

# SITE PLAN

## LEGEND

ELEVATIONS ARE SHOWN THUS:  $\text{---} = 1000.00 \text{ METRES. (GEODETIC)}$   
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 140368  
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- --- denotes Calculation points
- ⊠ --- denotes Water Valve
- ◇ --- denotes Gas Valve
- ⊙ --- denotes Manhole
- ⊕ --- denotes Tree
- ⊕ --- denotes Power Pole
- △ --- denotes Sign
- ☀ --- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall  
 'Conc.' denotes Concrete  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: M-CGd72 Multi Residential  
 Contextual Ground Oriented

SCALE 1:200

LEGAL DESCRIPTION:

Lot 21  
 Block 9  
 Plan 1332 N

MUNICIPAL ADDRESS:

324 - 5 Avenue N.E  
 Calgary, Alberta

LOT COVERAGE DETAIL:  
 (SINGLE LOT AND HOUSE)

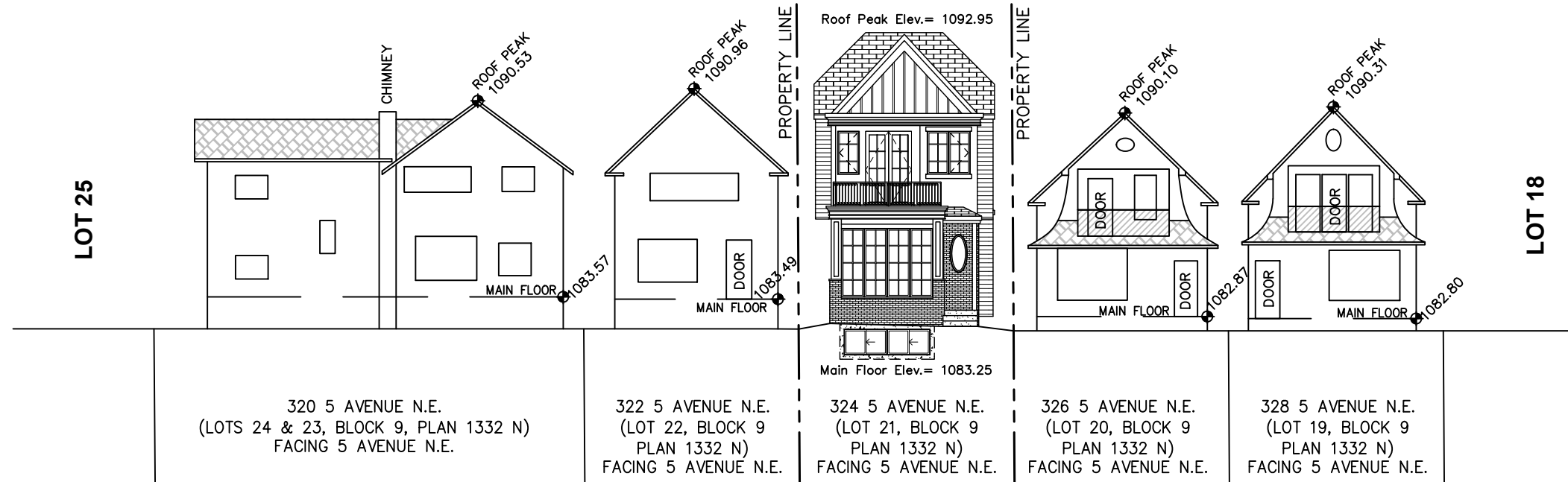
LOT SIZE: 278.642 SQ M  
 HOUSE SIZE: 78.921 SQ M  
 COVERED PORCH: 1.959 SQ M  
 CANT.: 1.959 SQ M  
 WING WALL: 0.023 SQ M  
 GARAGE: 43.850 SQ M

TOTAL:  $\frac{124.753}{278.642} = 44.77\%$

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	SCALE:
01.	20/02/26	DP SITEPLAN	D.L.	324 5th AVENUE NE Calgary, Alberta	1: 200
02.				Lot 21 Block 9 Plan 1332 N	DIVISION NUMBER
03.					S 01
04.					

SITE PLAN  
 SCALE: 1:200



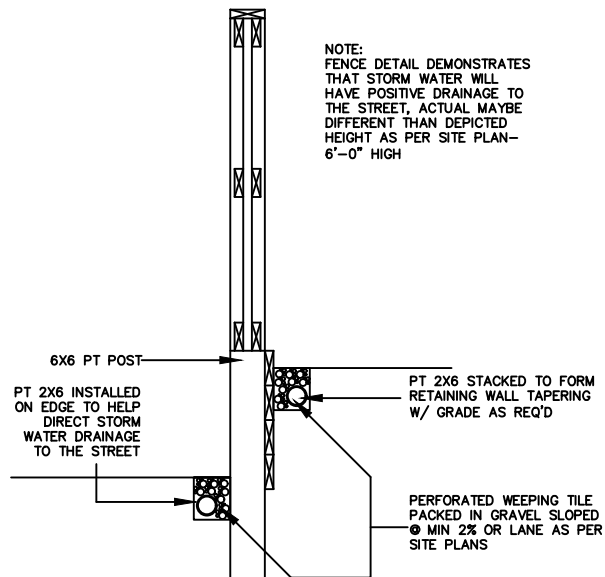


**STREETSCAPE**

SCALE: 1:200

NEW HOME SQFT:

	AREA
<b>BASEMENT</b>	<b>849.54 SQ FT</b>
<b>MAIN FLOOR</b>	<b>870.58 SQ FT</b>
<b>UPPER FLOOR</b>	<b>864.06 SQ FT</b>
<b>TOTAL AREA</b>	<b>1734.64 SQ FT</b>

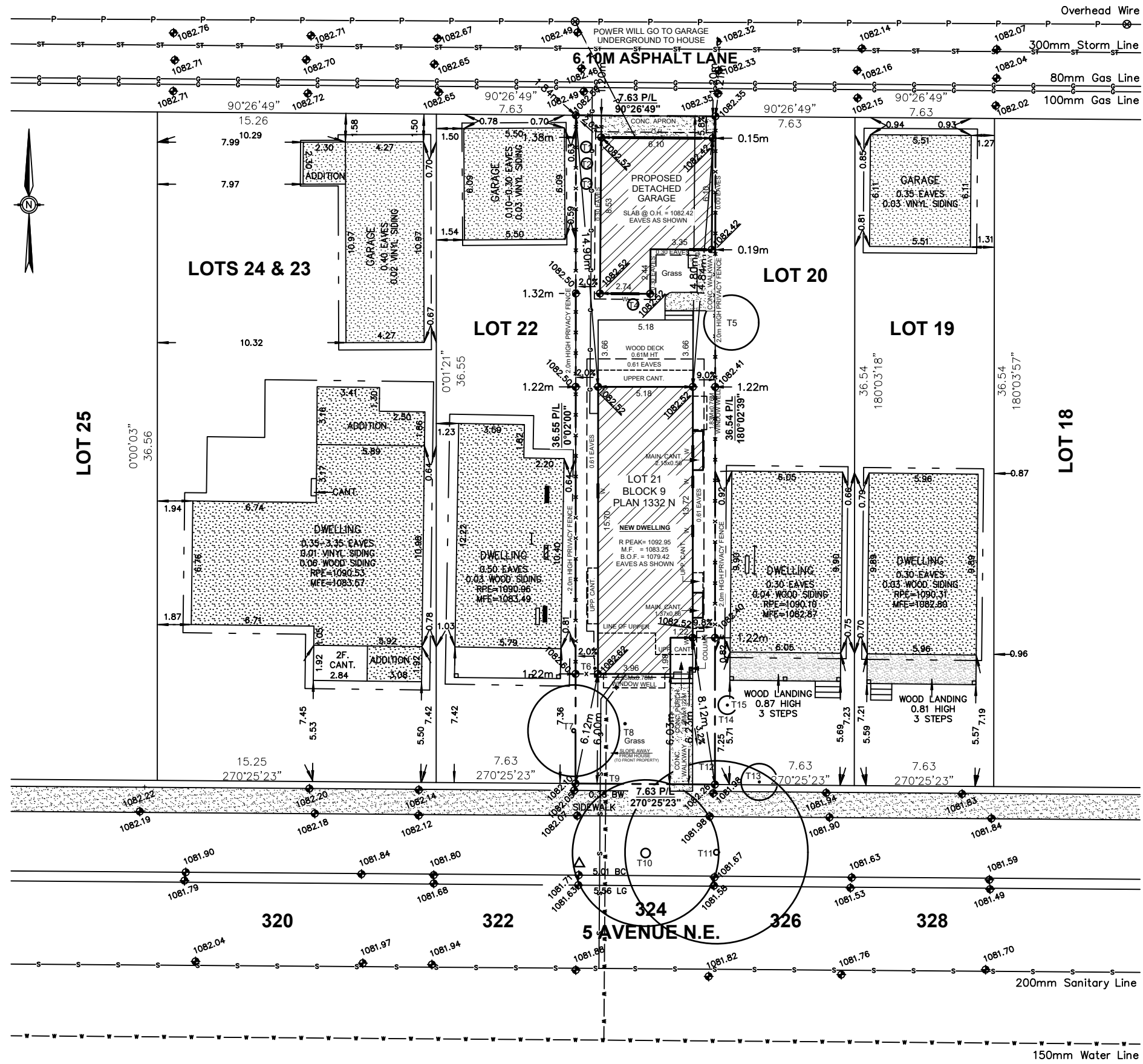


**FENCE SECTION DETAIL**  
SCALE: NTS

**TREE SCHEDULE:**

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.60	5.00	8.00	In Subject Property	To Be Removed
T2	Deciduous	0.60	5.00	8.00	In Subject Property	To Be Removed
T3	Deciduous	0.60	5.00	8.00	In Subject Property	To Be Removed
T4	Deciduous	0.60	9.00	5.00	In Subject Property	To Be Removed
T5	Bush	—	3.00	3.00	In Adjacent Property	To Stay
T6	Deciduous	0.10	2.00	3.00	In Subject Property	To Be Removed
T7	Deciduous	0.20	5.00	3.00	In Adjacent Property	To Stay
T8	Coniferous	0.10	4.00	6.00	In Subject Property	To Be Removed
T9	Bush	—	2.00	2.00	In Subject Property	To Be Removed
T10	Deciduous	0.50	8.00	12.00	In City Property	To Stay
T11	Deciduous	0.30	10.00	7.00	In City Property	To Stay
T12	Bush	—	1.50	3.00	In Subject Property	To Be Removed
T13	Deciduous	0.08	2.00	3.50	In Adjacent Property	To Stay
T14	Bush	—	1.50	3.00	On Property Line	To Be Removed
T15	Deciduous	0.08	1.00	3.50	In Adjacent Property	To Stay

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	20/02/26	DP SITEPLAN	D.L.	324 5th AVENUE NE Calgary, Alberta	NEW HOME	AS SHOWN
02.				Lot 21 Block 9 Plan 1332 N		
03.					DATE: FEB 20, 2026	DIVISION NUMBER: S 02
04.						



BLOCK PLAN  
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	20/02/26	DP SITEPLAN	D.L.	324 5th AVENUE NE Calgary, Alberta	NEW HOME	1: 200
02.				Lot 21 Block 9 Plan 1332 N	DATE: FEB 20, 2026	DIVISION NUMBER: S 03
03.						
04.						



## LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Left Elevation
A-2.2	Right Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevations
A-4.2	Garage Section

PROJECT NOTES:

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JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

### ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/02/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
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PROJECT: NEW HOME

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-02-20 2:22:20 PM

PROJECT NAME:  
324 5 Ave NE  
CALGARY, ALBERTA

DESIGNER: JT JOB #: 54 - 26

SCALE: AS SHOWN SHEET: A-0.0

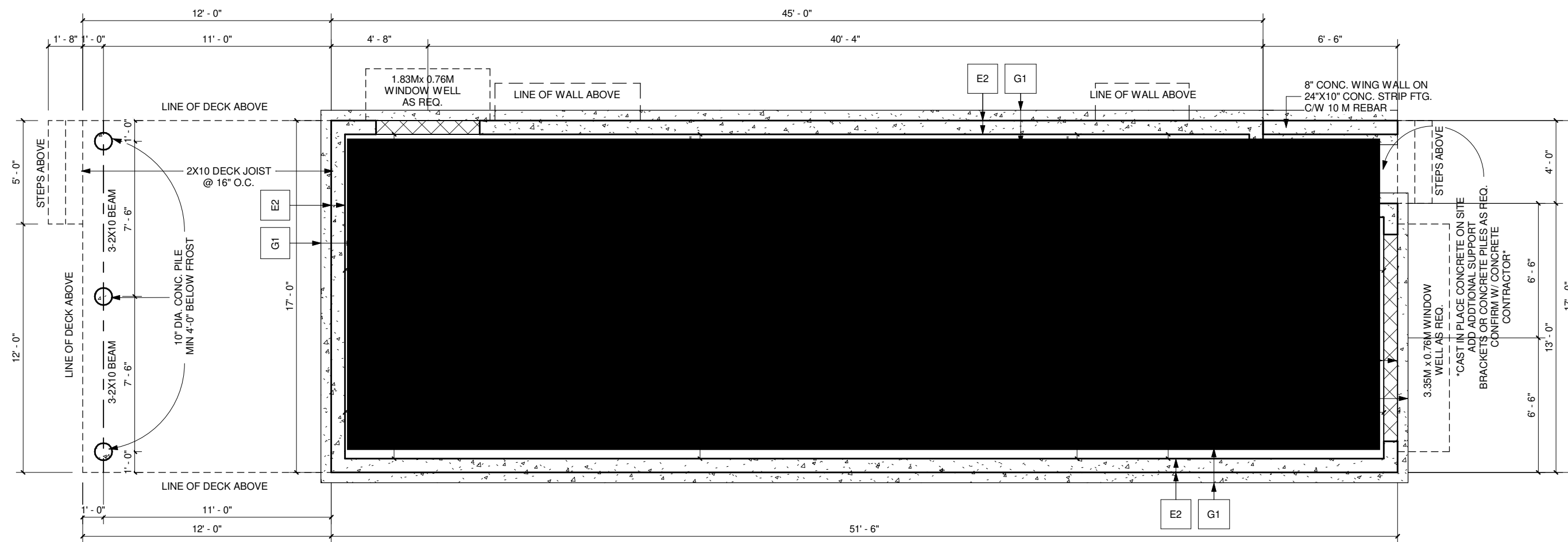
### FLOOR AREA

BASEMENT = 849.54 SQ. FT.

MAIN = 870.58 SQ. FT.

UPPER = 864.06 SQ. FT.

TOTAL = 1734.64 SQ. FT.



**FOUNDATION PLAN**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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**FOR RADON PIPE SIZE:**  
-THE CODE IS NOT SPECIFIC ON THE TYPE OF PIPE THAT MAY BE USED, ONLY ON THE DIMENSION OF NOT LESS THAN 100mm (4")

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ISSUES:

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04.	--	--	--
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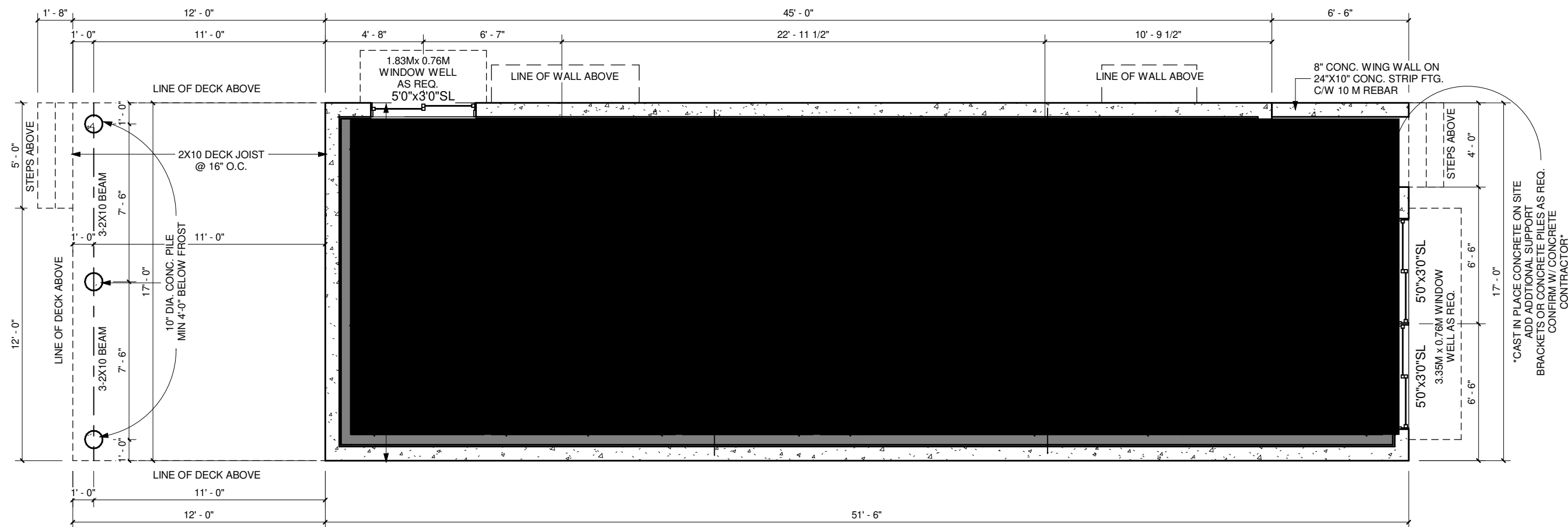
PROJECT:	NEW HOME
STATUS:	-
SIGNATURES:	X
PRINTED:	2026-02-20 2:22:21 PM



PROJECT NAME:  
324 5 Ave NE  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: 54 - 26

SCALE: AS SHOWN      SHEET: A-1.0



\*CAST IN PLACE CONCRETE ON SITE  
ADD ADDITIONAL SUPPORT  
BRACKETS OR CONCRETE PILES AS REQ.  
CONFIRM W/ CONCRETE  
CONTRACTOR\*

**BASEMENT FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**10'-0" BASEMENT FLOOR**

-ENSURE HEADROOM AT ELEC. PANEL IS MIN 6'-6" AND HAS 39" CLEARANCE

-EXACT FURNACE & HWT LOCATION & ORIENTATION TO BE DETERMINE BY HEATING CONTRACTOR. RADON PIPING LOCATION TBD ON SITE.

**WITH LIFE BREATH RNC 205 HEAT RECOVERY VENTILATION**  
(SEE SPEC. FOR DETAILS A-5.3)

LENNOX FURNACE WITH AFUE Rating of 95% - 98.7%  
BRADFORD WATER HEATER WITH 0.67-0.70 ENERGY STAR RATING AND 70-80 RECOVERY EFFICIENCY

PROJECT NOTES:

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**MAIN FLOOR AREA**  
TOTAL = 849.54 SQ. FT.

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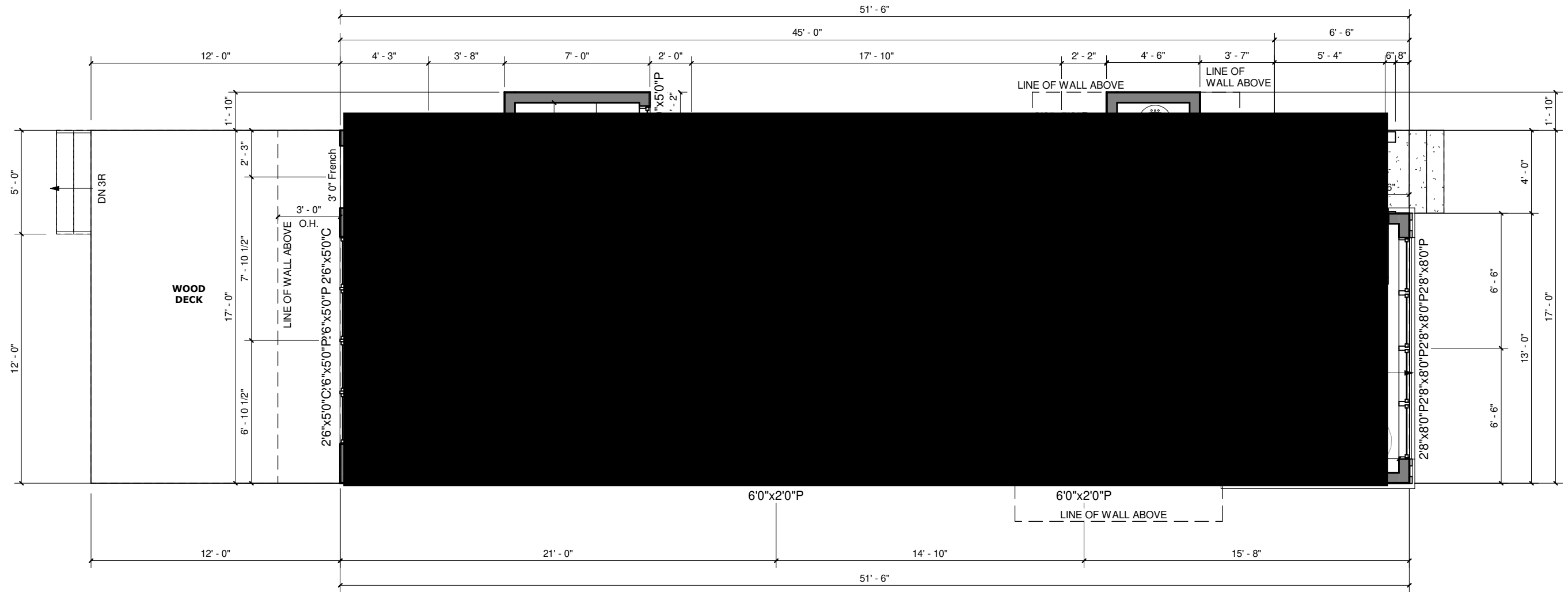
PROJECT:	NEW HOME
STATUS:	-
SIGNATURES:	X
PRINTED:	2026-02-20 2:22:21 PM



PROJECT NAME:  
324 5 Ave NE  
CALGARY, ALBERTA

DESIGNER: JT JOB #: 54 - 26

SCALE: AS SHOWN SHEET: A-1.1



10'-1 1/8" MAIN FLOOR

**MAIN FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

-ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

PROJECT NOTES:

**SPRAY FOAM NOTES: CCMC#14140-L**  
2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS  
-FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED  
-ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE, NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD. GALVANISED NAILS TO BE USED

**MAIN FLOOR AREA**  
TOTAL = 870.58 SQ. FT.

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**ISSUES:**

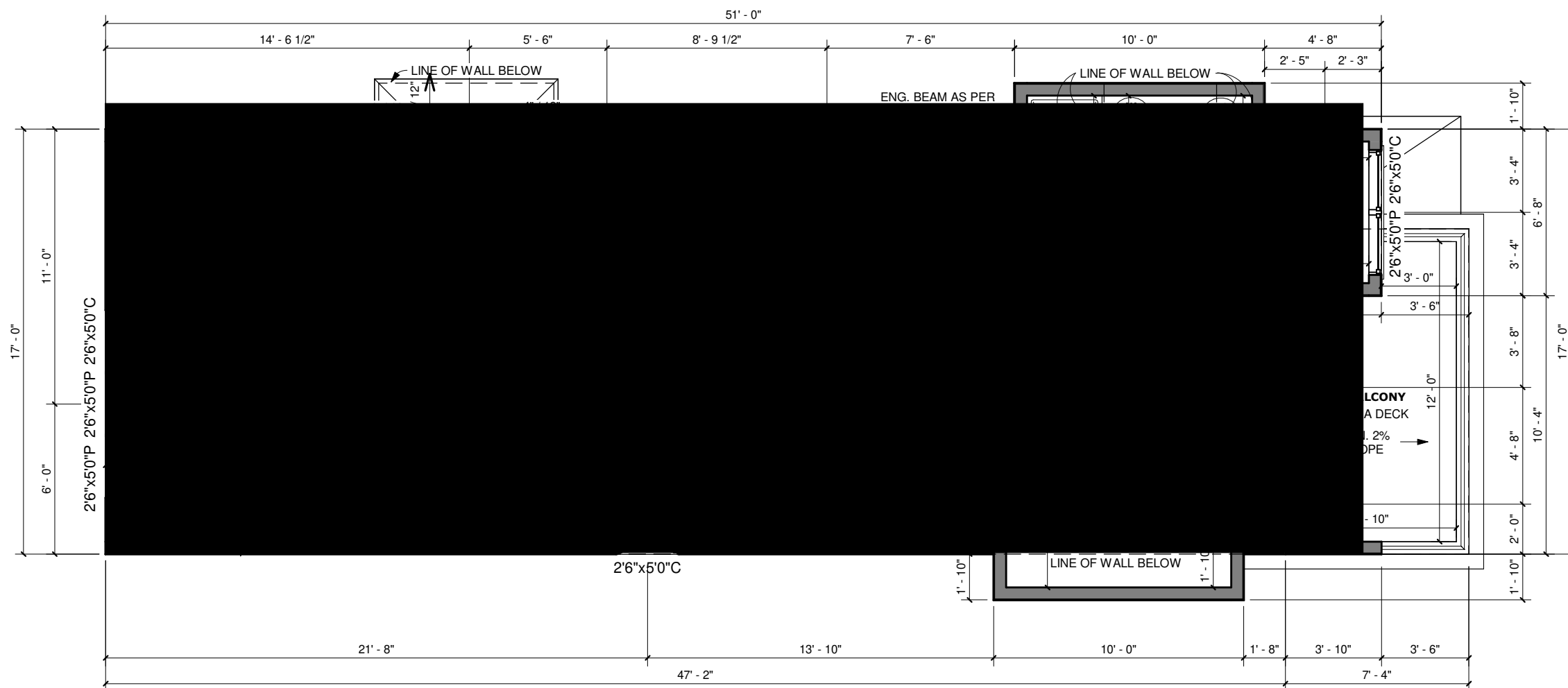
NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/02/26	DP PLANS	D.L
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PROJECT:	NEW HOME
STATUS:	-
SIGNATURES:	X
PRINTED:	2026-02-20 2:22:21 PM



PROJECT NAME: 324 5 Ave NE CALGARY, ALBERTA	
DESIGNER: JT	JOB #: 54 - 26
SCALE: AS SHOWN	SHEET: A-1.2



**UPPER FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

-ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

10'-1 1/8" UPPER FLOOR

PROJECT NOTES:

**SPRAY FOAM NOTES: CCMC#14140-L**  
2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS  
-FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED  
-ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE, NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD- GALVANISED NAILS TO BE USED

**UPPER FLOOR AREA**  
TOTAL = 864.06 SQ. FT.

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PROJECT:  
**NEW HOME**

STATUS: -  
SIGNATURES:  
X  
PRINTED: 2026-02-20 2:22:22 PM



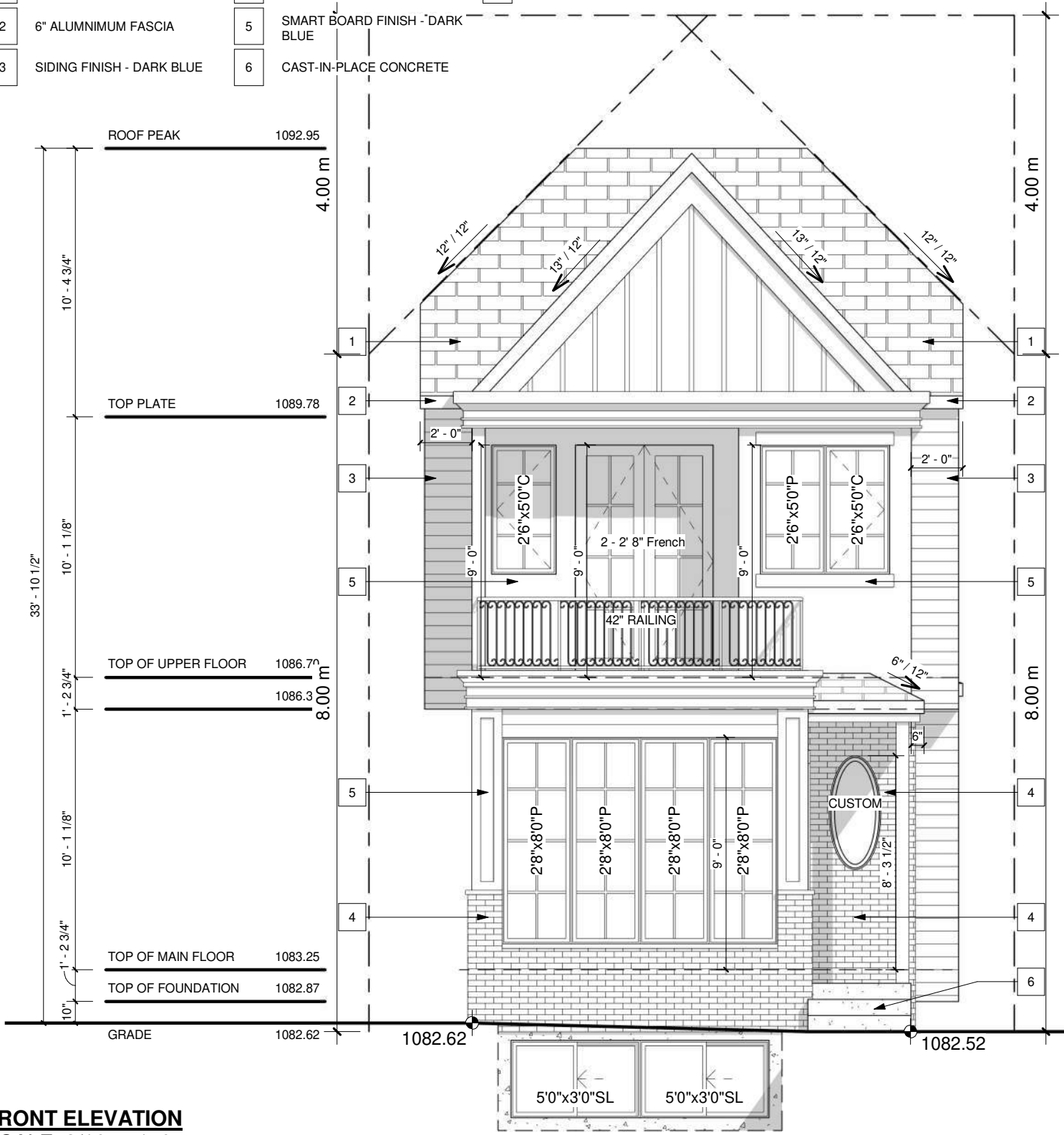
PROJECT NAME:  
**324 5 Ave NE  
CALGARY, ALBERTA**

DESIGNER: JT JOB #: 54 - 26

SCALE: AS SHOWN AS SHOWN SHEET: A-1.3

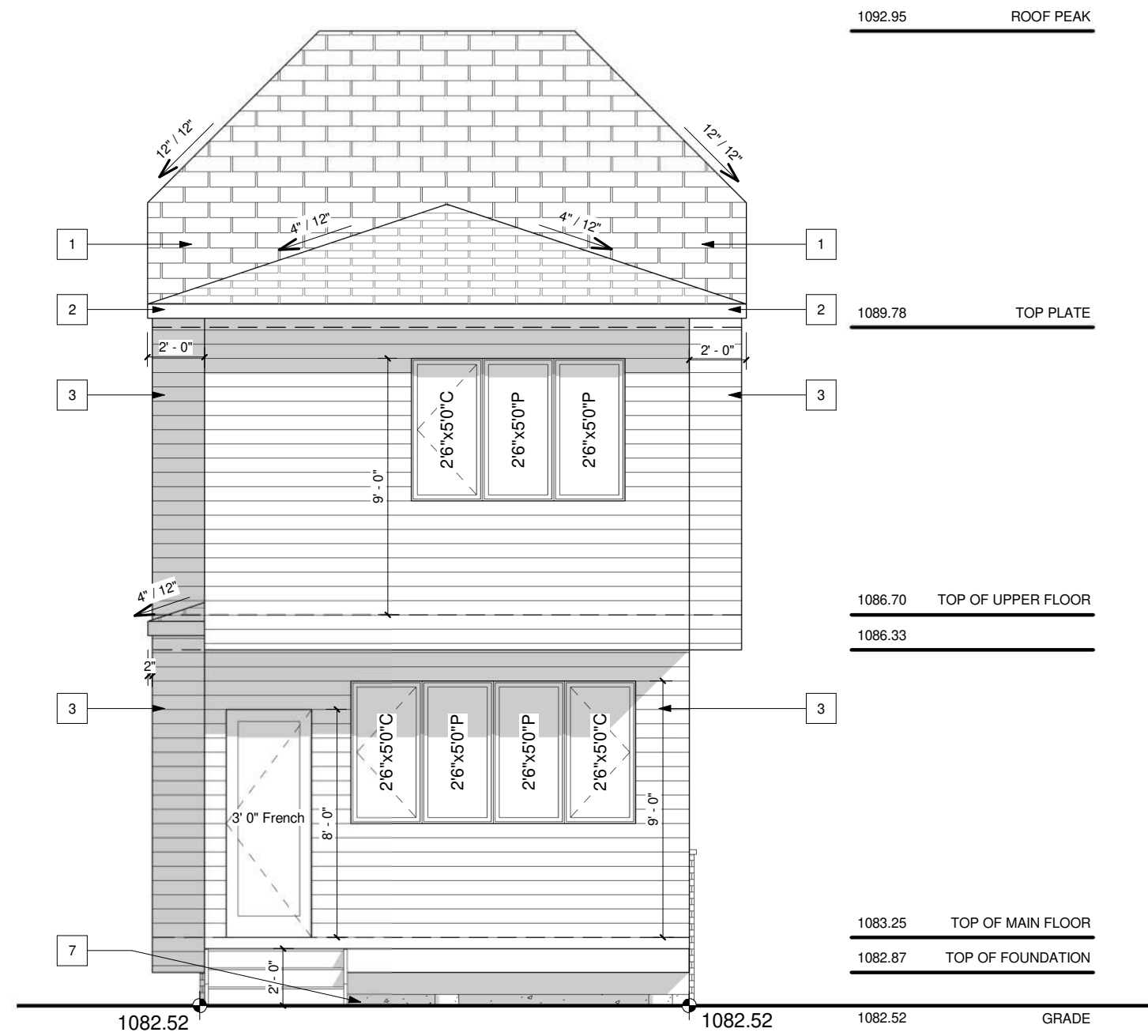
**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 6" ALUMNIMUM FASCIA
- 3 SIDING FINISH - DARK BLUE
- 4 BRICK FINISH - RED
- 5 SMART BOARD FINISH - DARK BLUE
- 6 CAST-IN-PLACE CONCRETE
- 7 CONCRETE PARGING



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

**VENTED SOFFIT NOTES:**  
-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:  
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PROJECT: **NEW HOME**

STATUS: -

SIGNATURES: X

PRINTED: 2026-02-20 2:22:23 PM



PROJECT NAME:  
324 5 Ave NE  
CALGARY, ALBERTA

DESIGNER: JT

JOB #: 54 - 26

SCALE: AS SHOWN AS SHOWN

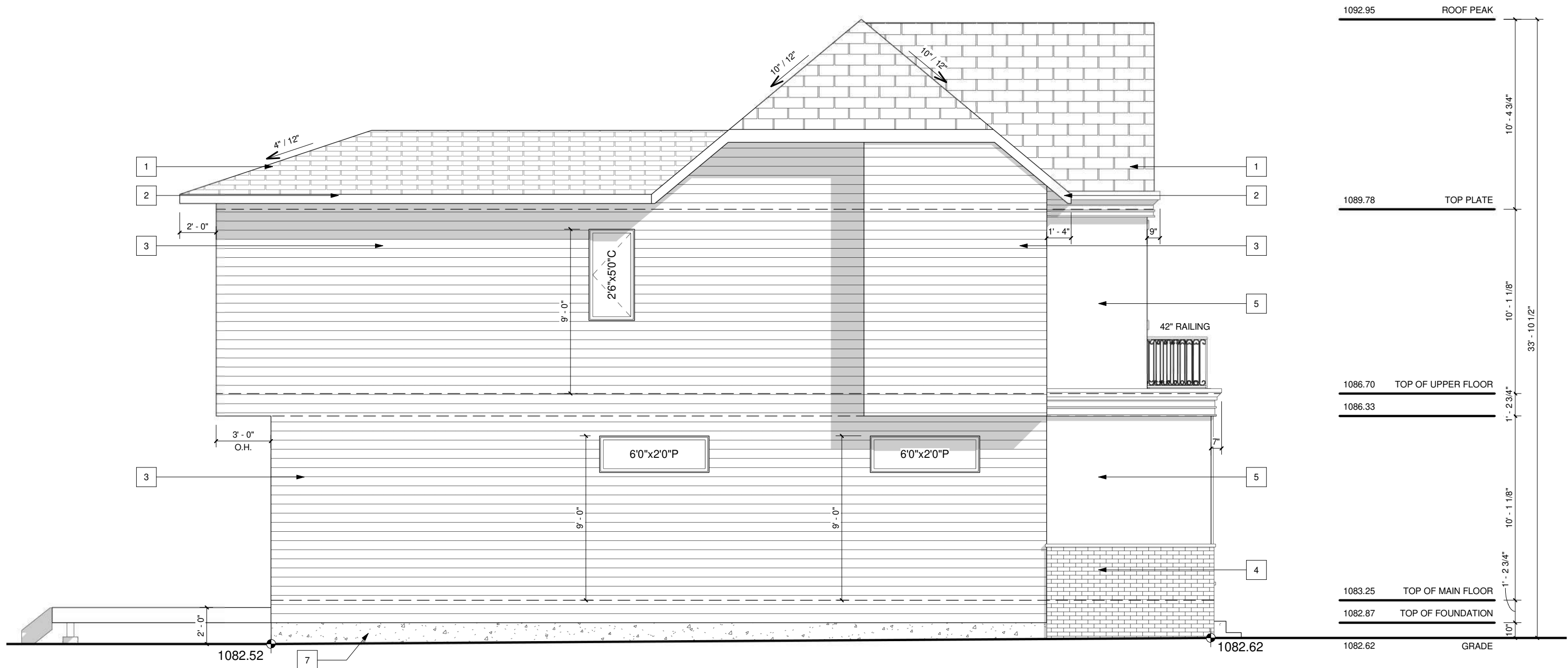
SHEET: A-2.0

**EXTERIOR FINISHES:**

- |                             |                                  |                    |
|-----------------------------|----------------------------------|--------------------|
| 1 ASPHALT SHINGLES          | 4 BRICK FINISH - RED             | 7 CONCRETE PARGING |
| 2 6" ALUMNIMUM FASCIA       | 5 SMART BOARD FINISH - DARK BLUE |                    |
| 3 SIDING FINISH - DARK BLUE | 6 CAST-IN-PLACE CONCRETE         |                    |

**WINDOW CALCULATION**  
 WALL AREA = 1214.62 SQ. FT.  
 WINDOW AREA = 38.48 SQ. FT.  
 TOTAL: 38.48 / 1214.62 = 3.17%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

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**PROJECT:**

NEW HOME

**STATUS:**

-

**SIGNATURES:**

X

PRINTED: 2026-02-20 2:22:24 PM



**PROJECT NAME:**

324 5 Ave NE  
 CALGARY, ALBERTA

DESIGNER: JT

JOB #: 54 - 26

SCALE: AS SHOWN AS SHOWN

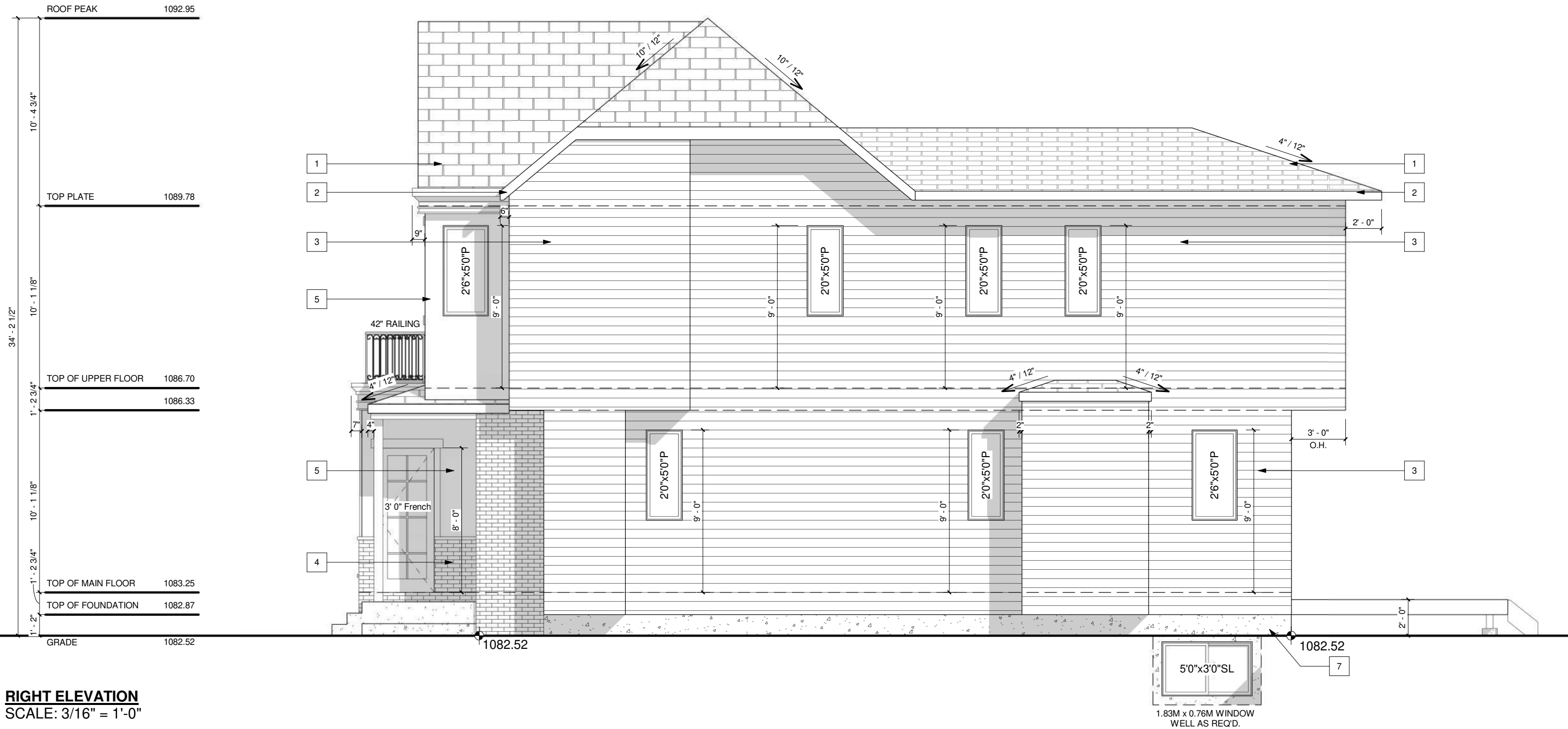
SHEET: A-2.1

**EXTERIOR FINISHES:**

- |                             |                                  |                    |
|-----------------------------|----------------------------------|--------------------|
| 1 ASPHALT SHINGLES          | 4 BRICK FINISH - RED             | 7 CONCRETE PARGING |
| 2 6" ALUMNIMUM FASCIA       | 5 SMART BOARD FINISH - DARK BLUE |                    |
| 3 SIDING FINISH - DARK BLUE | 6 CAST-IN-PLACE CONCRETE         |                    |

**WINDOW CALCULATION**  
 WALL AREA = 1142.08 SQ. FT.  
 WINDOW AREA = 79.22 SQ. FT.  
 TOTAL: 79.22 / 1142.08 = 6.94%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**  
 -ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20/02/26	DP PLANS	D.L
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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**PROJECT:** NEW HOME

**STATUS:** -

**SIGNATURES:**  
 X

**PRINTED:** 2026-02-20 2:22:25 PM



**PROJECT NAME:**  
 324 5 Ave NE  
 CALGARY, ALBERTA

**DESIGNER:** JT      **JOB #:** 54 - 26

**SCALE:** AS SHOWN, AS SHOWN      **SHEET:** A-2.2

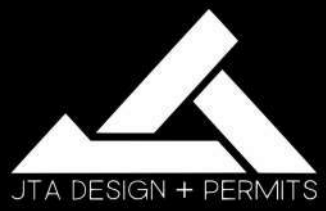
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PROJECT: **NEW HOME**

STATUS: -

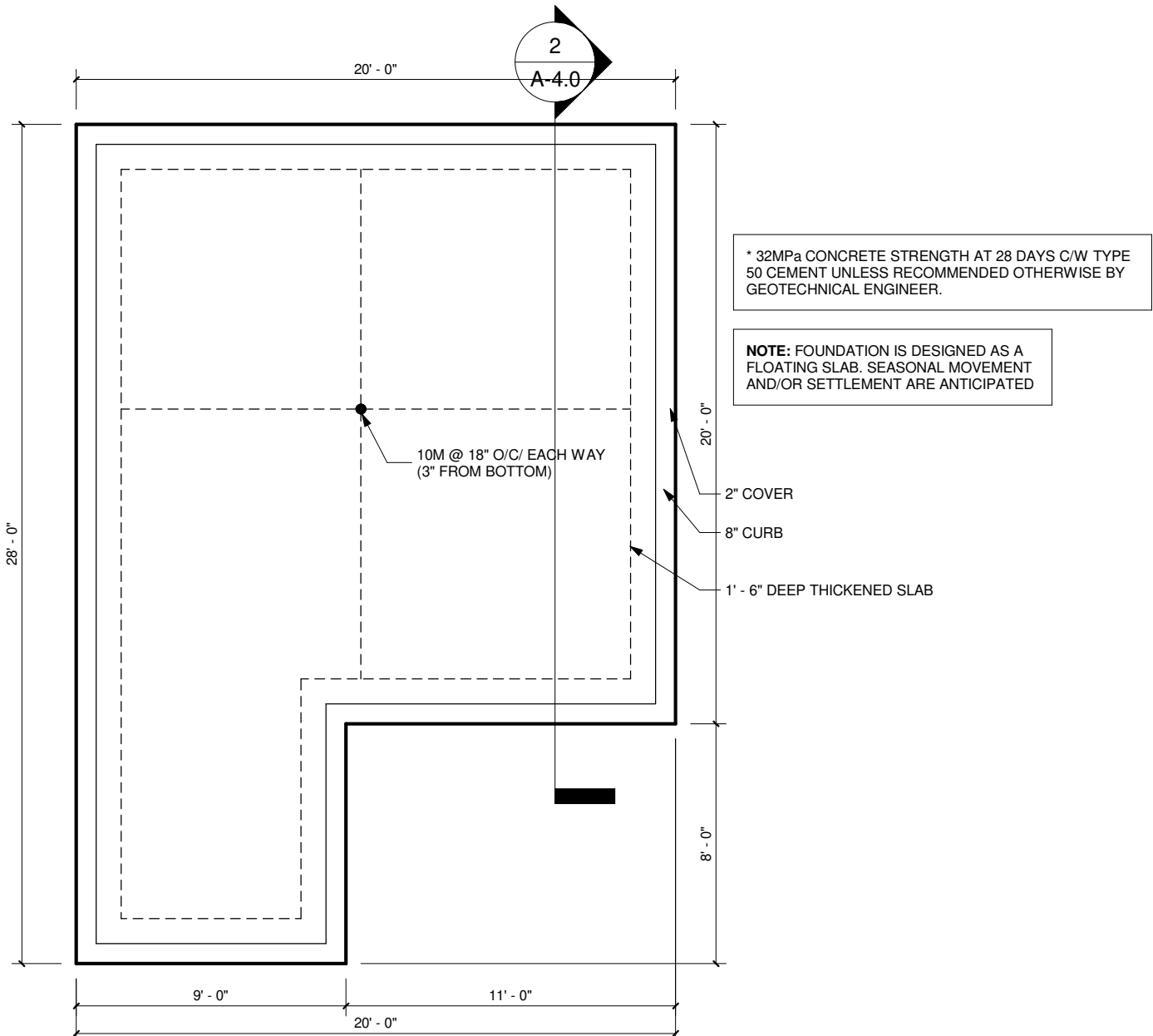
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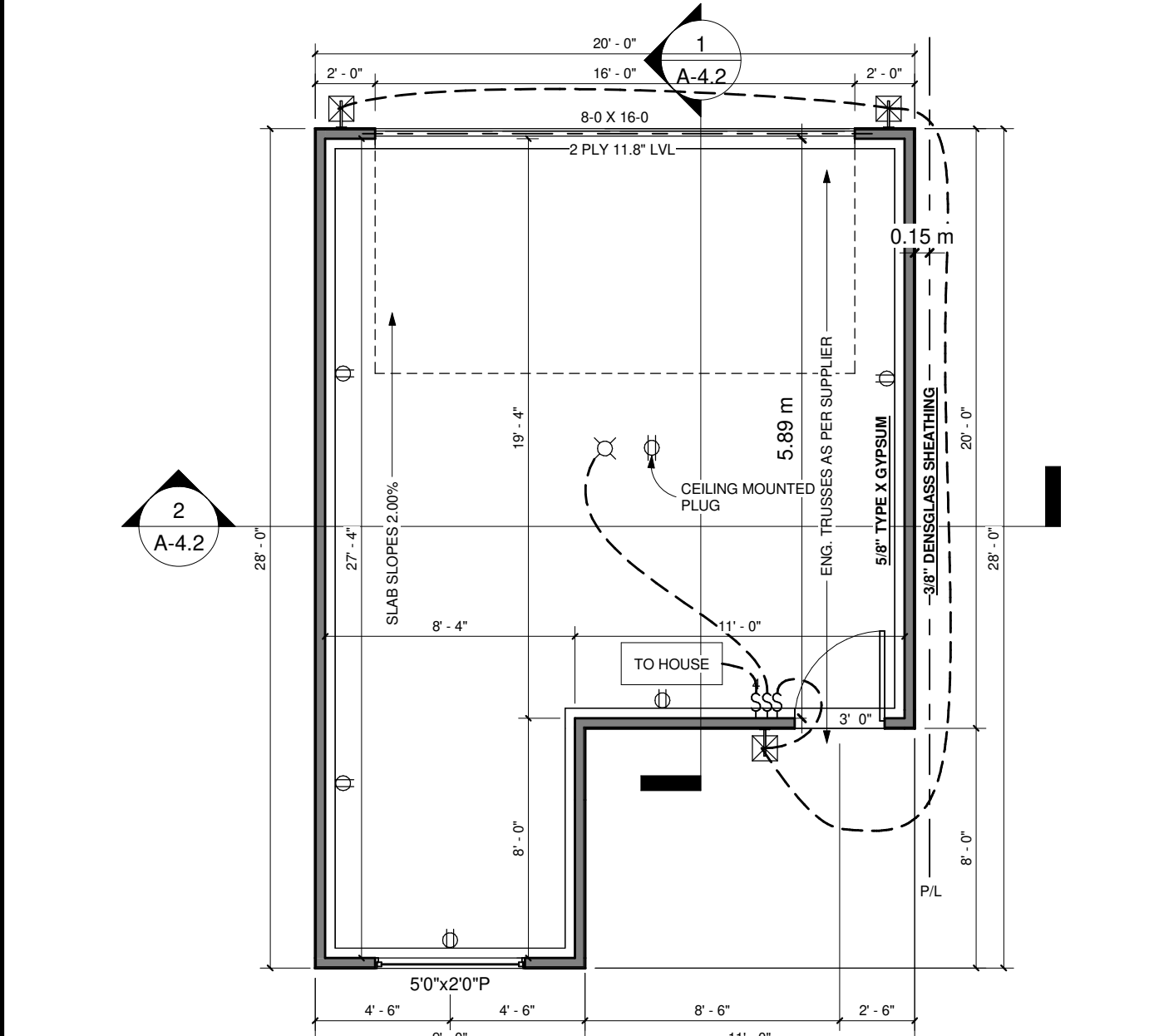
PROJECT NAME:  
324 5 Ave NE  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: 54 - 26

SCALE: AS SHOWN      SHEET: A-4.0



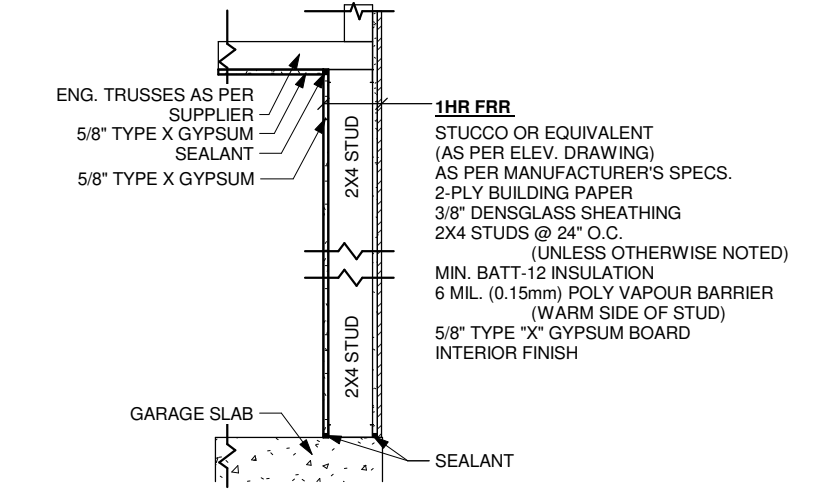
**GARAGE FOUNDATION PLAN**  
SCALE: 3/16" = 1'-0"



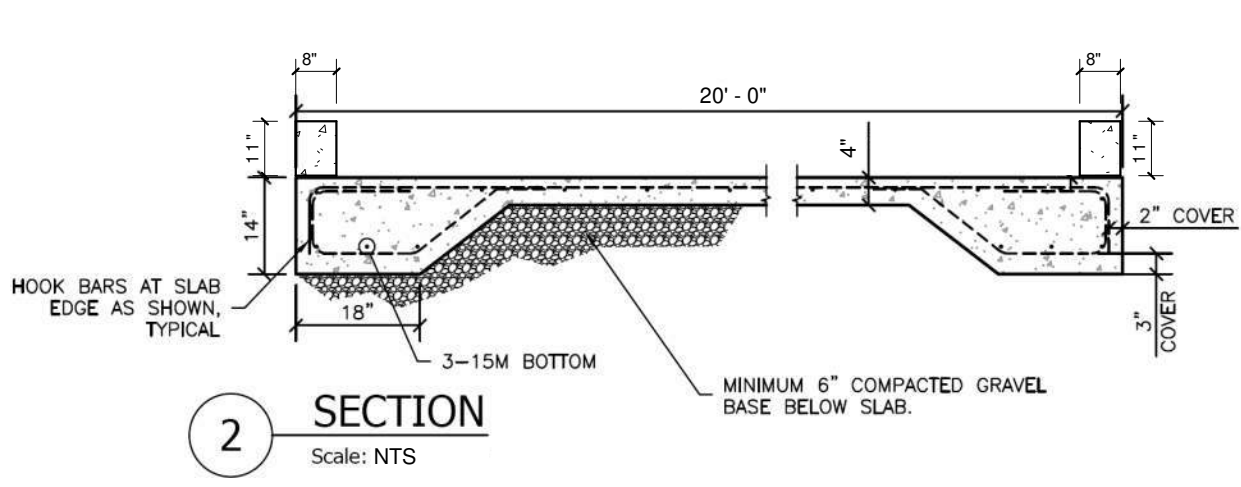
**GARAGE FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**ELECTRICAL SCHEDULE**

DATA	DATA OUTLET	CEILING FIXTURE
TV	TV OUTLET	WALL SCONES
4	4-WAY SWITCHING	POT LIGHTING
3	3-WAY SWITCHING	SMOKE DETECTOR
§	SINGLE SWITCHING	STANDARD PLUG
☒	BATH FAN	GFI PLUG



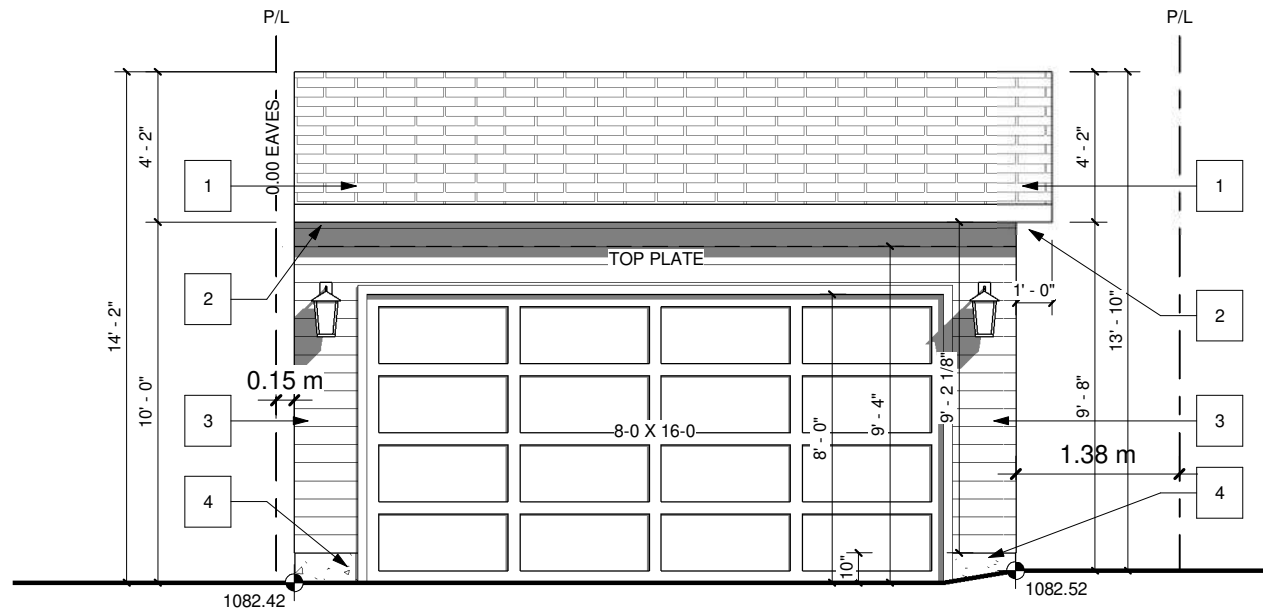
**GARAGE 1HR FRR WALL**  
SCALE: NTS



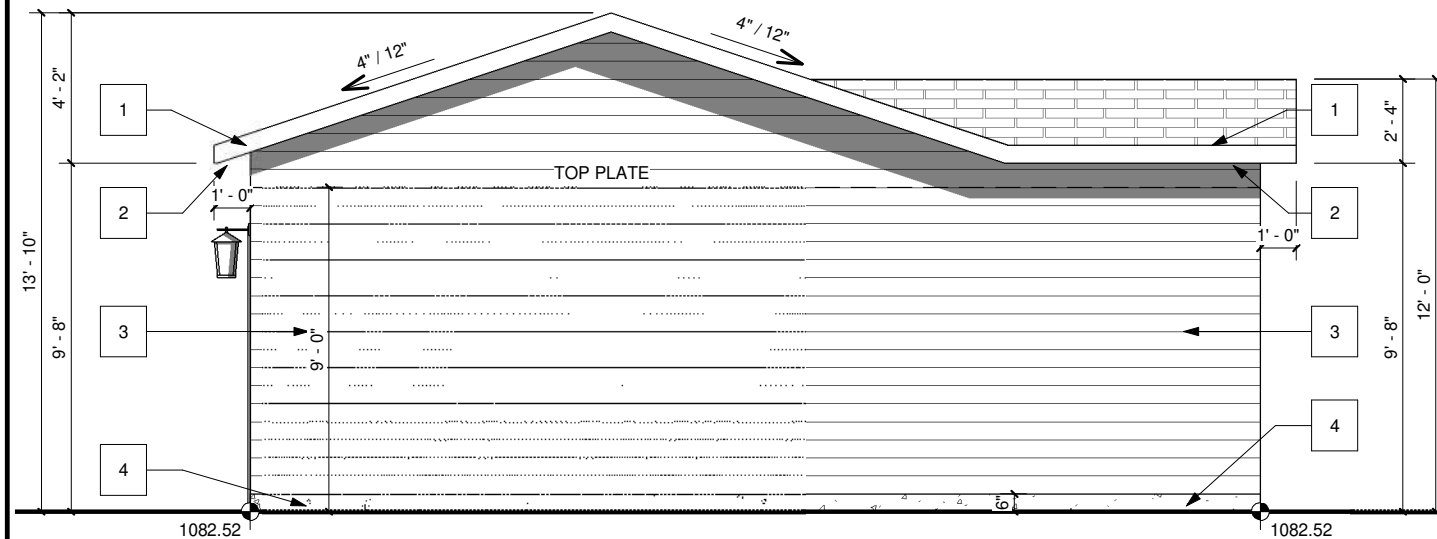
**SECTION 2**  
Scale: NTS

**EXTERIOR FINISHES:**

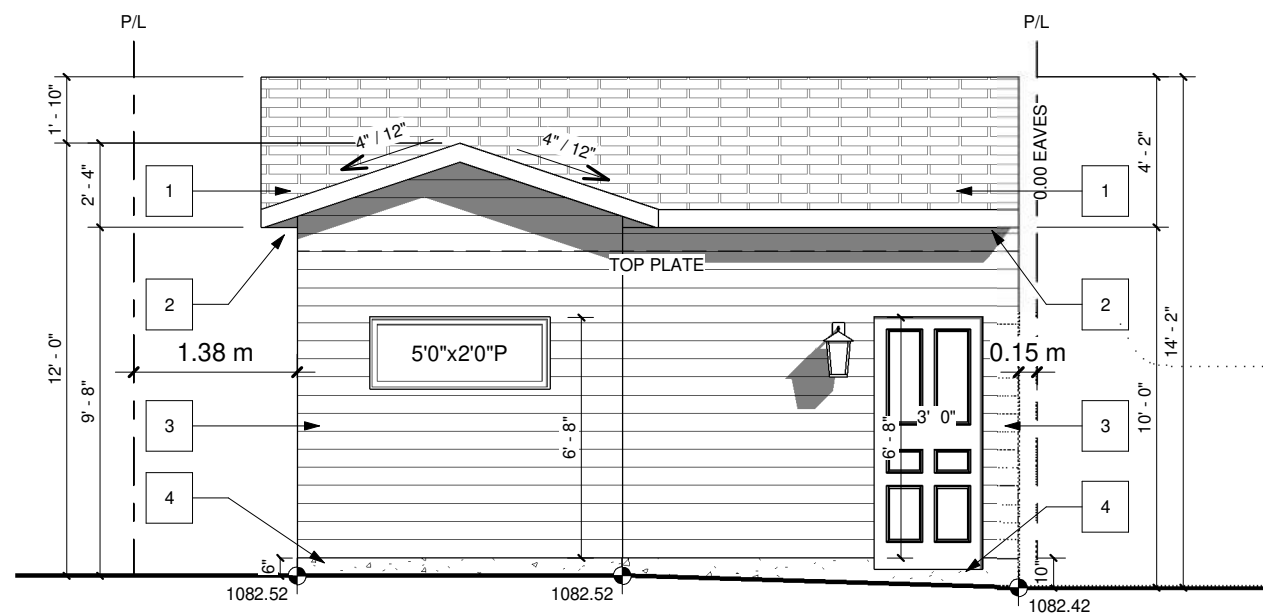
- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 SIDING FINISH
- 4 CONC. PARGING



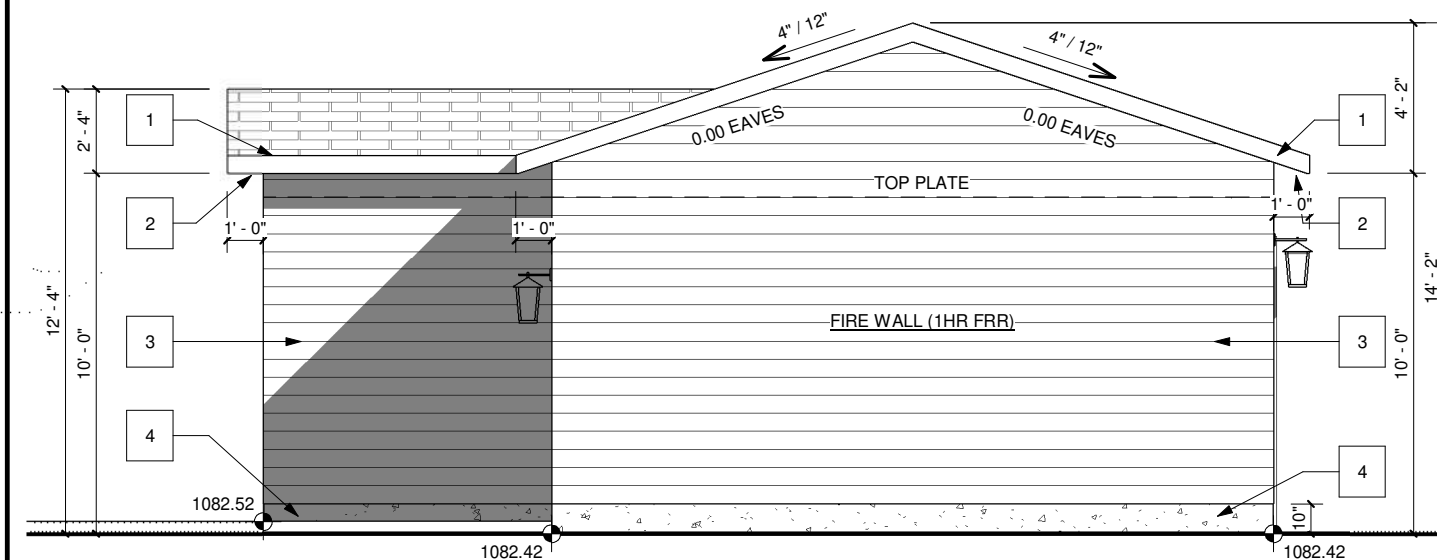
**GARAGE FRONT - BACK LANE**  
SCALE: 3/16" = 1'-0"



**GARAGE RIGHT**  
SCALE: 3/16" = 1'-0"



**GARAGE REAR**  
SCALE: 3/16" = 1'-0"



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"

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PROJECT: **NEW HOME**

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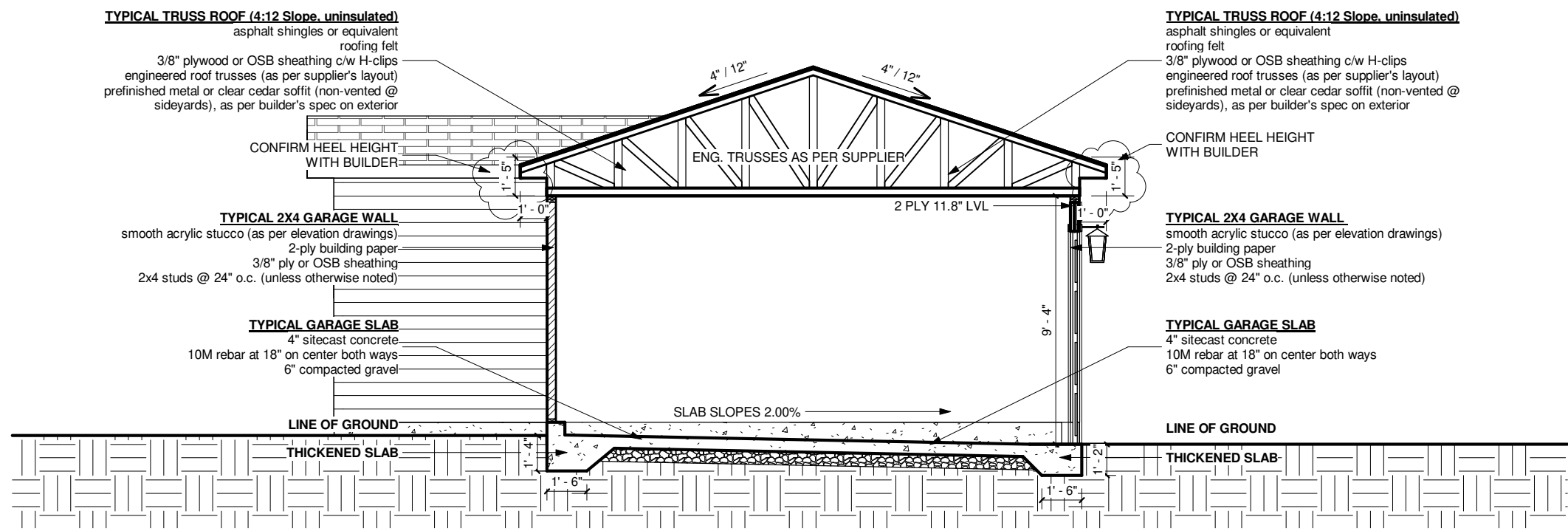
SIGNATURES:  
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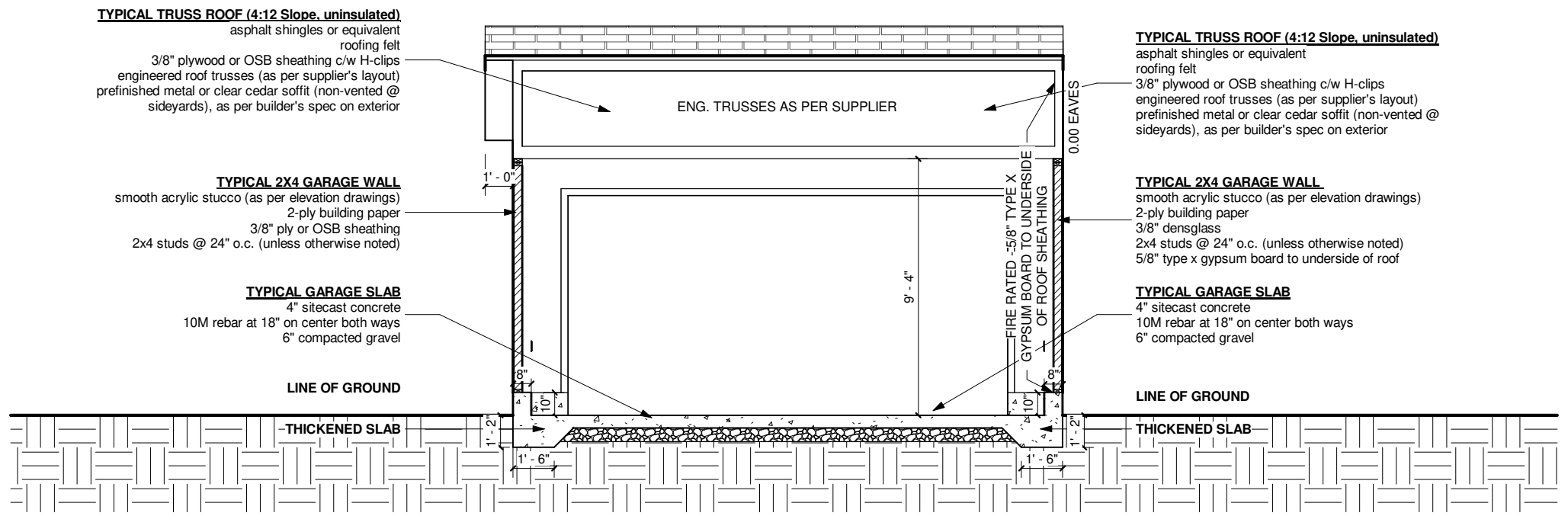
PROJECT NAME:  
324 5 Ave NE  
CALGARY, ALBERTA

DESIGNER: JT JOB #: 54 - 26

SCALE: AS SHOWN SHEET: A-4.1



**GARAGE SECTION 1**  
SCALE: 3/16" = 1'-0"



**GARAGE SECTION 2**  
SCALE: 3/16" = 1'-0"

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SIGNATURES: X \_\_\_\_\_

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PROJECT NAME: 324 5 Ave NE CALGARY, ALBERTA

DESIGNER: JT	JOB #: 54 - 26
SCALE: AS SHOWN	SHEET: A-4.2