

CAPITOL HILL MULTI-FAMILY

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CAPITOL HILL MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

CLIENT
UNITII

NOTE

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PROJECT NO. 225150

DRAWING TITLE

COVER SHEET

DRAWING NO.

DP0.00

Design Team

CLIENT:	ARCHITECT:	CIVIL:	LANDSCAPE:	CONSULTANT:	CONSULTANT:
					
UNITII CORP. 101, 253 - 62 AVENUE SE CALGARY, AB T2H 0R5 PHONE: 403.943.9388	S2 ARCHITECTURE 6TH FLOOR, 220 - 12th AVENUE SW CALGARY, AB T2R 0E9 PHONE: 403.670.7000	JUBILEE ENGINEERING 3702 EDMONTON TRAIL NE CALGARY, AB T2E 3P4 PHONE: 403.276.1101	ARQUIECOS GROUP 8 - 121 VILLAGE HEIGHTS SW CALGARY, AB T3H 2L2 PHONE: 403.618.4427	CONSULTANT NAME OWNER ADDRESS CITY, PROV. POSTAL CODE PHONE: 000.000.0000	CONSULTANT NAME OWNER ADDRESS CITY, PROV. POSTAL CODE PHONE: 000.000.0000

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CAPITOL HILL
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2352, 2356, 2364 CAPITOL HILL CRESCENT
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PROJECT INFORMATION

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Vicinity Map



Municipal Address

2352, 2356, 2364 CAPITOL HILL CRESCENT NW
CALGARY, AB

COMMUNITY BANFF TRAIL

Legal Address

LOT 13-16, BLOCK 3, PLAN 9110GI within S.W.1/4 Sec.29, Twp.24, Rge.1, W. 5M

Site Summary

24,000sf 2,230m² 0.55ac 0.223ha

By-Law Zoning

DIRECT CONTROL DISTRICT DC - 202D2024
PART 14: MIXED USE DISTRICTS DIVISION 1 & DIVISION 2: MIXED USE
GENERAL MU-1 BYLAW 1P2007 DISTRICT RULES

Proposed Development

MULTI-RESIDENTIAL DEVELOPMENT

BUILDING CLASSIFICATION AS PER ALBERTA BUILDING CODE:

3.2.2.51 GROUP C, UP TO 6 STOREYS, SPRINKLERED
GROUP C (RESIDENTIAL)
GROUP F, DIVISION 3 (PARKADE)

*FIREWALL ADDED TO MEET FIRE FLOW REQUIREMENTS

By-Law Setback

MINIMUM SETBACK AREAS

WHERE A PARCEL SHARES A PROPERTY LINE WITH:
a) A STREET 0.0m
b) ANOTHER PARCEL 3.0m
c) A LANE THAT SEPARATES THE PARCEL FROM A PARCEL DESIGNATED AS RESIDENTIAL DISTRICT (MEASURED FROM THE PL THAT THE ADJACENT PARCEL SHARES WITH THE LANE) 7.5m

NOTE:
7.5m CORNER VISIBILITY SETBACK
LOCATED ON NORTHWEST CORNER OF PARCEL

Dwelling Unit Count

UNIT SUMMARY			
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY
1JB	JUNIOR - 1 BED	516m ²	6
1JB-2	JUNIOR - 1 BED	416m ²	2
1JB-3	JUNIOR - 1 BED	530m ²	9
1B	1 BED	590m ²	53
1B-2	1 BED	600m ²	11
2B	2 BED	822m ²	11
2B-2	2 BED	807m ²	12
2B-3	2 BED	798m ²	12
TOTAL			116

Density

DENSITY (UNITS PER HECTARE)		
MIN. PERMITTED	MAX. PERMITTED	PROPOSED
150 uph	N/A	520 uph

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA

1 ST LEVEL	1,420m ²	15,284sf
2 ND LEVEL	1,430m ²	15,392sf
3 RD LEVEL	1,430m ²	15,392sf
4 TH LEVEL	1,430m ²	15,392sf
5 TH LEVEL	1,430m ²	15,392sf
6 TH LEVEL	1,405m ²	15,123sf
TOTAL FLOOR AREA	8,545m ²	91,975sf

P1 LEVEL	2,075m ²	22,335sf
P2 LEVEL	2,075m ²	22,335sf
PARKADE AREA TOTAL	4,150m ²	44,670sf

Building Height

MAXIMUM BUILDING HEIGHT	23.0m	75' 5-1/2'
PROPOSED	6 STOREYS	65' 8"

Floor Area Ratio

MAXIMUM PERMITTED F.A.R.	PROPOSED F.A.R.
4.0	3.8

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
P1 - PARKADE STALLS	116	0.6	70	27
P2 - PARKADE STALLS				46
TOTAL				73

RESIDENTIAL - VISITOR PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
VISITOR STALLS - PARKADE	116	0.08	10	10

	REQUIRED	PROVIDED
BARRIER FREE STALLS	5	6
LOADING STALLS	1	1
EV READY STALLS	N/A	4

Bicycle Parking Requirements

RESIDENTIAL - CLASS 1 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
PARKADE BIKE STORAGE	116	0.5	58	64

RESIDENTIAL - CLASS 2 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
BIKE STALLS	116	0.1	12	12

Landscape Summary

*SEE LANDSCAPE DRAWINGS FOR LANDSCAPE INFORMATION

Waste & Recycling Requirements

RESIDENTIAL - WASTE & RECYCLING						
BUILDINGS #		NO. OF BINS (3 yd ³)		STORAGE		
DESCRIPTION	QUANTITY	REQUIRED	PROVIDED	REQUIR...	PROVI...	STAGING
DWELLING UNIT	116	6	6	54m ²	54m ²	27m ²

CALCULATIONS:
(116 UNITS / 10) x 3 yd³ = 34.8 yd³ TOTAL WASTE & RECYCLING PRODUCED
34.8 yd³ / 3 yd³ = 11.6 BINS
11.6 BINS / 2 = 5.8 = **6 BINS (BI-WEEKLY COLLECTION)**

6 BINS x 9 m² = **54 m² STORAGE AREA**
54 m² STORAGE AREA / 2 = **27 m² STAGING AREA**

PROVIDED:
3yd³ WASTE BINS = 3 BINS
3yd³ RECYCLING BINS = 3 BINS
3yd³ COMPOST BIN = 1 BIN

Amenity Schedule

PRIVATE AMENITY SPACE

REQUIRED MINIMUM AMENITY SPACE OF 5.0m² PER UNIT;
MUST NOT HAVE A DIMENSION LESS THAN 2.0m

PROVIDED 111 OF 116 UNITS WITH COMPLIANT BALCONIES
BALCONIES LEVELS 2-6 HAVE AREA GREATER THAN 5m²
BALCONIES LEVEL 1 MEET MINIMUM DIMENSION REQUIREMENT OF 2.0m
*REMAINING AMENITY AREA PROVIDED IN 6TH FLOOR COMMON AMENITY SPACE

COMMON AMENITY SPACE

REQUIRED MUST HAVE A CONTINUOUS AREA OF NOT LESS THAN 50.0m²;
MUST NOT HAVE A DIMENSION LESS THAN 6.0m;
COMMON AMENITY SPACE OUTDOORS MUST PROVIDE A BALCONY, DECK OR PATIO AND AT LEAST ONE OF THE FOLLOWING AS PERMANENT FEATURE: A BARBEQUE OR SEATING

PROVIDED INDOOR FITNESS AREA (57m²) PROVIDED ON MAIN LEVEL WITH NO DIMENSION LESS THAN 6.0m
INDOOR AMENITY AREA (80m²) PROVIDED ON LEVEL 6 [57.0m² MEETS MINIMUM DIMENSION REQUIREMENT OF 6.0m]
OUTDOOR AMENITY ROOF TOP PATIO (25m²) PROVIDED ON LEVEL 6 [DIMENSIONS DO NOT MEET THE MINIMUM REQUIREMENT OF 6.0m]

PRIVATE AMENITY SPACE

1 ST LEVEL	13 Units x 5m ² = 65.0m ² 3 Units x 4.35m ² = 15.0m ² 2 Units x 4.77m ² = 10.0m ²	65.0m ² 13.1m ² 9.5m ²
2 ND LEVEL	20 Units x 5m ² = 100.0m ²	100.0m ²
3 RD LEVEL	20 Units x 5m ² = 100.0m ²	100.0m ²
4 TH LEVEL	20 Units x 5m ² = 100.0m ²	100.0m ²
5 TH LEVEL	20 Units x 5m ² = 100.0m ²	100.0m ²
6 TH LEVEL	18 Units x 5m ² = 90.0m ²	90.0m ²
TOTAL AREA	116 Units	580.0m ² 577.6m ²

COMMON AMENITY SPACE

1 ST LEVEL	FITNESS AREA	57.0m ²
6 TH LEVEL	INDOOR SPACE	63.0m ²
TOTAL AREA		2.4m ² 120.0m ²

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PROJECT NO. 225150

DRAWING TITLE

SURVEY

DRAWING NO.

DP0.02

SITE PLAN

MUNICIPAL ADDRESS:
2352, 2356, 2364 CAPITOL HILL CRESCENT N.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOTS 13-16
BLOCK 3
PLAN 9110 Q1

PREPARED FOR: Unitii

DATE OF SURVEY: August 15th, 2025

SCALE: 1:200

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

2F--Second Floor
BC--Back of Curb
BW--Back of Walkway
CWL--Centerline
Cov--Concrete
Elev--Elevation
Enc--Encroachment
L--Length of Arc
LCL--Line of Centerline
MFL--Main Floor
MFLF--Main Floor Elevation
R--Radius
RW--Right of Way
Ret--Retaining
RPE--Roof Peak Elevation
MB--Bottom of Wall
MT--Top of Wall

NOTE:

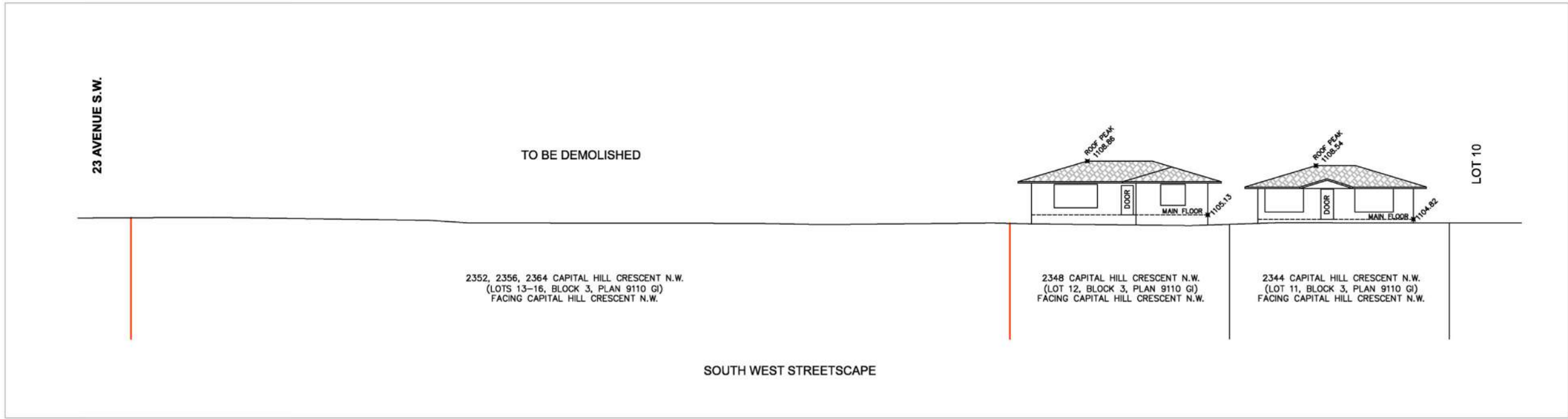
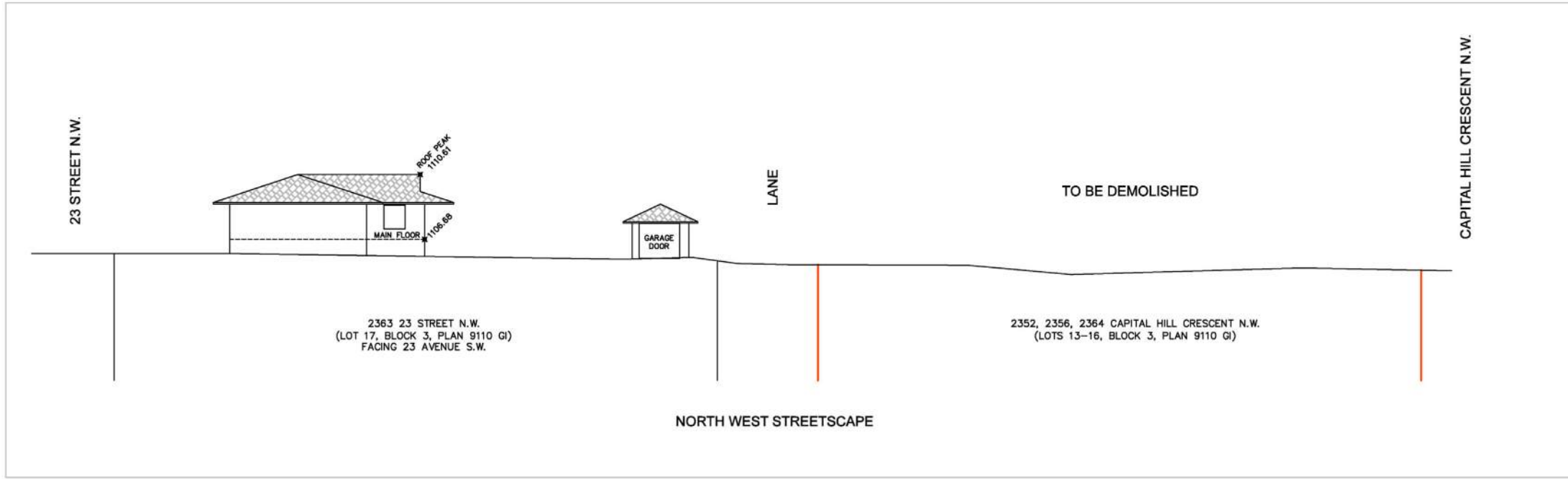
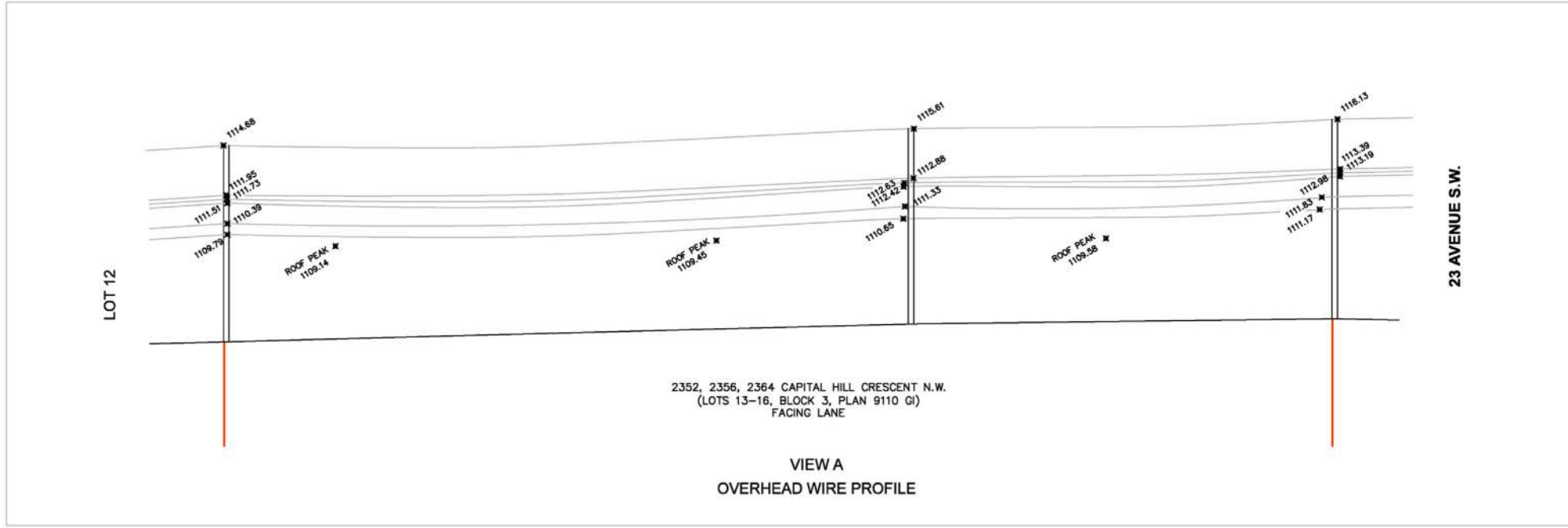
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 2° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.99973
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Directions are derived from ACMM - 2017.
- Existing spot elevations are shown thus: Δ 1000.00
- The Certificate of Title 981 167 028 for Lot 13 which was searched on the 22nd day of August, 2025, and includes the following instruments:
No Registrations.
The Certificate of Title 031 263 933 for Lot 14 and South East Half of Lot 15 which was searched on the 22nd day of August, 2025, and includes the following instruments:
No Registrations.
The Certificate of Title 991 111 252 for the North West Half of Lot 15 and Lot 16 which was searched on the 22nd day of August, 2025, and includes the following instruments:
No Registrations.
- The utility information is acquired from "The City of Calgary Engineering Department" Drawing No. 21, 184, 185 & 188 in Sacs 29-24-Sigs 1-W 3M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and executor to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk DBH (cm)	Canopy Area (sq m)	Height (m)	Location
11	Coniferous	0.40	4.00	14.00	In Subject Property
12	Coniferous	0.40	4.00	14.00	In Subject Property
13	Coniferous	0.40	4.00	14.00	In Subject Property
14	Coniferous	0.40	4.00	14.00	In Subject Property
15	Deciduous	0.50	4.00	8.00	In Subject Property
16	Bush	1.50	2.00	2.00	In Subject Property
17	Deciduous	0.50	4.00	6.00	In Subject Property
18	Bush	2.00	6.00	6.00	In Subject Property
19	Bush	3.00	6.00	6.00	In Subject Property
20	Bush	3.00	6.00	6.00	In Subject Property
21	Deciduous	0.10	0.50	4.00	In City Property
22	Deciduous	0.10	0.50	4.00	In City Property
23	Deciduous	0.10	0.50	4.00	In City Property
24	Deciduous	0.10	0.50	4.00	In City Property
25	Deciduous	0.10	0.50	4.00	In City Property
26	Bush	2.00	2.00	2.00	In Subject Property
27	Bush	2.00	2.00	2.00	In Subject Property
28	Bush	2.00	2.00	2.00	In Subject Property
29	Bush	2.00	2.00	2.00	In Subject Property
30	Coniferous	1.00	6.00	6.00	In Subject Property
31	Bush	4.00	6.00	6.00	In Subject Property
32	Bush	4.00	6.00	6.00	In Subject Property
33	Deciduous	0.10	0.50	4.00	In City Property
34	Deciduous	0.10	0.50	4.00	In City Property
35	Deciduous	0.10	0.50	4.00	In City Property
36	Deciduous	0.10	0.50	4.00	In City Property
37	Deciduous	0.10	0.50	4.00	In City Property
38	Deciduous	0.10	0.50	4.00	In City Property
39	Deciduous	0.10	0.50	4.00	In City Property
40	Deciduous	0.10	0.50	4.00	In City Property
41	Deciduous	0.10	0.50	4.00	In City Property
42	Deciduous	0.10	0.50	4.00	In City Property
43	Deciduous	0.10	0.50	4.00	In City Property
44	Deciduous	0.10	0.50	4.00	In City Property
45	Deciduous	0.10	0.50	4.00	In City Property
46	Deciduous	0.10	0.50	4.00	In City Property
47	Deciduous	0.10	0.50	4.00	In City Property
48	Deciduous	0.10	0.50	4.00	In City Property
49	Deciduous	0.10	0.50	4.00	In City Property
50	Deciduous	0.10	0.50	4.00	In City Property

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Horizon Land Surveys Inc.
130 Bowmore Centre N.W. P. 403-719-0272
Calgary, Alberta T2B 0A5 F. 403-775-4171

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PROJECT NO. 225150

DRAWING TITLE

SITE PLAN

DRAWING NO.

	INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
	INDICATES EXTENT AND LOCATION OF CONCRETE SIDEWALK
	INDICATES EXTENT AND LOCATION OF CONCRETE RAMP AND LOADING SURFACE
	INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
	INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
	INDICATES LINE OF FENCE
	INDICATES LOCATION OF PROPOSED MANHOLE
	INDICATES LOCATION OF EXISTING MANHOLE
	INDICATES LOCATION OF PROPOSED FIRE HYDRANT
	INDICATES LOCATION OF EXISTING FIRE HYDRANT
	INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
	INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
	INDICATES LOCATION OF PROPOSED LIGHT STANDARD
	INDICATES LOCATION OF EXISTING LIGHT STANDARD
	INDICATES LOCATION OF PROPOSED POWER POLE
	INDICATES LOCATION OF PROPOSED POWER POLE ANCHOR
	INDICATES LOCATION OF EXISTING POWER POLE
	INDICATES LOCATION OF EXISTING POWER POLE ANCHOR
	INDICATES LOCATION OF PROPOSED LIGHT BOLLARD
	INDICATES LOCATION OF EXISTING LIGHT BOLLARD
	INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
	INDICATES LOCATION OF PROPOSED GUARD BOLLARD
	INDICATES LOCATION OF BIKE RACK
	INDICATES "EMERGENCY VEHICLE NO PARKING" POST MOUNTED SIGNAGE
	INDICATES "LOADING ZONE" POST MOUNTED SIGNAGE
	INDICATES "NO PARKING" POST MOUNTED SIGNAGE
	INDICATES EXISTING GEODETIC SPOT ELEVATION
	INDICATES PROPOSED GEODETIC SPOT ELEVATION

S1	PROPOSED CONCRETE WALKWAY	S12	PROPOSED PARKADE ACCESS RAMP - REFER TO DP1.03 FOR DETAILS
S2	EXISTING CITY WALKWAY	S13	PROPOSED POWER POLE LOCATION
S3	OUTLINE OF PARKADE BELOW	S14	EXISTING POWER POLE LOCATION - TO REMAIN
S4	CLASS 2 BICYCLE PARKING STALLS	S15	PROPOSED PATIO
S5	PROPOSED LANDSCAPE PLANTERS	S16	PATIO DIVIDERS
S6	SIAMESE CONNECTION	S17	PROPOSED TELUS / ROGERS PEDESTAL
S7	LOCKBOX LOCATION	S18	EXISTING GRAVEL LANEWAY
S8	FIRE ALARM PANEL LOCATION	S19	1.8m FENCE
S9	RESERVED	S20	EXISTING POWER POLE LOCATION - TO BE REMOVED
S10	PROPOSED TRANSFORMER	S21	LOADING STALL AND STAGING AREA. LOADING STALL TO MEET CITY OF CALGARY SPECIFICATION
S11	BOLLARD	S22	EXISTING TREES TO REMAIN



Intersection View - Northwest



23rd Street View - Northeast



Gravel Lane View - Southeast



Capitol Hill Crescent View - Southwest

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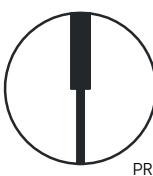
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SITE PHOTOS

DRAWING NO.

DP1.01



CAPITOL HILL
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2352, 2356, 2364 CAPITOL HILL CRESCENT
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PROJECT NO. 225150

DRAWING TITLE
ELEVATIONS - WEST & NORTH

DRAWING NO.

DP4.00



1 West Elevation

DP2.00 | DP4.00 SCALE: 1" = 10'-0"



2 North Elevation

DP2.00 | DP4.00 SCALE: 1" = 10'-0"

Elevation - General Notes

- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | MASONRY STONE - LIGHT |
| 2 | COMPOSITE PANEL - DARK |
| 3 | FIBRE CEMENT PANEL - CHARCOAL |
| 4 | FIBRE CEMENT PANEL - WHITE |
| 5 | METAL PANEL - WOOD TONE |
| 6 | METAL TRIM - BLACK |
| 7 | FIBRE CEMENT BALCONY TRIM - DARK |
| 8 | GUARDRAIL - BLACK ALUMINUM FRAME WITH CLEAR GLASS |
| 9 | ALUMINUM CLAD PVC WINDOW - BLACK EXTERIOR FRAME WITH WHITE INTERIOR, CLEAR GLAZING |
| 10 | DOOR - BLACK CLAD PVC ALUMINUM FRAME WITH WHITE INTERIOR, CLEAR GLAZING |
| 11 | PRIVACY SCREEN |
| 12 | CONCRETE PLANTER |
| 13 | CONCRETE STEPS & LANDING |
| 14 | BARRIER FREE RAMP |
| 15 | ALUMINUM GLAZING SYSTEM - CLEAR GLASS - BLACK |
| 16 | SIAMESE CONNECTION |
| 17 | SIGNAGE |

CAPITOL HILL
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2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

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CP

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CZ

PROJECT NO.
225150

DRAWING TITLE
ELEVATIONS - EAST & SOUTH

DRAWING NO.

DP4.01

1 East Elevation

DP2.00 | DP4.01 SCALE: 1" = 10'-0"



Elevation - General Notes

- ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE DARK GREY
- ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

Elevation - Keynote Legend

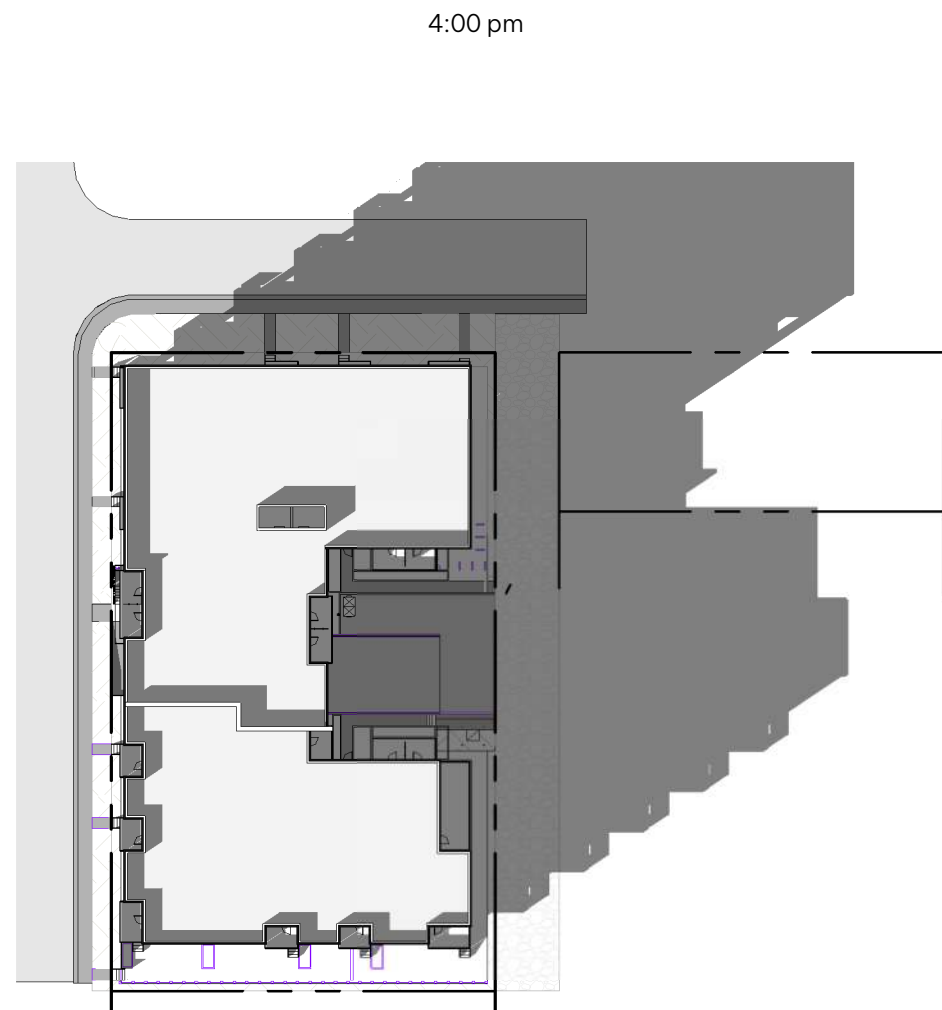
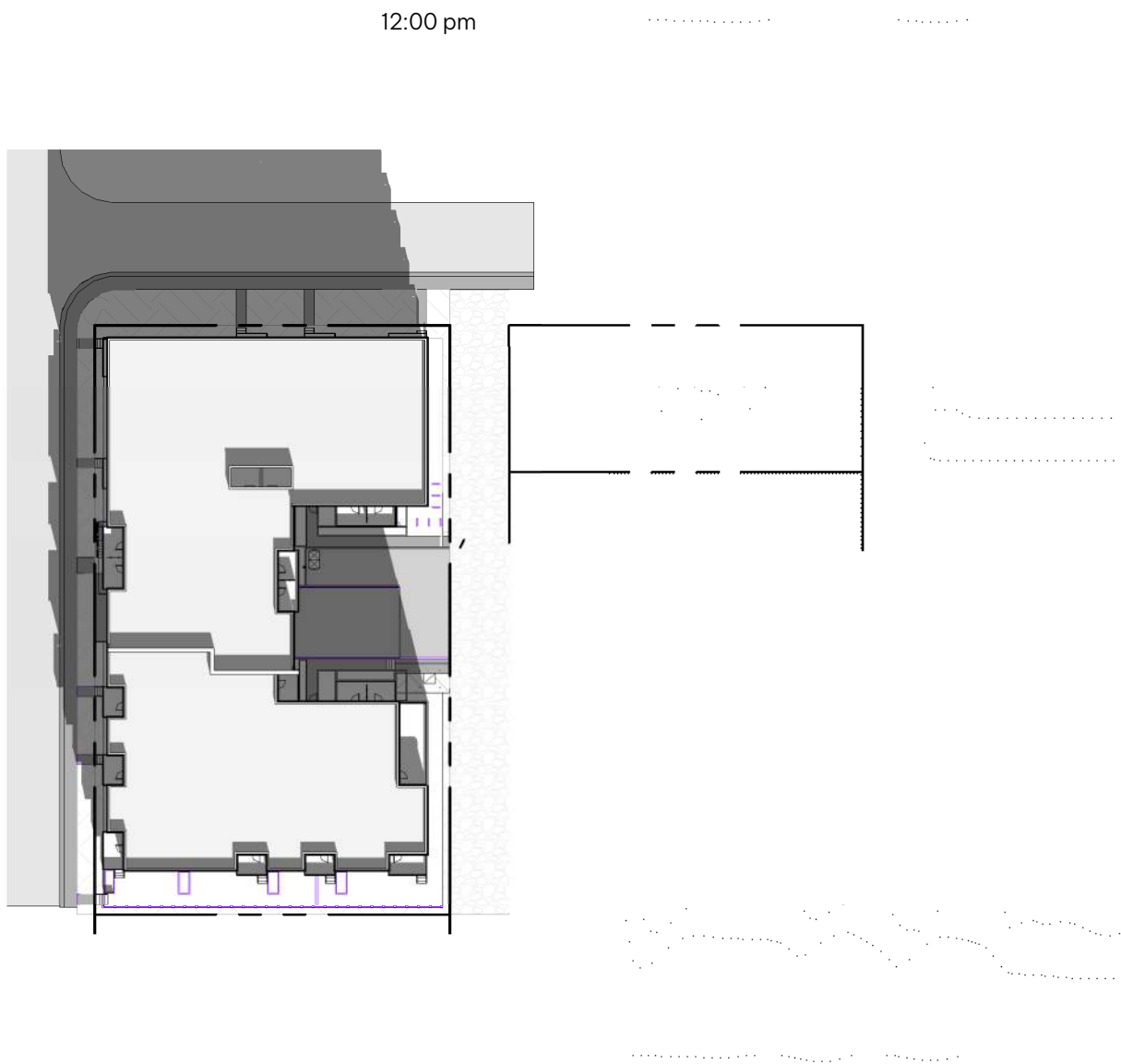
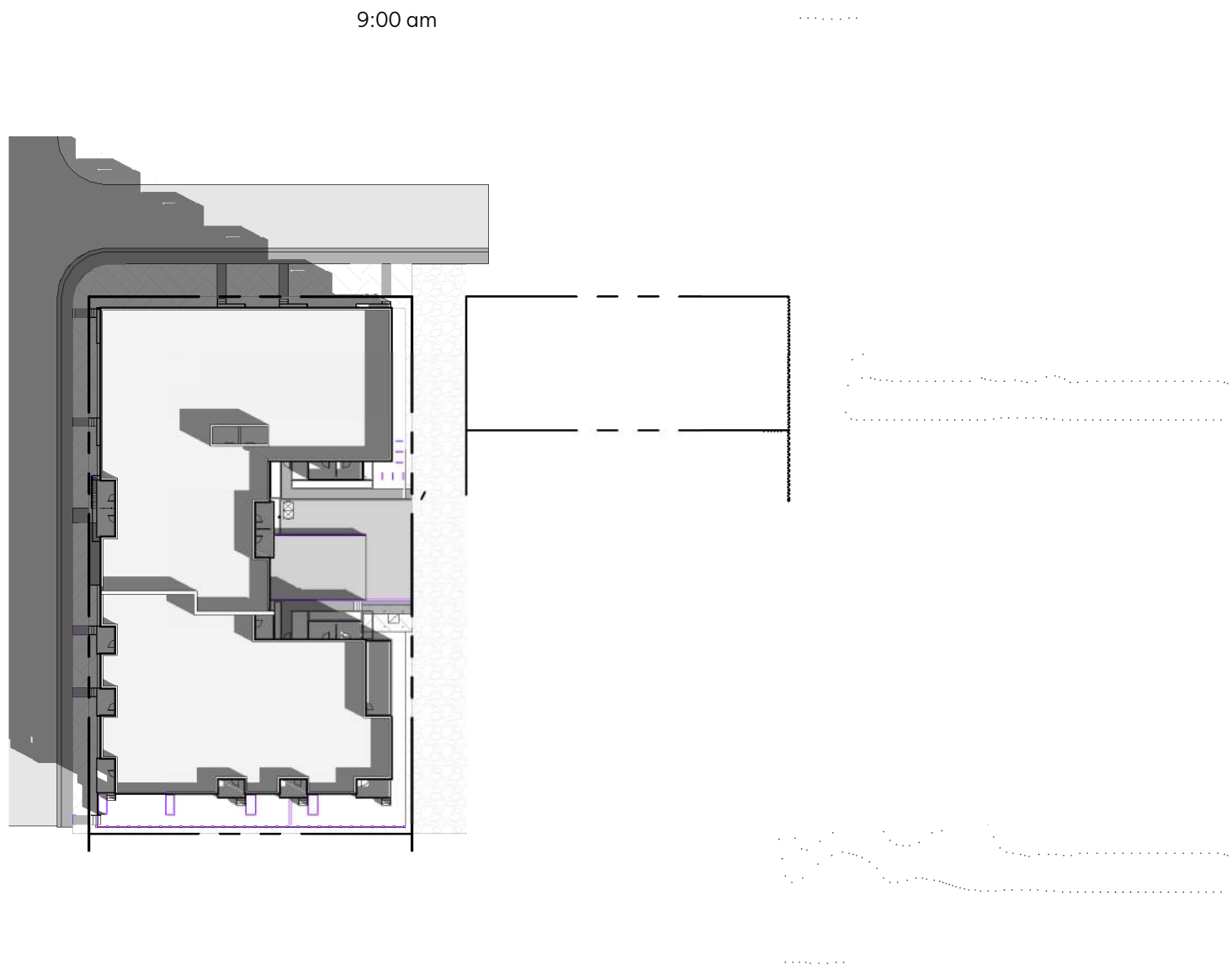
- | | |
|----|--|
| 1 | MASONRY STONE - LIGHT |
| 2 | COMPOSITE PANEL - DARK |
| 3 | FIBRE CEMENT PANEL - CHARCOAL |
| 4 | FIBRE CEMENT PANEL - WHITE |
| 5 | METAL PANEL - WOOD TONE |
| 6 | METAL TRIM - BLACK |
| 7 | FIBRE CEMENT BALCONY TRIM - DARK |
| 8 | GUARDRAIL - BLACK ALUMINUM FRAME WITH CLEAR GLASS |
| 9 | ALUMINUM CLAD PVC WINDOW - BLACK EXTERIOR FRAME WITH WHITE INTERIOR, CLEAR GLAZING |
| 10 | DOOR - BLACK CLAD PVC ALUMINUM FRAME WITH WHITE INTERIOR, CLEAR GLAZING |
| 11 | PRIVACY SCREEN |
| 12 | CONCRETE PLANTER |
| 13 | CONCRETE STEPS & LANDING |
| 14 | BARRIER FREE RAMP |
| 15 | ALUMINUM GLAZING SYSTEM - CLEAR GLASS - BLACK |
| 16 | SIAMESE CONNECTION |
| 17 | SIGNAGE |

2 South Elevation

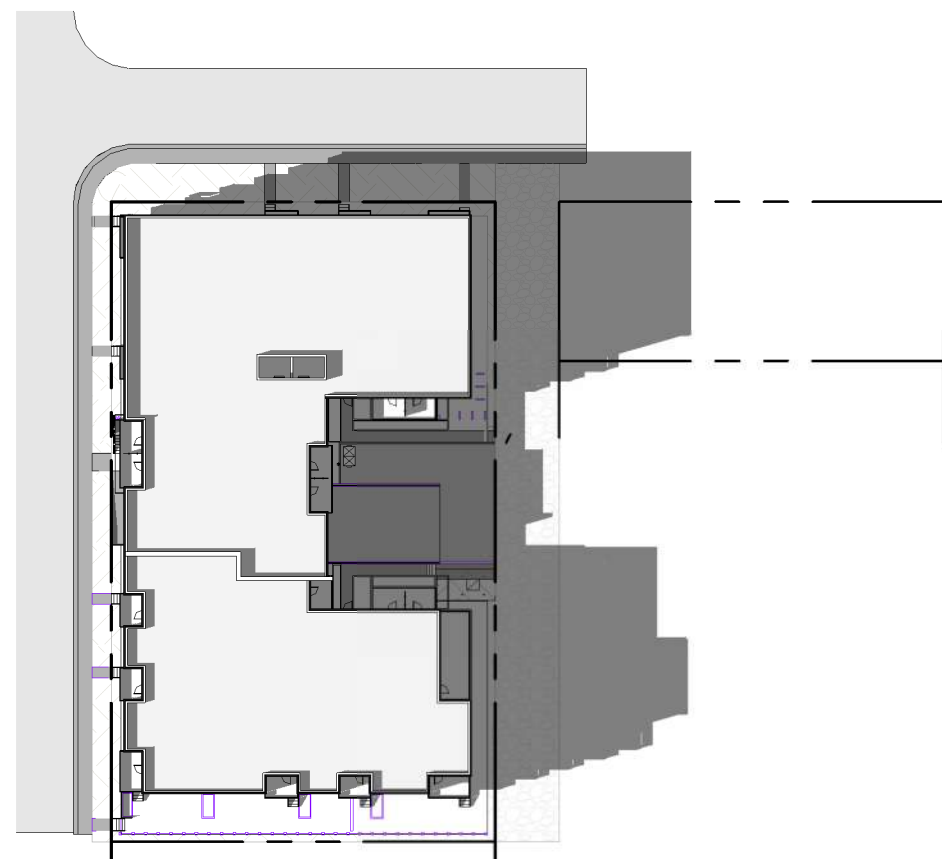
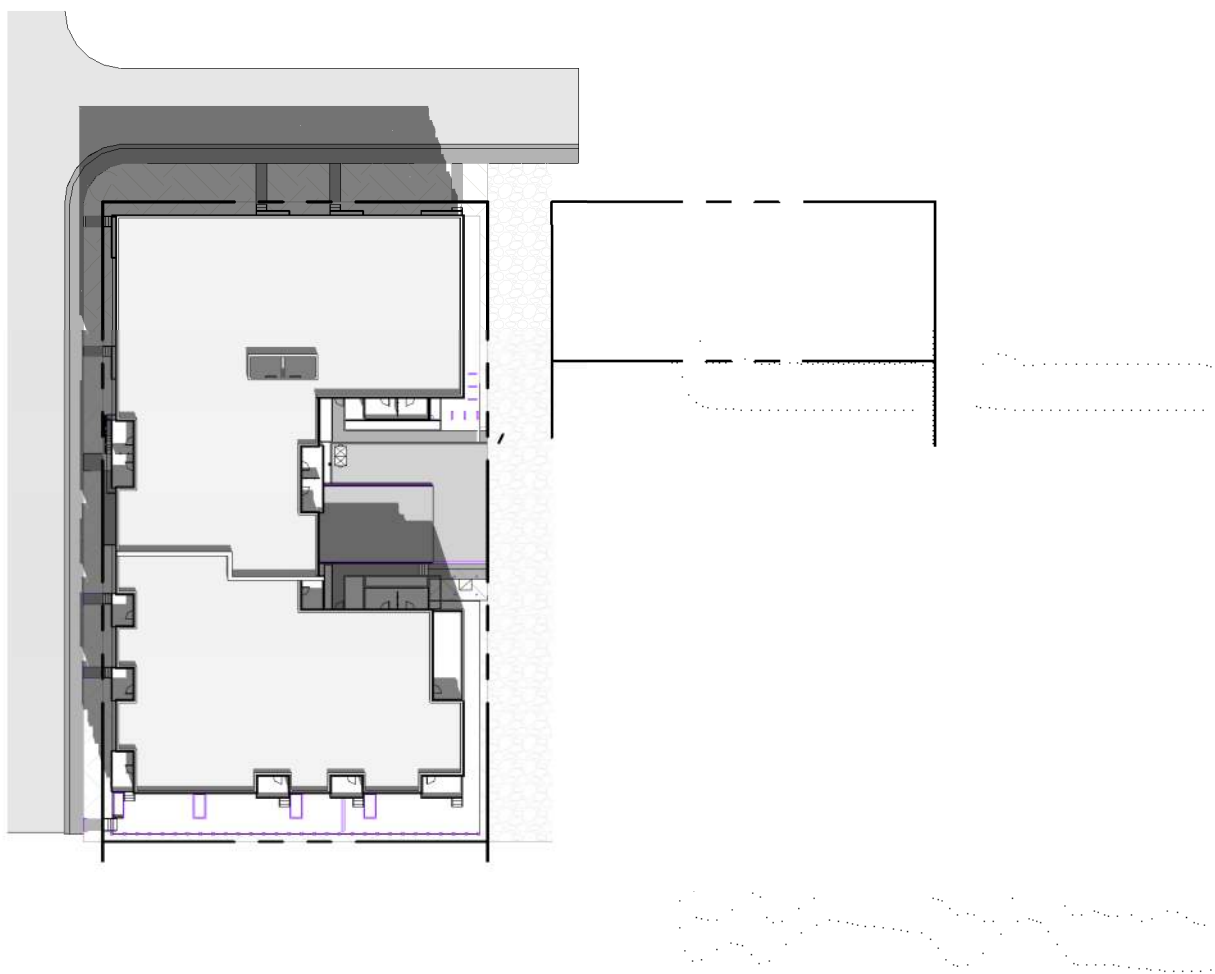
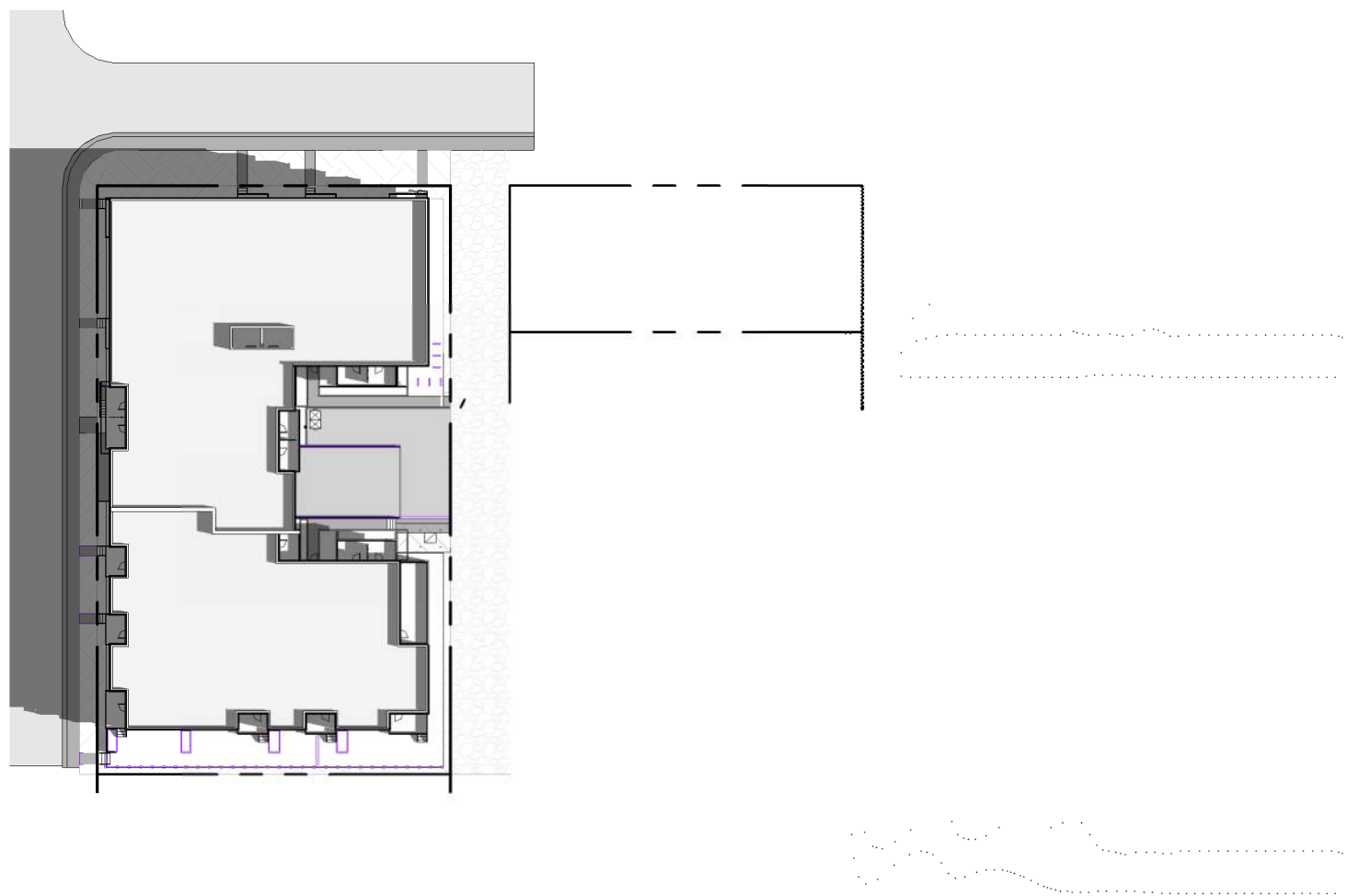
DP2.00 | DP4.01 SCALE: 1" = 10'-0"

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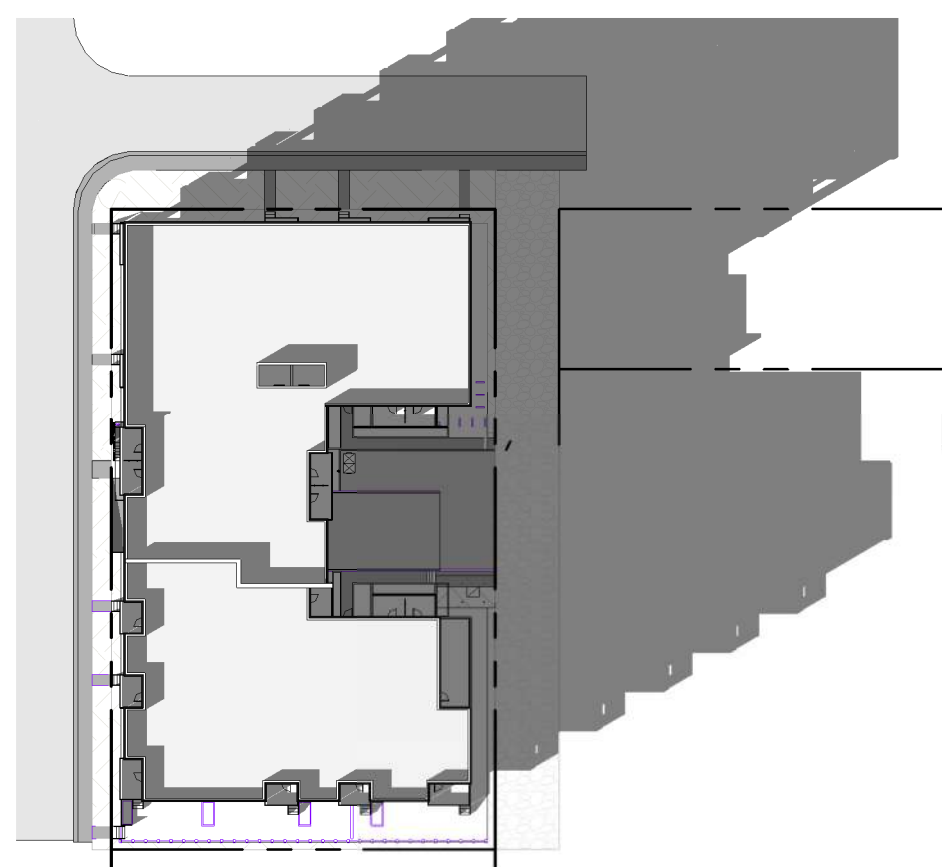
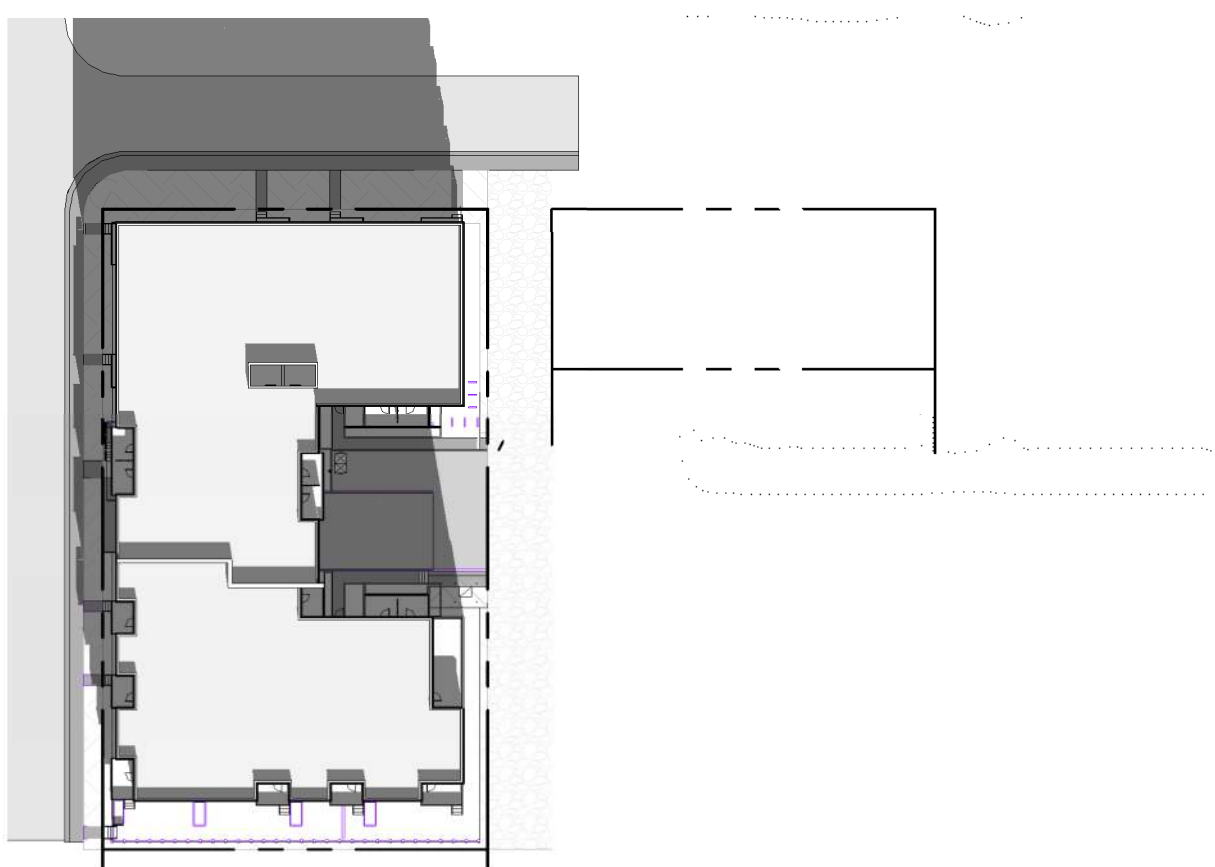
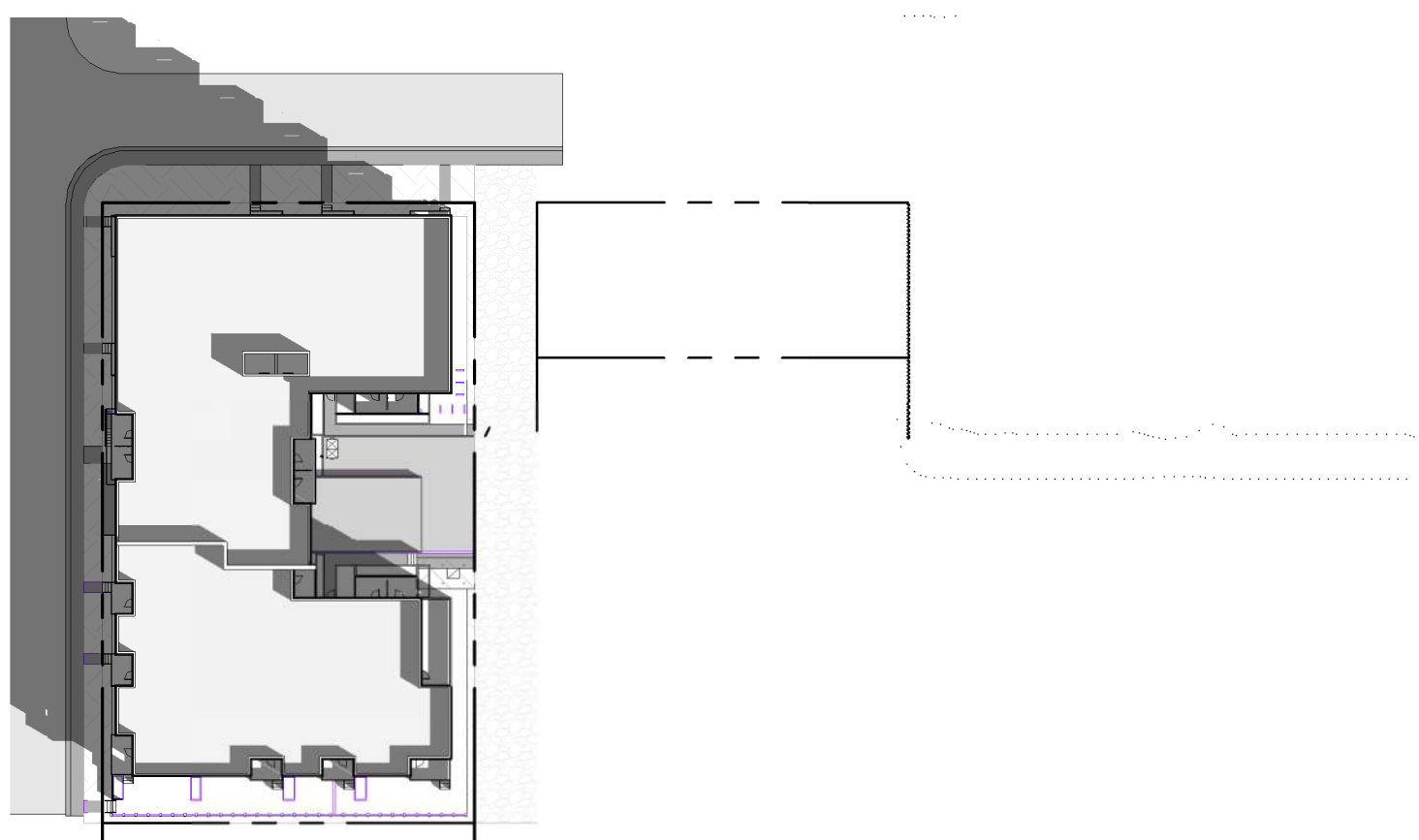
Spring Equinox
March 21st



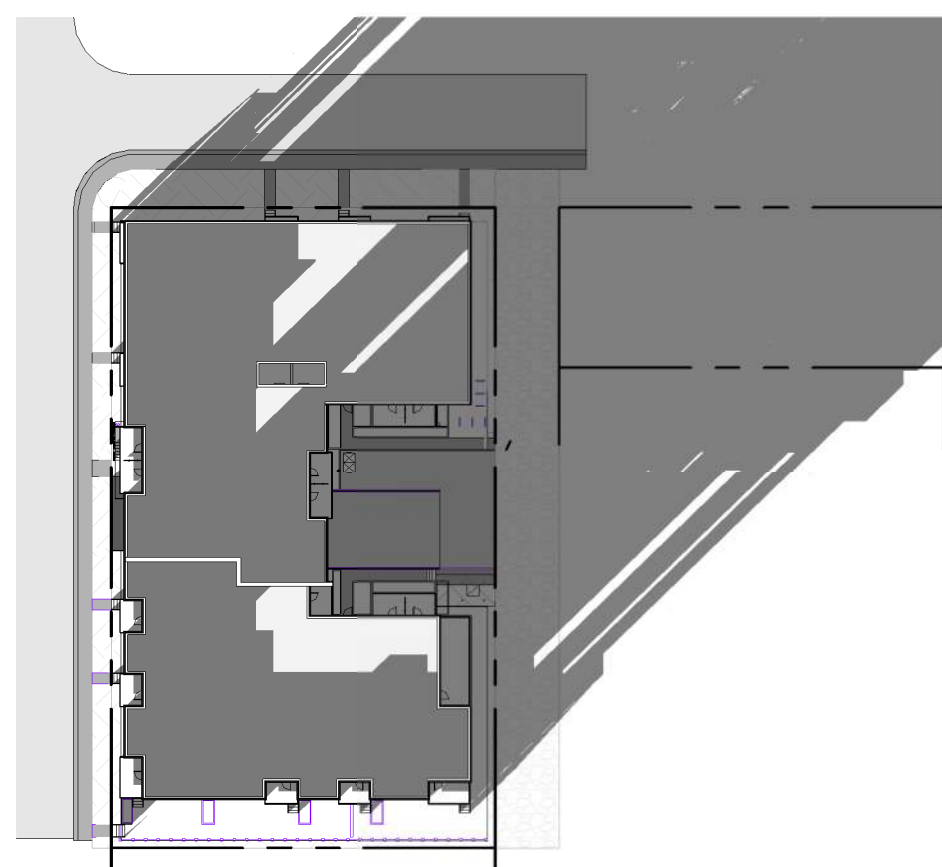
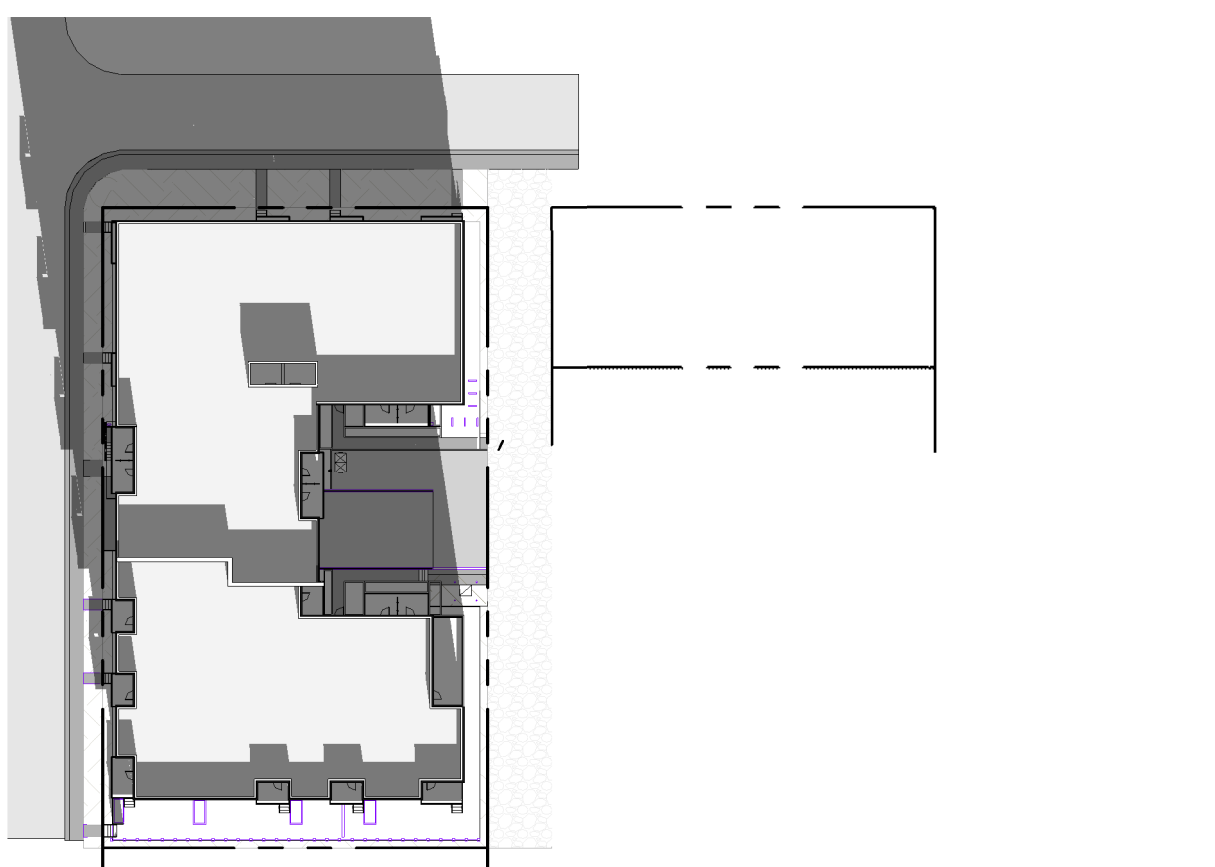
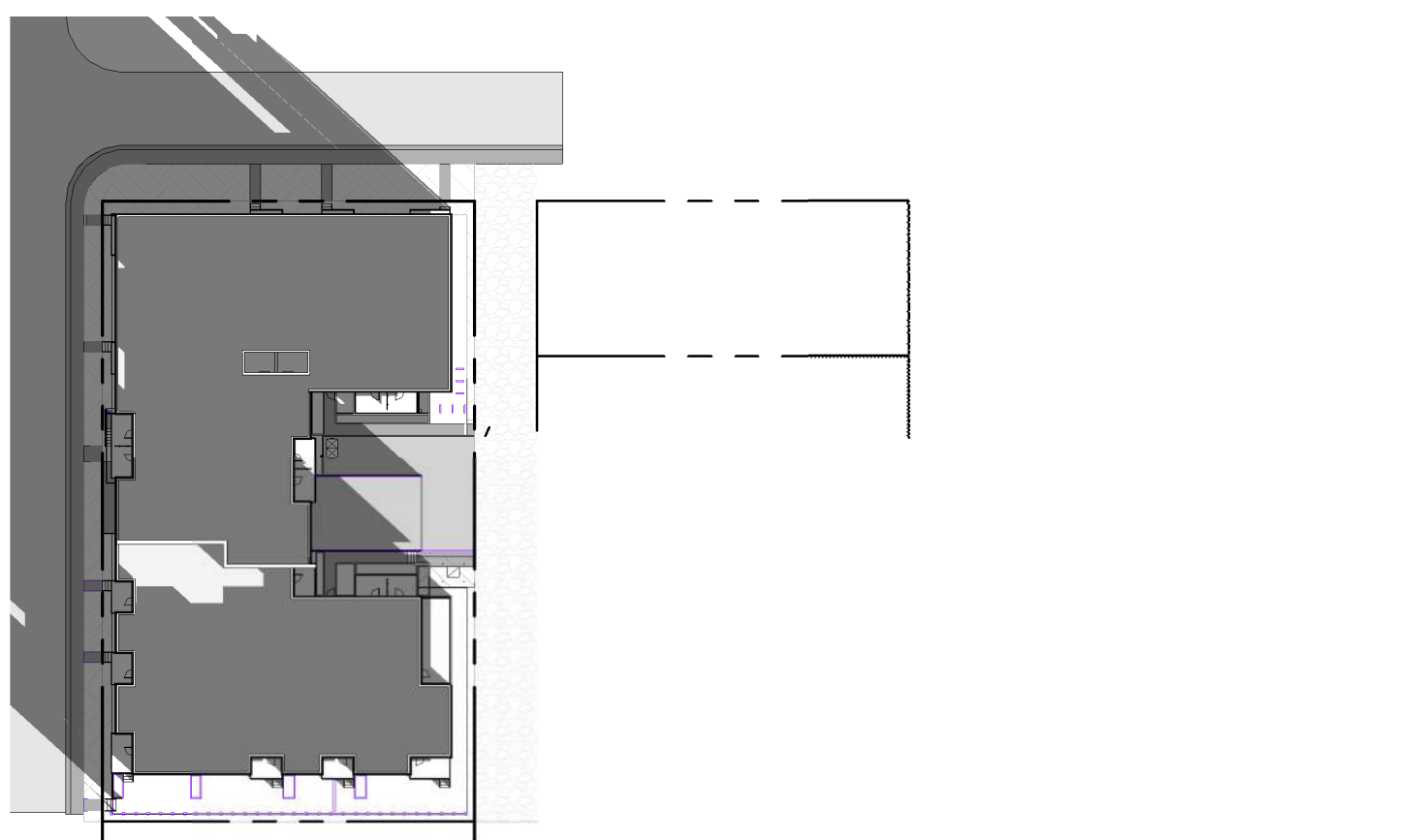
Summer Solstice
June 21st



Autumn Equinox
September 21st



Winter Solstice
December 21st



CAPITOL HILL
MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

CLIENT
UNITII

NOTE

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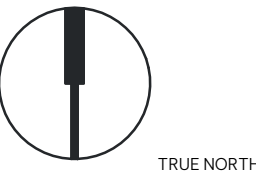
PROJECT NO. 225150

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SHADOW STUDY

DRAWING NO.

DP5.00



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West Elevation View



Southwest Corner Perspective

CAPITOL HILL
MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

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UNITII

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CONCEPTUAL RENDERINGS

DRAWING NO.

DP6.00

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Northeast Corner Perspective



Northwest Corner Perspective

CAPITOL HILL
MULTI-FAMILY

2352, 2356, 2364 CAPITOL HILL CRESCENT
NW, CALGARY, AB

CLIENT
UNITII

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DRAWING TITLE

CONCEPTUAL RENDERINGS

DRAWING NO.

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