

GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REFERRED TO THE DESIGNER FOR ADJUSTMENT BEFORE ANY WORK AFFECTED IS BEGUN.
2. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS
3. DO NOT SCALE THESE DRAWINGS
4. ALL DRAWINGS ARE COPYRIGHT MATERIAL AND MAY NOT BE REPRODUCED WITHOUT PERMISSION FROM BENJAMIN RUSSELL DESIGN

ISSUED

02/18/26 FOR DEVELOPMENT PERMIT

REVISIONS

PROJECT

2222 27TH AVENUE SW
CALGARY, ALBERTA

DRAWING TITLE

COVER PAGE

PROJECT # : 26-03

DATE : 02/18/26

DRAWN BY : JJA

SCALE : AS NOTED

SHEET : A0 OF 4



FOR CONCEPT PURPOSE ONLY-NOT FOR CONSTRUCTION

2222 27TH AVENUE SW

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PROJECT

2222 27TH AVENUE SW
CALGARY, ALBERTA

DRAWING TITLE

SITE PLAN

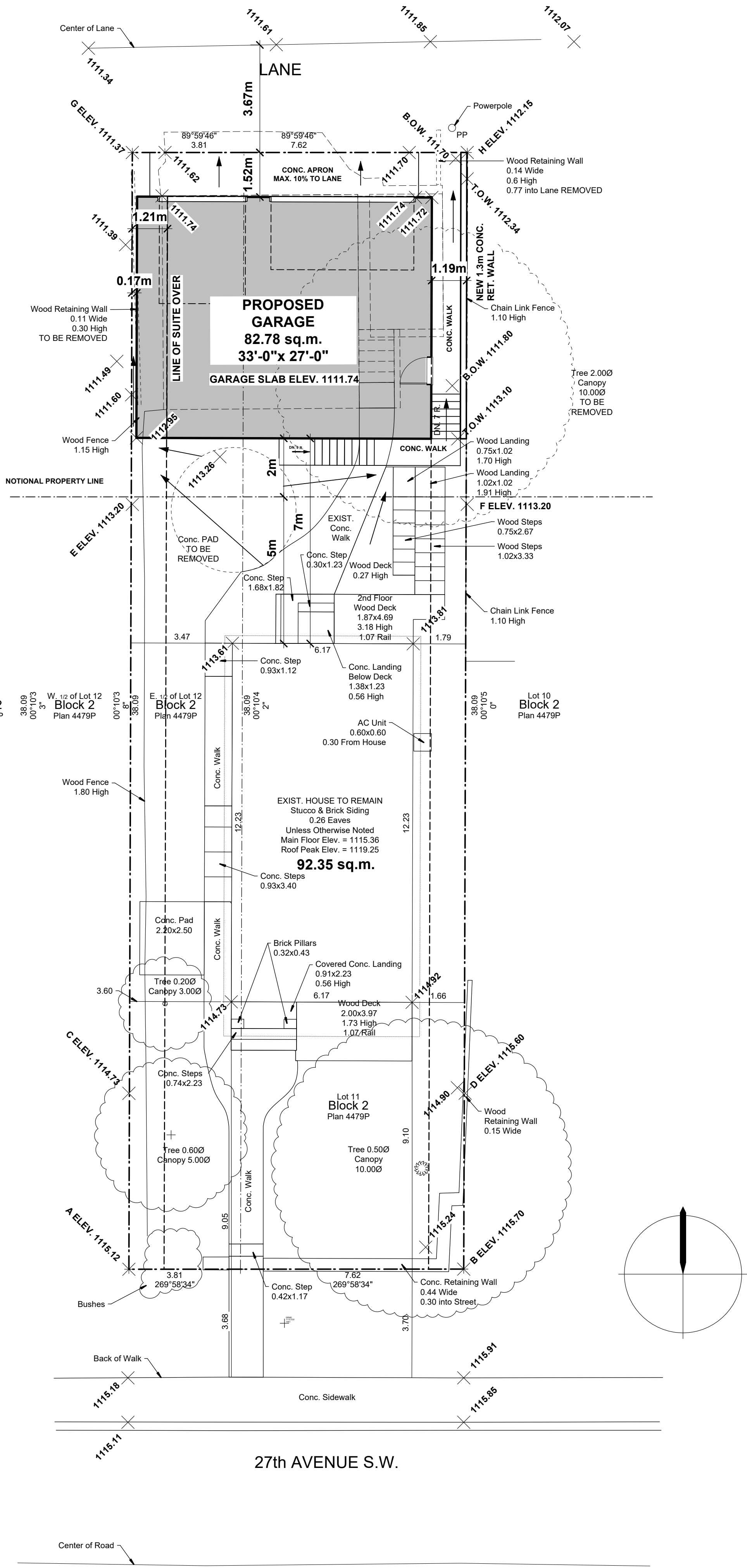
PROJECT # : 26-03

DATE : 02/18/26

DRAWN BY : JJA

SCALE : AS NOTED

SHEET : A1 OF 4



MUNICIPAL ADDRESS
2222 27TH AVENUE SW

COMMUNITY
RICHMOND

LEGAL DESCRIPTION
LOT 11 & E. 1/2 OF LOT 12
BLOCK 2,
PLAN 4479P
LAND USE DESIGNATION
R-CG

AREA OF LOT
435.22 sq.m

PRINCIPLE BUILDING LOT COVERAGE
92.35 sq.m.

TOTAL AREA OF BUILDINGS/PORCHES
175.13 sq.m.

PERCENT OF LOT COVERAGE
40.24%

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PROJECT

2222 27TH AVENUE SW
CALGARY, ALBERTA

DRAWING TITLE

SOUTH ELEVATION
NORTH ELEVATION

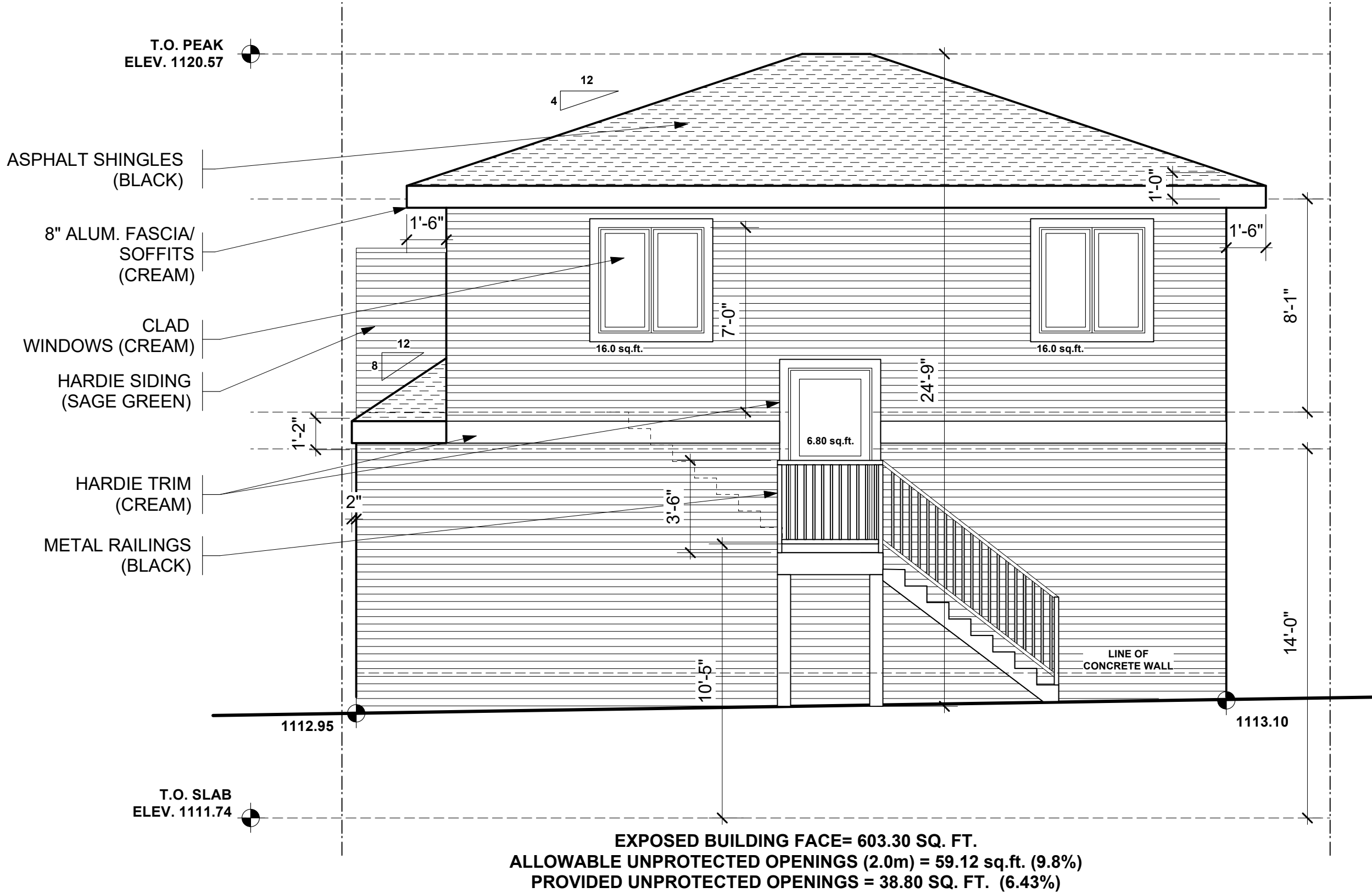
PROJECT # : 26-03

DATE : 02/18/26

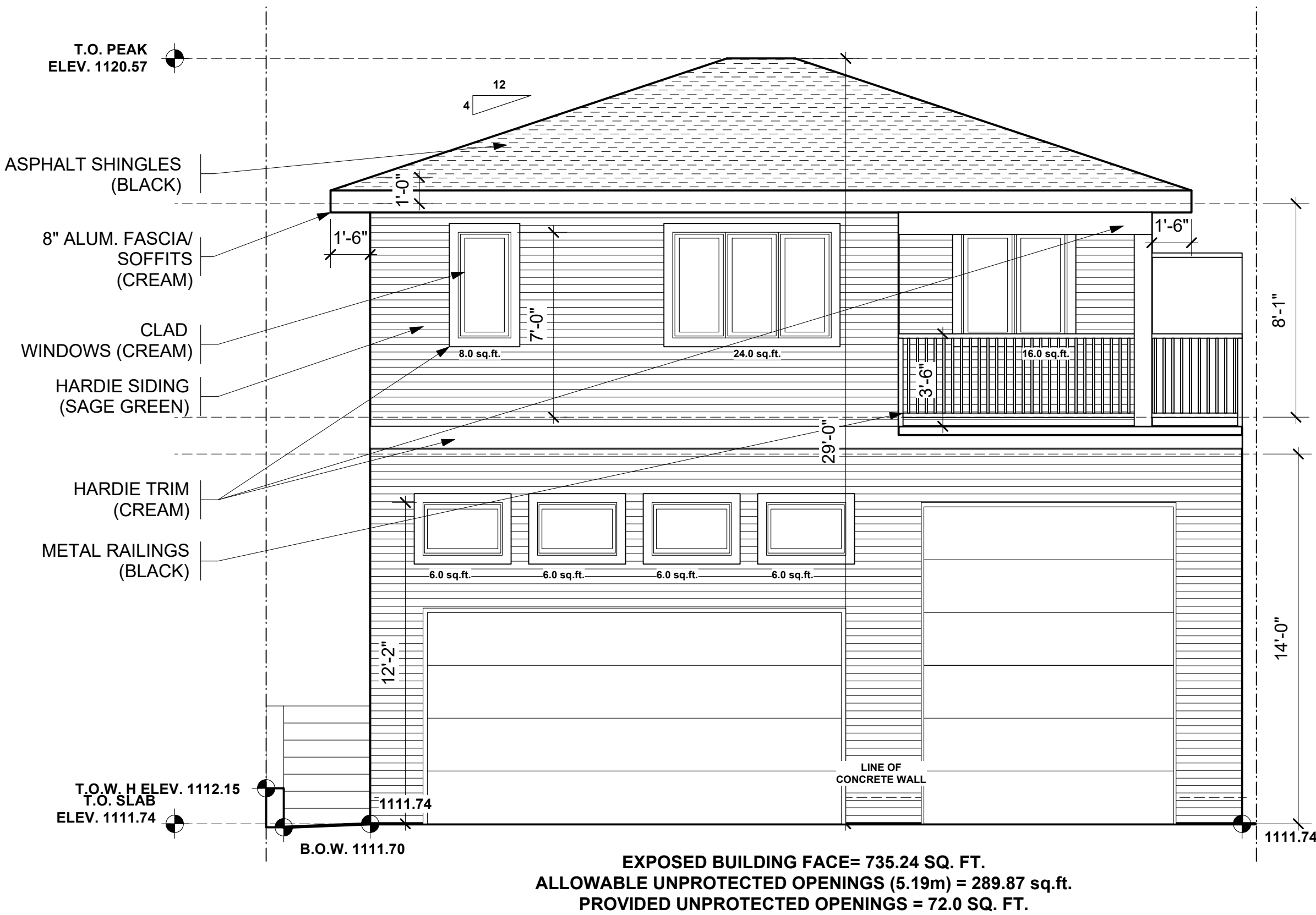
DRAWN BY : JJA

SCALE : AS NOTED

SHEET : A3 OF 4



1 SOUTH ELEVATION
A3 SCALE 1/4" = 1'-0"



2 NORTH ELEVATION
A3 SCALE 1/4" = 1'-0"

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REVISIONS

PROJECT

2222 27TH AVENUE SW
CALGARY, ALBERTA

DRAWING TITLE

EAST ELEVATION
WEST ELEVATION

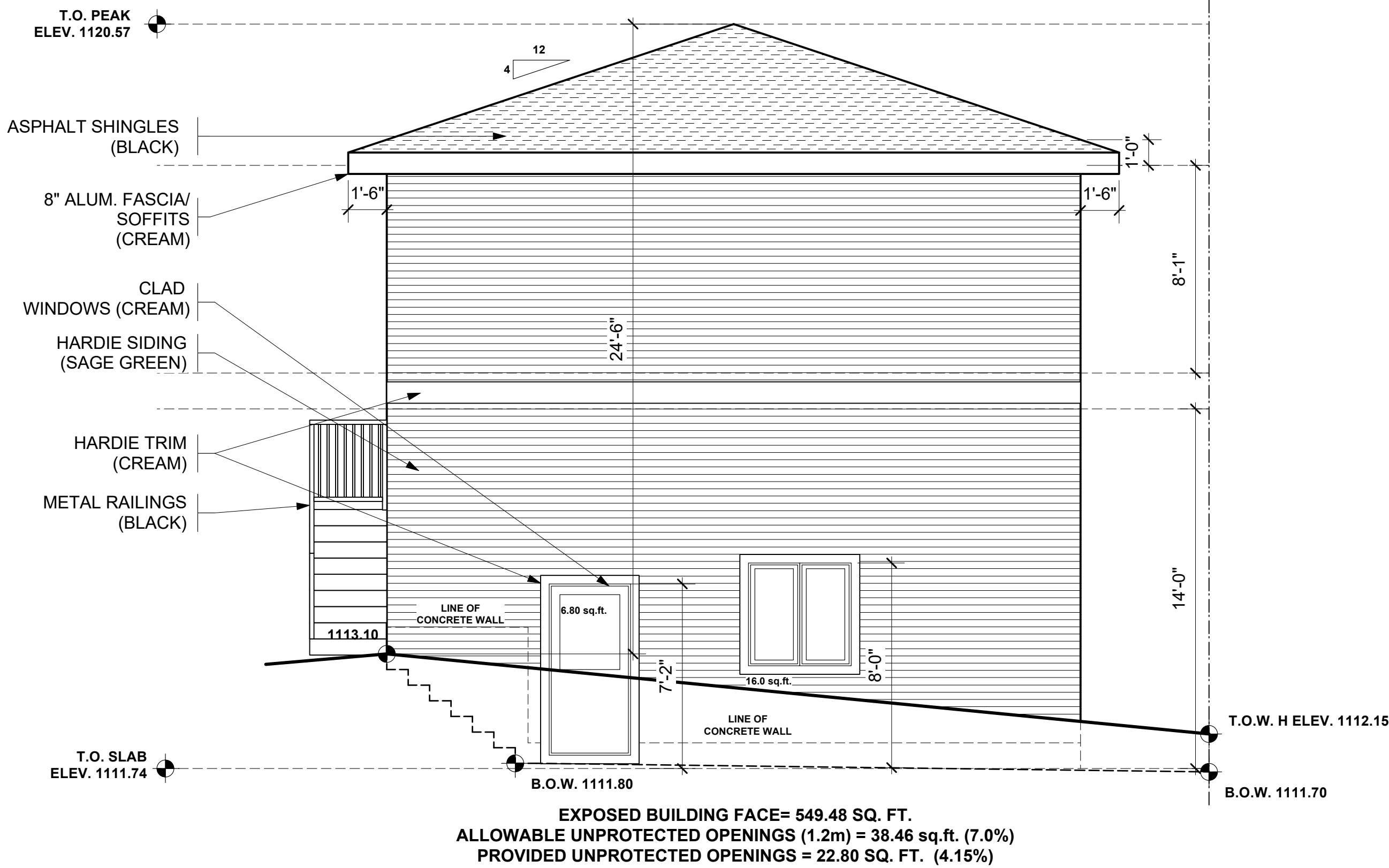
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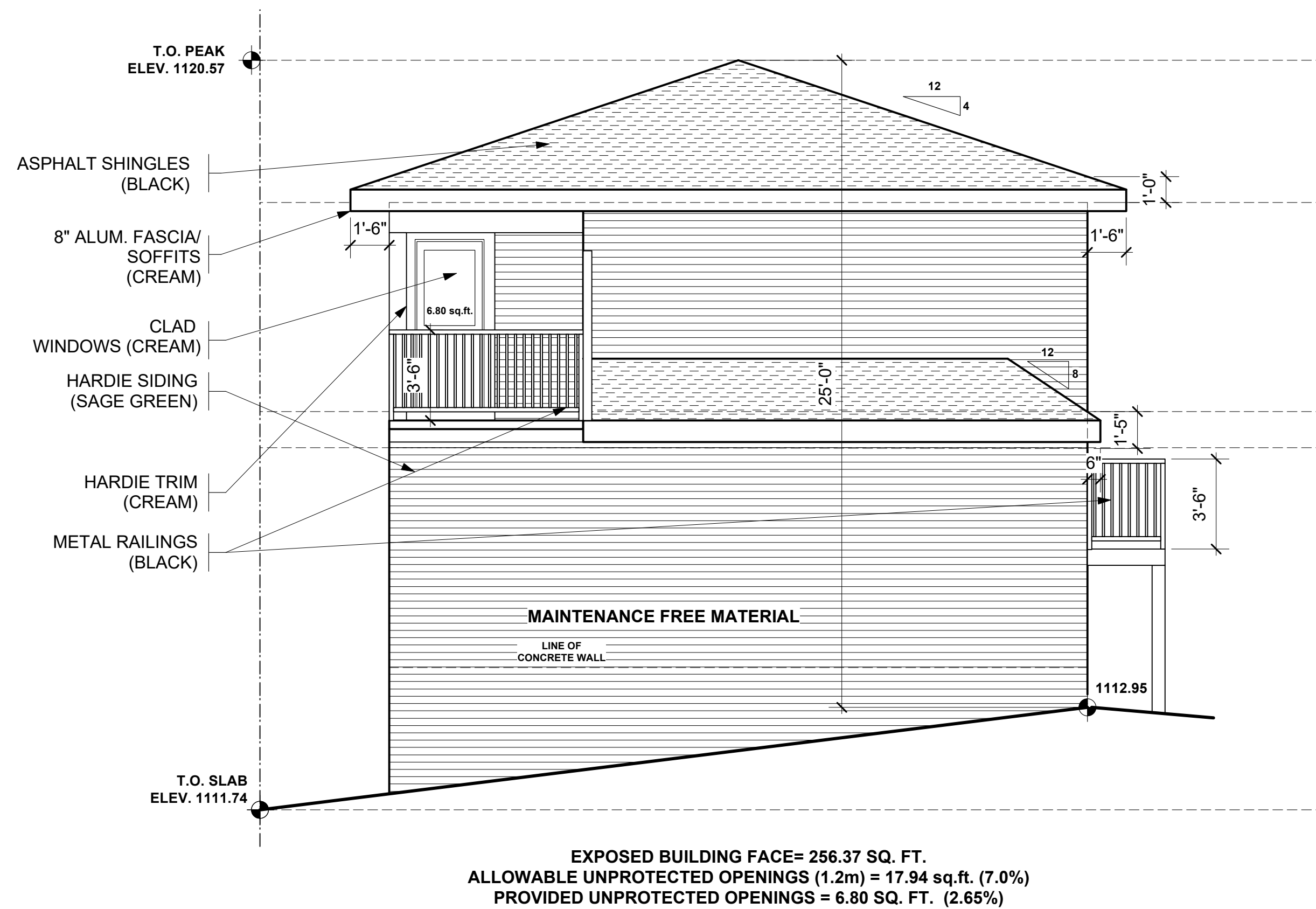
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SCALE : AS NOTED

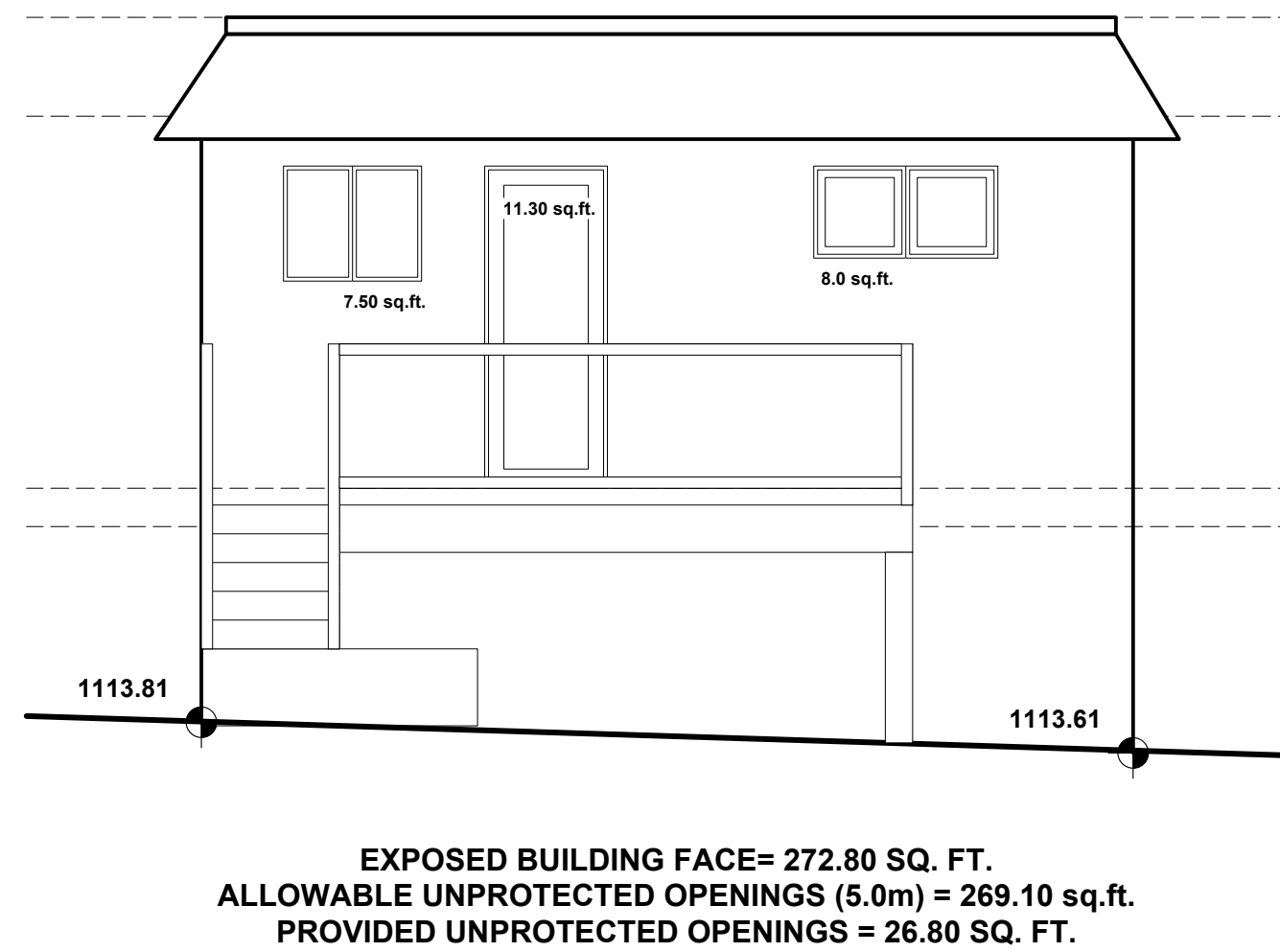
SHEET : A4 OF 4



1 EAST ELEVATION
A4 SCALE 1/4" = 1'-0"



2 WEST ELEVATION
A4 SCALE 1/4" = 1'-0"



3 NORTH ELEVATION (EXISTING HOME)
A4 SCALE 1/4" = 1'-0"