

DEVELOPMENT PERMIT DRAWINGS

PROPOSED MULTI-FAMILY DEVELOPMENT

(ISSUED JANUARY 19, 2025)

8543 BOWNESS RD NW
CALGARY, AB
LOT 3, BLOCK 5, PLAN 5960AM



ELEANOR DESIGNS
(403) 734-5555
eleanordesigns.co

BUILDER:



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MAIN FLOOR : 2198.00 sq. ft.
UPPER FLOOR: 2386.00 sq. ft.
LOFT FLOOR: 2386.00 sq. ft.
TOTAL AREA: 6930.00 sq. ft.
BSMT DEV. : 2019.78 sq. ft.

CLIENT:

GOOD EARTH BUILDERS

8543 BOWNESS RD NW,
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LOT 3, BLOCK 5, PLAN
5960AM

No.	Date	Description	By
1	10-DEC-25	ISO DRAWINGS	AK
2	19-JAN-26	DP DRAWINGS	AK

STATUS:
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:
COVER SHEET

CHECKED BY: A.K. **DRAWN BY:** A.K.

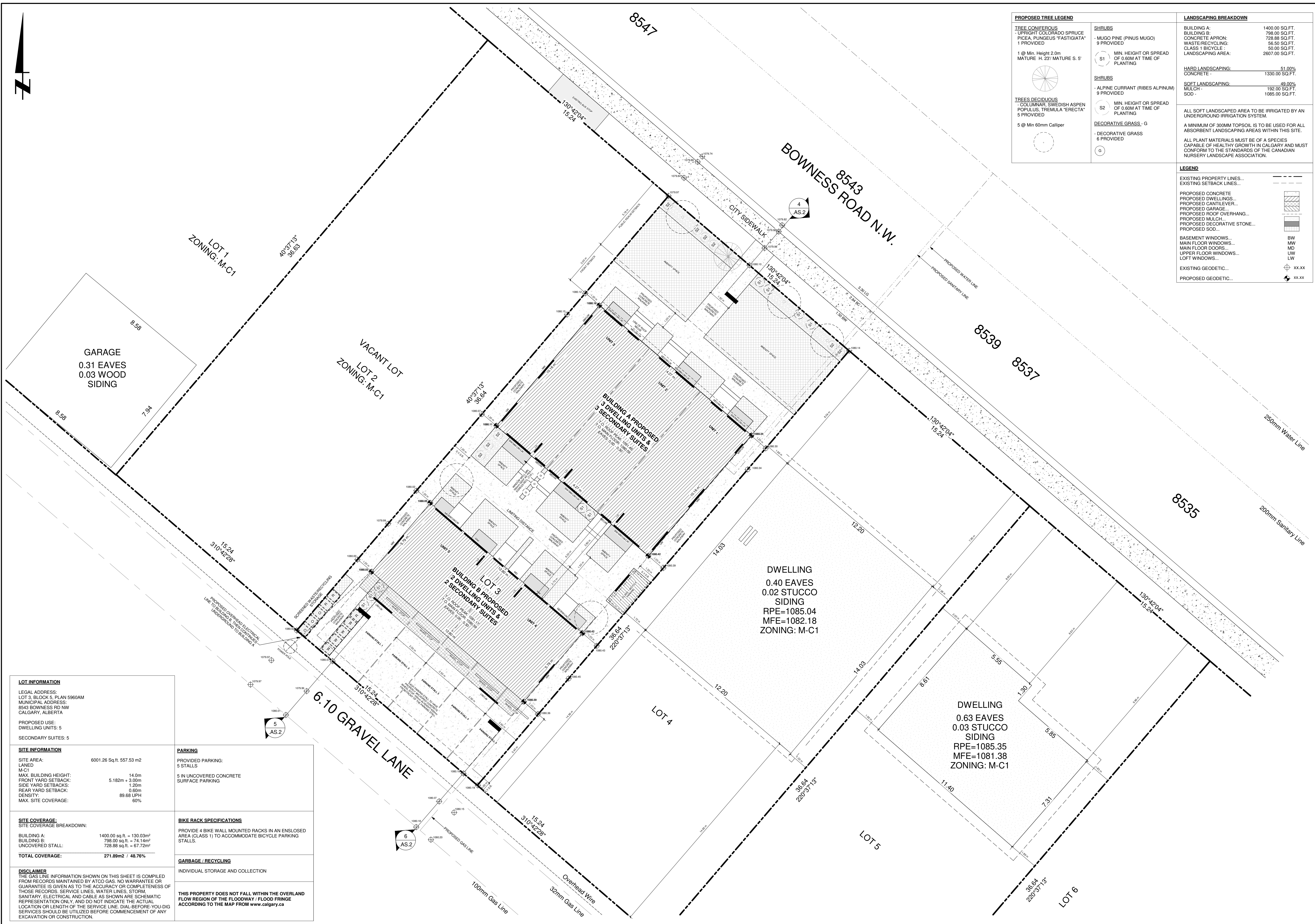
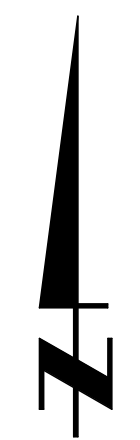
SCALE: 1/8" = 1'-0"
PRINTED ON 24x36 PAPER

SHEET #:
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NOTES:

GENERAL NOTES	
<p>GENERAL</p> <ul style="list-style-type: none"> - ALL DRAWINGS ARE PREPARED TO SCALE; HOWEVER, MINOR DISCREPANCIES MAY OCCUR DUE TO REPRODUCTION. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE STARTING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO ELEANOR DESIGNS PRIOR TO PROCEEDING - WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS <p>FOUNDATIONS</p> <ul style="list-style-type: none"> - FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL - FINAL GRADING MAY DIFFER FROM THAT SHOWN ON DRAWINGS. CONTRACTOR TO CONFIRM GRADES PRIOR TO CONCRETE PLACEMENT - ALL CONCRETE PADS AND FOOTINGS MUST BE REVIEWED AND CONFIRMED BY A STRUCTURAL ENGINEER TO ENSURE SUITABILITY FOR ACTUAL SITE CONDITIONS <p>FRAMING</p> <ul style="list-style-type: none"> - ALL FRAMING MATERIALS TO BE SPF #2 OR BETTER, OR AS SPECIFIED IN THE DESIGN DOCUMENTS - FRAMING DIMENSIONS ARE MEASURED FROM THE EXTERIOR SHEATHING FACE TO THE FACE OF INTERIOR WALL STUDS UNLESS OTHERWISE NOTED <p>ELECTRICAL</p> <ul style="list-style-type: none"> - ELECTRICAL LAYOUT SHOWN IS CONCEPTUAL ONLY. FINAL DESIGN AND LAYOUT TO BE CONFIRMED BY THE LICENSED ELECTRICAL CONTRACTOR - ALL ELECTRICAL SYSTEMS MUST COMPLY WITH APPLICABLE CODES AND STANDARDS AT THE FEDERAL, PROVINCIAL, AND LOCAL LEVELS 	<p>MECHANICAL</p> <ul style="list-style-type: none"> - MECHANICAL DESIGN AND SPECIFICATIONS TO BE PROVIDED BY THE MECHANICAL ENGINEER - MECHANICAL CONTRACTOR MUST ENSURE THAT ALL SYSTEMS ARE INSTALLED IN ACCORDANCE WITH ENGINEERING DOCUMENTS AND ALL RELEVANT NATIONAL, PROVINCIAL, AND MUNICIPAL CODES <p>DOOR AND WINDOWS</p> <ul style="list-style-type: none"> - WINDOWS AND DOOR SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION. - WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS. MINIMUM PERFORMANCE GRADE 50 MIN. POSITIVE DESIGN PRESSURE 1440PA MIN. NEGATIVE DESIGN PRESSURE 1440PA MIN. WATER PENETRATION PRESSURE 350 PA MIN. CANADIAN AIR INFILTRATION A2 ALL REQUIREMENTS CALCULATED AS PER WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR FOR WINDOWS WITHIN 10mm OF GRADE ON ROUGH TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERCEDE ARCHITECTURAL DWGS. - MAXIMUM U VALUE FOR ALL WINDOW TO BE 2.0 <p>STRUCTURAL</p> <ul style="list-style-type: none"> - TRUSS SUPPLIER SHALL PROVIDE TRUSS DESIGNS AND VERIFY ALL ROOF SLOPES. TRUSSES MUST CONFORM TO THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AND BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER IN ALBERTA - ALL BEAMS AND LINTELS TO BE SIZED ACCORDING TO ALBERTA BUILDING CODE TABLES - FLOOR JOIST LAYOUTS AND SPECIFICATIONS SHALL BE PROVIDED AND CERTIFIED BY THE JOIST MANUFACTURER

DRAWING INDEX	
SHEET #	SHEET NAME
AS.1	SITE PLAN - PROPOSED
A1.0a	BASEMENT PLAN - PROPOSED
A1.1	MAIN FLOOR PLAN - PROPOSED
A1.2	UPPER FLOOR PLAN - PROPOSED
A1.3	LOFT FLOOR PLAN - PROPOSED
A3.0	BUILDING A - PROPOSED ELEVATIONS
A3.1	SIDE ELEVATION - PROPOSED
A3.2	SIDE ELEVATION - PROPOSED
A3.3	BUILDING B - PROPOSED ELEVATIONS




PROPOSED TREE LEGEND		LANDSCAPING BREAKDOWN	
TREE CONIFEROUS - UPRIGHT COLORADO SPRUCE - PICEA PUNGEUS 'FASTIGIATA' 1 PROVIDED 1 @ Min. Height 2.0m MATURE H. 23' / MATURE S. 5'	SHRUBS - MUGO PINE (PINUS MUGO) 9 PROVIDED S1 MIN. HEIGHT OR SPREAD OF 0.60M AT TIME OF PLANTING	BUILDING A: 1400.00 SQ.FT. BUILDING B: 798.00 SQ.FT. CONCRETE APRON: 728.88 SQ.FT. WASTE/RECYCLING: 56.50 SQ.FT. CLASS 1 BICYCLE: 50.00 SQ.FT. LANDSCAPING AREA: 2807.00 SQ.FT.	HARD LANDSCAPING: 51.00% CONCRETE - 1330.00 SQ.FT.
TREE DECIDUOUS - COLUMNAR SWEDISH ASPEN - POPULUS TREMULA 'ERECTA' 5 PROVIDED 5 @ Min 60mm Calliper	SHRUBS - ALPINE CURRANT (RIBES ALPINUM) 9 PROVIDED S2 MIN. HEIGHT OR SPREAD OF 0.60M AT TIME OF PLANTING	SOFT LANDSCAPING: 49.00% MULCH - 192.00 SQ.FT. SOD - 1085.00 SQ.FT.	
	DECORATIVE GRASS - G - DECORATIVE GRASS 6 PROVIDED G	LEGEND EXISTING PROPERTY LINES... EXISTING SETBACK LINES... PROPOSED CONCRETE PROPOSED DWELLINGS... PROPOSED CANTILEVER... PROPOSED GARAGE PROPOSED ROOF OVERHANG... PROPOSED MULCH... PROPOSED DECORATIVE STONE... PROPOSED SOD... BASEMENT WINDOWS... MAIN FLOOR WINDOWS... MAIN FLOOR DOORS... UPPER FLOOR WINDOWS... LOFT WINDOWS... EXISTING GEODETC... PROPOSED GEODETC...	



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GOOD EARTH BUILDERS

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2.	19-JAN-26	DP DRAWINGS	AK

STATUS:
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:
SITE PLAN - PROPOSED

CHECKED BY:	DRAWN BY:
A.K.	A.K.

SCALE: As indicated
PRINTED ON 24x36 PAPER

SHEET #:
.AS.1

NOTES:

LOT INFORMATION	
LEGAL ADDRESS: LOT 3, BLOCK 5, PLAN 5960AM MUNICIPAL ADDRESS: 8543 BOWNESS RD NW CALGARY, ALBERTA	
PROPOSED USE: DWELLING UNITS: 5 SECONDARY SUITES: 5	
SITE INFORMATION	
SITE AREA:	6001.26 Sq.ft. 557.53 m ²
LANED M-C1	
MAX. BUILDING HEIGHT:	14.0m
FRONT YARD SETBACK:	5.182m + 3.00m
SIDE YARD SETBACK:	1.20m
REAR YARD SETBACK:	0.60m
DENSITY:	89.68 UPH
MAX. SITE COVERAGE:	60%
SITE COVERAGE:	
SITE COVERAGE BREAKDOWN:	
BUILDING A:	1400.00 sq.ft. = 130.03m ²
BUILDING B:	798.00 sq.ft. = 74.14m ²
UNCOVERED STALL:	728.88 sq.ft. = 67.72m ²
TOTAL COVERAGE:	271.89m² / 48.76%
DISCLAIMER	
THE GAS LINE INFORMATION SHOWN ON THIS SHEET IS COMPILED FROM RECORDS MAINTAINED BY ATCO GAS. NO WARRANTY OR GUARANTEE IS GIVEN AS TO THE ACCURACY OR COMPLETENESS OF THOSE RECORDS. SERVICE LINES, WATER LINES, STORM SANITARY, ELECTRICAL AND CABLE, AS SHOWN ARE SCHEMATIC REPRESENTATION ONLY, AND DO NOT INDICATE THE ACTUAL LOCATION OR LENGTH OF THE SERVICE LINE. DIAL-BEFORE-YOU-DIG SERVICES SHOULD BE UTILIZED BEFORE COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION.	

PARKING	
PROVIDED PARKING:	5 STALLS
5 IN UNCOVERED CONCRETE SURFACE PARKING	
BIKE RACK SPECIFICATIONS	
PROVIDE 4 BIKE WALL MOUNTED RACKS IN AN ENCLOSED AREA (CLASS 1) TO ACCOMMODATE BICYCLE PARKING STALLS.	
GARBAGE / RECYCLING	
INDIVIDUAL STORAGE AND COLLECTION	

THIS PROPERTY DOES NOT FALL WITHIN THE OVERLAND FLOOD REGION OF THE FLOODWAY / FLOOD FRINGE ACCORDING TO THE MAP FROM www.calgary.ca

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2	19-JAN-26	DP DRAWINGS	AK

STATUS:
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DRAWING NAME:
 BUILDING A - PROPOSED ELEVATIONS

CHECKED BY: A.K. **DRAWN BY:** A.K.

SCALE: 1 : 50
 PRINTED ON 24x36 PAPER

SHEET #:
A3.0

NOTES:



1 BUILDING A - FRONT
 1 : 50



2 BUILDING A - REAR
 1 : 50



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BUILDING B - PROPOSED ELEVATIONS

CHECKED BY: A.K. **DRAWN BY:** A.K.

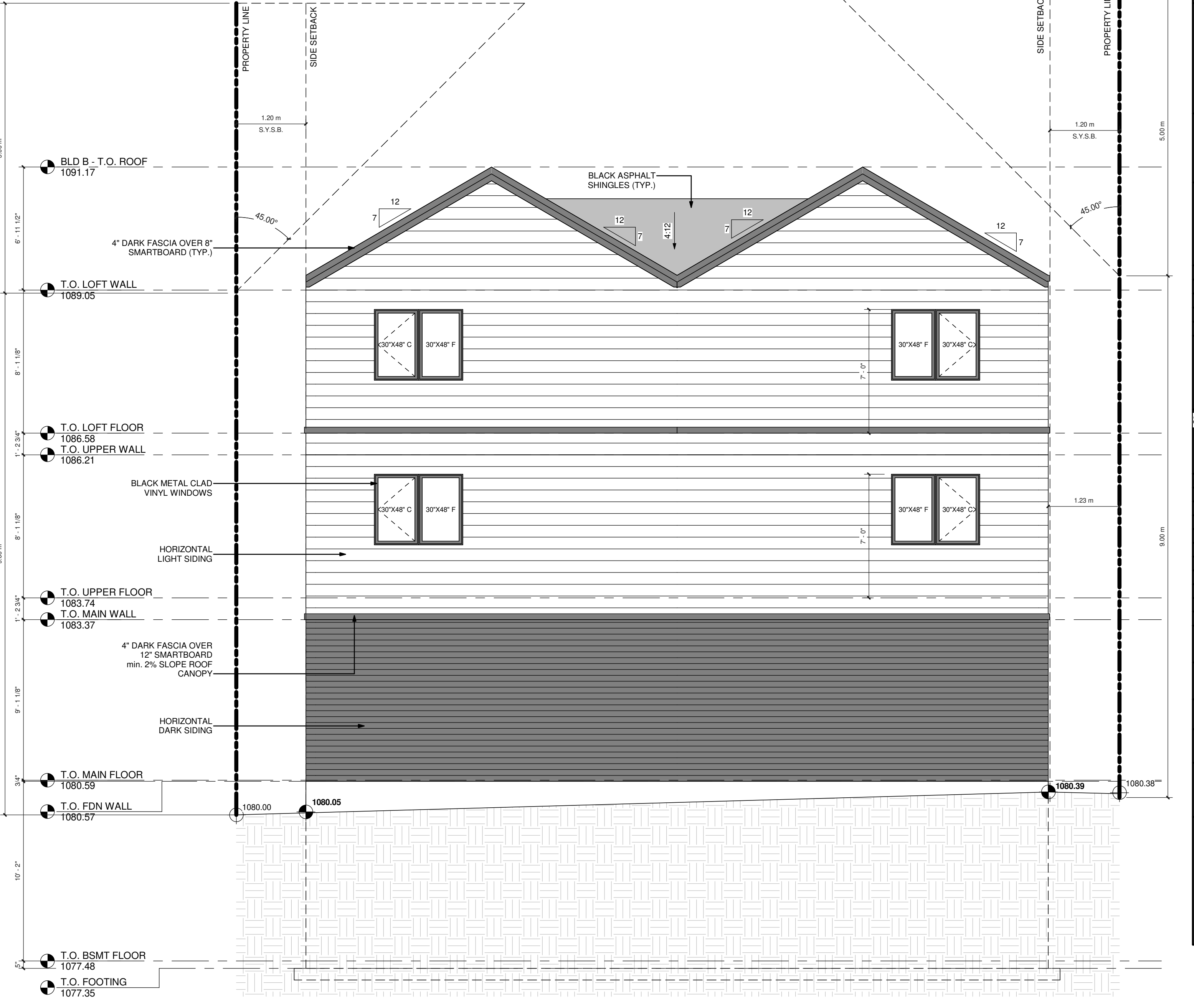
SCALE: 1 : 50
PRINTED ON 24x36 PAPER

SHEET #:
A3.3

NOTES:



1 BUILDING B - FRONT
1 : 50



2 BUILDING B - REAR
1 : 50