INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
	INDICATES LOCATION OF PROPOSED LIGHT STANDARD
	INDICATES LOCATION OF EXISTING LIGHT STANDARD
	INDICATES LOCATION OF PROPOSED POWER POLE
	INDICATES LOCATION OF PROPOSED POWER POLE ANCHOR
	INDICATES LOCATION OF EXISTING POWER POLE
	INDICATES LOCATION OF EXISTING POWER POLE ANCHOR
	INDICATES LOCATION OF PROPOSED LIGHT BOLLARD
	INDICATES LOCATION OF EXISTING LIGHT BOLLARD
	INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
	INDICATES LOCATION OF PROPOSED GUARD BOLLARD
	INDICATES LOCATION OF BIKE RACK
	INDICATES 'EMERGENCY VEHICLE NO PARKING' POST MOUNTED SIGNAGE
	INDICATES 'LOADING ZONE' POST MOUNTED SIGNAGE
	INDICATES EXISTING GEODETIC SPOT ELEVATION
	INDICATES PROPOSED GEODETIC SPOT ELEVATION

S2ARCHITECTURE

CALGARY | EDMONTON | VANCOUVER

CONSULTANT INFORMATION

CAPITOL HILL MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT NW, CALGARY, AB

CLIENT
UNITII

NOTE

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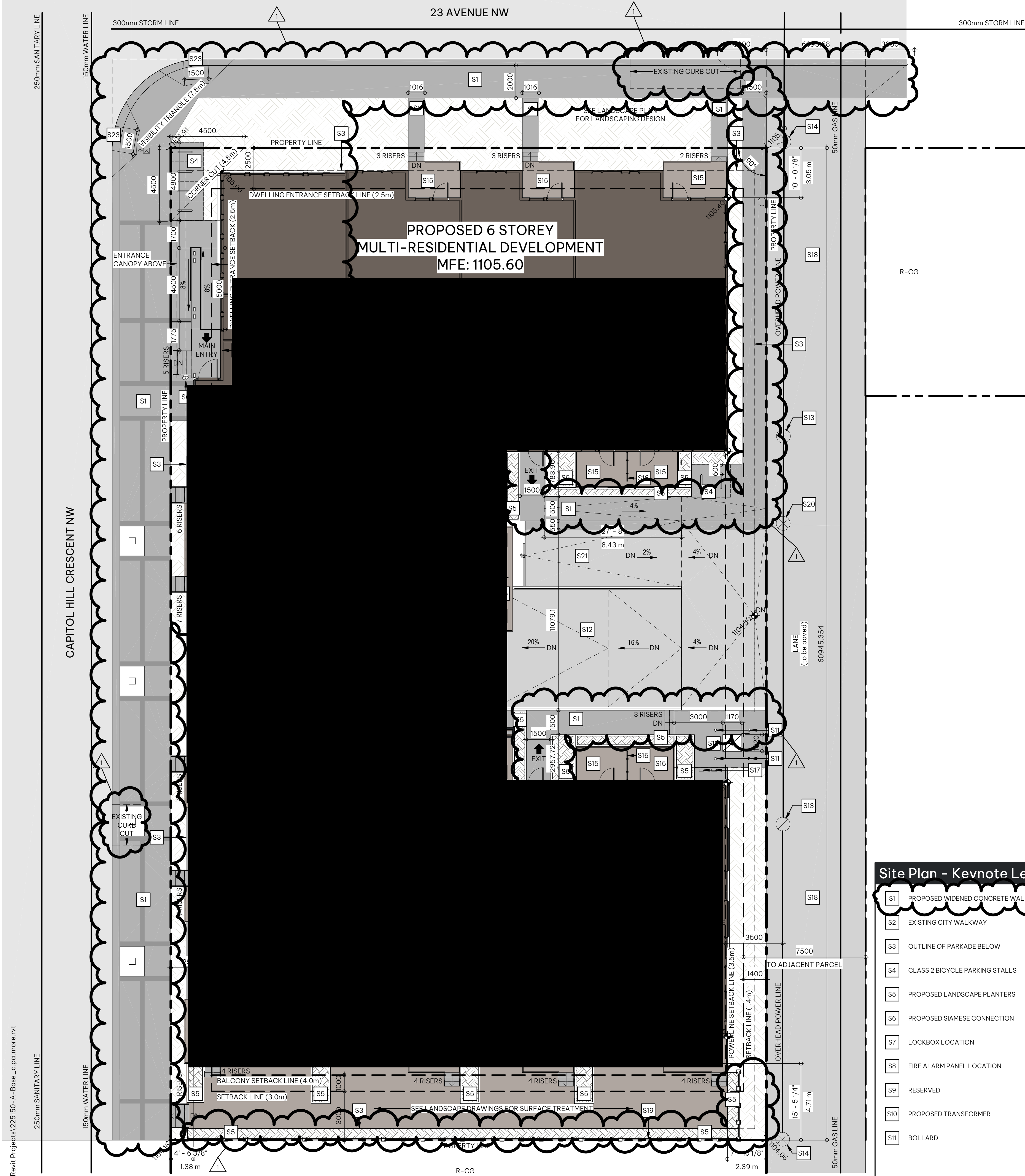
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SITE PLAN - EXISTING

DRAWING NO.

DP0.03



Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
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4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
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Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
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- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION

Site Plan - Keystone Legend

- S1 PROPOSED WIDENED CONCRETE WALKWAY
- S2 EXISTING CITY WALKWAY
- S3 OUTLINE OF PARKADE BELOW
- S4 CLASS 2 BICYCLE PARKING STALLS
- S5 PROPOSED LANDSCAPE PLANTERS
- S6 PROPOSED SIAMESE CONNECTION
- S7 LOCKBOX LOCATION
- S8 FIRE ALARM PANEL LOCATION
- S9 RESERVED
- S10 PROPOSED TRANSFORMER
- S11 BOLLARD
- S12 PROPOSED PARKADE ACCESS RAMP - REFER TO DP1.03 FOR DETAILS
- S13 PROPOSED POWER POLE LOCATION
- S14 EXISTING POWER POLE LOCATION - TO REMAIN
- S15 PROPOSED PATIO
- S16 PATIO DIVIDERS
- S17 PROPOSED TELUS / ROGERS PEDESTAL
- S18 EXISTING GRAVEL LANEWAY
- S19 1.8m FENCE
- S20 EXISTING POWER POLE LOCATION - TO BE REMOVED
- S21 LOADING STALL AND STAGING AREA. LOADING STALL TO MEET CITY OF CALGARY SPECIFICATION
- S22 EXISTING TREES AND SHRUBS PROPOSED FOR REMOVAL (see DP0.03)
- S23 PROPOSED BARRIER FREE RAMP

CAPITOL HILL MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT NW, CALGARY, AB

CLIENT
UNIT11

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PROJECT NO.	225150		

DRAWING TITLE

SITE PLAN

DRAWING NO.

DP1.00

CAPITOL HILL
MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

CLIENT
UNITII

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PROJECT NO. 225150

DRAWING TITLE

ELEVATIONS - WEST & NORTH

DRAWING NO.

DP4.00



1 West Elevation

DP2.00 | DP4.00 SCALE: 1" = 10'-0"



2 North Elevation

DP2.00 | DP4.00 SCALE: 1" = 10'-0"

Elevation - General Notes

- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | MASONRY STONE - LIGHT |
| 2 | COMPOSITE PANEL - DARK |
| 3 | FIBRE CEMENT PANEL - CHARCOAL |
| 4 | FIBRE CEMENT PANEL - WHITE |
| 5 | METAL PANEL - WOOD TONE |
| 6 | METAL TRIM - BLACK |
| 7 | FIBRE CEMENT BALCONY TRIM - DARK |
| 8 | GUARDRAIL - BLACK ALUMINUM FRAME WITH CLEAR GLASS |
| 9 | ALUMINUM CLAD PVC WINDOW - BLACK EXTERIOR FRAME WITH WHITE INTERIOR, CLEAR GLAZING |
| 10 | DOOR - BLACK CLAD PVC ALUMINUM FRAME WITH WHITE INTERIOR, CLEAR GLAZING |
| 11 | PRIVACY SCREEN |
| 12 | CONCRETE PLANTER |
| 13 | CONCRETE STEPS & LANDING |
| 14 | BARRIER FREE RAMP |
| 15 | ALUMINUM GLAZING SYSTEM - CLEAR GLASS - BLACK |
| 16 | SIAMESE CONNECTION |
| 17 | SIGNAGE |

CAPITOL HILL
MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

CLIENT
UNITII

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ELEVATIONS - EAST & SOUTH

DRAWING NO.

DP4.01



1 East Elevation

DP2.00 | DP4.01 SCALE: 1" = 10'-0"



2 South Elevation

DP2.00 | DP4.01 SCALE: 1" = 10'-0"

Elevation - General Notes

- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | MASONRY STONE - LIGHT |
| 2 | COMPOSITE PANEL - DARK |
| 3 | FIBRE CEMENT PANEL - CHARCOAL |
| 4 | FIBRE CEMENT PANEL - WHITE |
| 5 | METAL PANEL - WOOD TONE |
| 6 | METAL TRIM - BLACK |
| 7 | FIBRE CEMENT BALCONY TRIM - DARK |
| 8 | GUARDRAIL - BLACK ALUMINUM FRAME WITH CLEAR GLASS |
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| 10 | DOOR - BLACK CLAD PVC ALUMINUM FRAME WITH WHITE INTERIOR, CLEAR GLAZING |
| 11 | PRIVACY SCREEN |
| 12 | CONCRETE PLANTER |
| 13 | CONCRETE STEPS & LANDING |
| 14 | BARRIER FREE RAMP |
| 15 | ALUMINUM GLAZING SYSTEM - CLEAR GLASS - BLACK |
| 16 | SIAMESE CONNECTION |
| 17 | SIGNAGE |

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West Elevation View



Southwest Corner Perspective

CAPITOL HILL
MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

CLIENT
UNITII

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CONCEPTUAL RENDERINGS

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Northeast Corner Perspective



Northwest Corner Perspective

CAPITOL HILL
MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

CLIENT
UNITII

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CONCEPTUAL RENDERINGS

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DP6.01