

SLOKKER HOMES
ASPEN WOODS MULTI-FAMILY

ISSUED FOR DP
 2026-02-18



PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:02:12 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

COVER PAGE

Project number : 25-029

Issued :

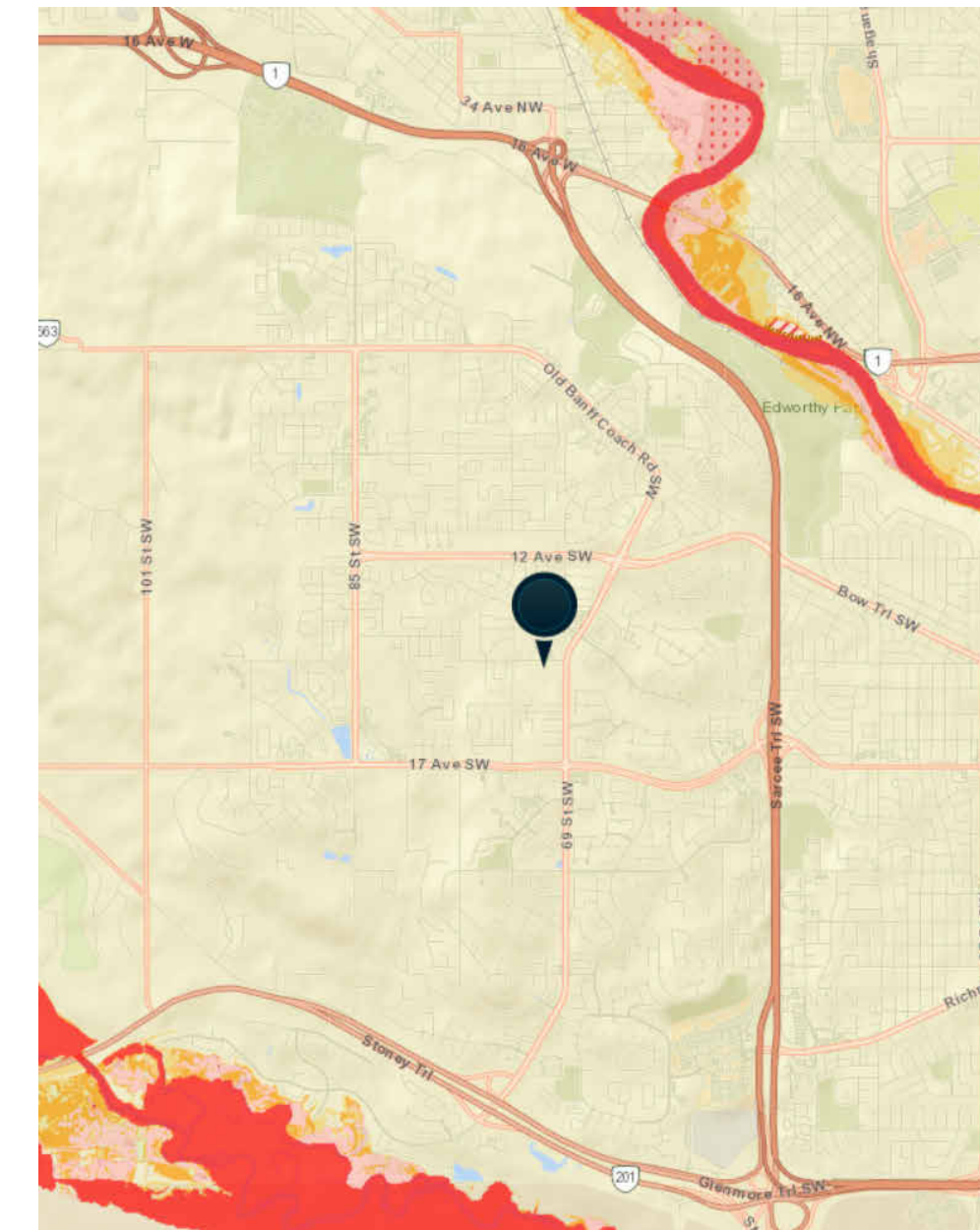
Drawn by : Author Checked by : Checker

Drawing number :

DP0.00

Scale :

FLOOD MAP - RISK N/A



ARCHITECTURAL DRAWING LIST	
No.	Sheet Name
DP0.00	COVER PAGE
DP0.01	PROJECT INFORMATION
DP0.02	SURVEY
DP0.03	EXISTING SITE PHOTOS
DP0.04	SHADOW STUDY
DP0.05	BLOCK PLAN
DP1.00	PROPOSED SITE PLAN
DP1.02	PROPOSED TRUCK SWEEP & WASTE AND RECYCLING DETAILS
DP1.03	PROPOSED FIREFIGHTING ACCESS, BICYCLE STALLS & RETAINING WALL DETAILS
DP2.00	PROPOSED PARKADE LEVEL
DP2.01	PROPOSED FIRST LEVEL
DP2.02	PROPOSED SECOND LEVEL
DP2.03	PROPOSED THIRD LEVEL
DP2.04	PROPOSED FOURTH LEVEL
DP2.05	PROPOSED ROOF PLAN
DP3.01	PROPOSED ELEVATIONS
DP3.02	PROPOSED ELEVATIONS
DP3.03	PROPOSED COLOR ELEVATIONS
DP3.04	PROPOSED COLOR ELEVATIONS
DP4.01	PROPOSED SECTIONS

CIVIL DRAWING LIST	
No.	Sheet Name
246-04	SITE SERVICING PLAN
SVC	
246-04	SITE GRADING PLAN
GRAD	

LANDSCAPE DRAWING LIST	
No.	Sheet Name
L-0	OVERALL PLAN
L-1	LANDSCAPE PLAN
L-2	DETAILS AND FURNISHINGS

ELECTRICAL DRAWING LIST	
No.	Sheet Name
ES1	SITE PLAN - ELECTRICAL
ES2	SITE LIGHTING - POINT BY POINT
ES3	SITE LIGHTING - POINT BY POINT

BYLAW REVIEW

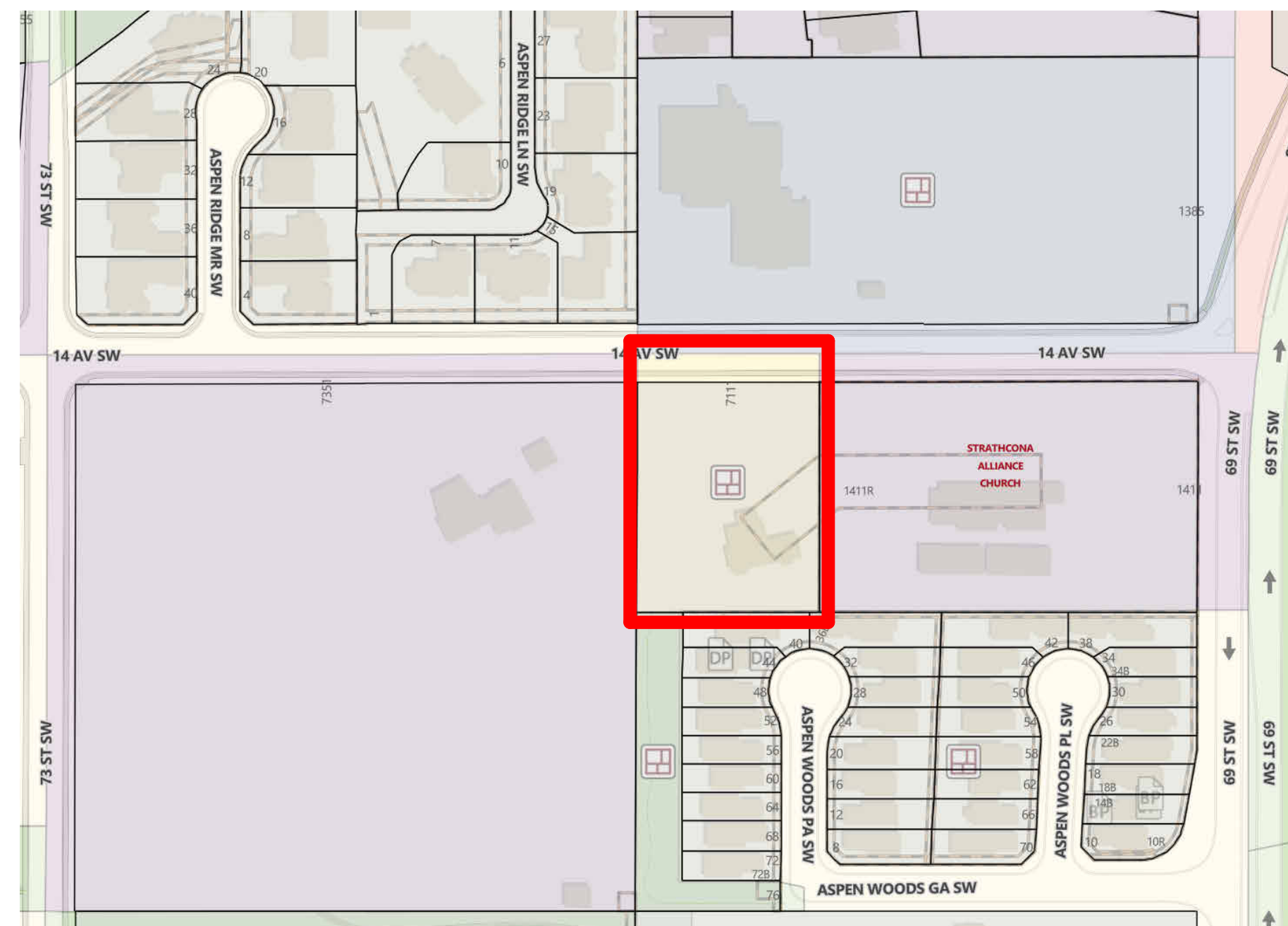
MUNICIPAL ADDRESS: 7111 14TH Ave SW
COMMUNITY: Aspen Woods
ZONING: M-1 (MULTI-RESIDENTIAL, LOW PROFILE)
SITE AREA: 4971.69sqm; 0.497hectares
MAJOR OCCUPANCY CLASSIFICATION: GROUP C

BYLAW SECTION	CATEGORY	REQUIRED	PROVIDED
PART 6, DIVISION 6, 620	DENSITY	25 units min. (50 UPH) 73 units max. (148 UPH)	73 units
PART 6, DIVISION 6, 622	BUILDING SETBACKS	North: 3.0m South: 1.2m East: 1.2m West: 1.2m	North: 3.0m min. South: 1.2m min. East: 1.2m min. West: 1.2m min.
PART 6, DIVISION 6, 624	BUILDING HEIGHT	North: 10m within 3m of property line. 14m at a distance greater than 3m from the property line. East: 14m max. West: 14m max. South: 9m at setback line and increases proportionately to 14m at 5m distance from property line.	North: 14m max. East: 14m max. West: 14m max. South: 14m at 5m distance from property line.
PART 6, DIVISION 1, 557	PRIVATE AMENITY SPACE	5 sqm per unit min.	7.5 sqm per unit min. (80 sqft)
PART 6, DIVISION 1, 558	VEHICLE PARKING	0.625 stalls per dwelling unit = 46 stalls min.	Surface: 9 stalls Parkade: 120 stalls Total: 129 stalls
PART 6, DIVISION 1, 559	BICYCLE PARKING	Class 1: 0.5 stalls per dwelling unit = 37 stalls min. Class 2: 0.1 stalls per dwelling unit = 8 stalls min.	44 stalls (located in parkade) 8 stalls

VICINITY MAP



PROPERTY MAP



PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUEICOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arqueicos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:02:12 AM
 THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

ASPEN WOODS MULTI-FAMILY

Drawing title :

PROJECT INFORMATION

Project number : 25-029
Issued : 01/12/26
Drawn by : Author **Checked by :** Checker
Drawing number :

DP0.01

Scale :

PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:02:16 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

ASPEN WOODS MULTI-FAMILY

Drawing title :

SURVEY

Project number : 25-029

Issued : 01/12/26

Drawn by : Author Checked by : Checker

Drawing number :

DP0.02

Scale :

CITY OF CALGARY, ALBERTA

PLAN SHOWING SURVEY OF SITE PLAN AND ELEVATIONS

OF LOT 13, BLOCK A, PLAN 940 0843 WITHIN S.E.1/4 SEC.15, TWP.24, RGE.2 W.5 M.

SCALE: 1:250

BY: NATHAN PRINS, A.L.S. 2026

LEGEND

- Distances shown are in metres and decimals thereof. Distances shown on curved boundaries are Arc distances. Elevations are derived from ASCM 344994 = 1218.926 Bearings are Grid and derived from GPS observations. The Coordinate System used for this plan is:
 Datum - North American Datum 1983
 Projection - 3° Transverse Mercator
 Reference Meridian - 114° West Longitude
 Combined Scale Factor - 0.999713
- Elevations are shown thus:
 Statutory Iron Posts are shown thus: F.d.: Re-est.:
- Catch basins are shown thus:
- Manholes are shown thus:
- Fire Hydrants are shown thus:
- Light Standards are shown thus:
- Power Poles are shown thus:
- Gas lines are shown thus:
- Sanitary lines are shown thus:
- Overhead Power lines are shown thus:
- Face of Curb lines are shown thus:
- Lip of Gutter lines are shown thus:
- Edge of Gravel lines are shown thus:
- Contour lines are at 0.25m intervals and shown thus:
- Guy Wires shown thus:

NOTE:

- SHALLOW UTILITY LOCATES BY TRUE LOCATES ON JANUARY 13, 2026
- PROPERTY IS SUBJECT TO REGISTERED DOCUMENTS:
 - CAVEAT REGISTERED AS No. 941 095 764
 - UTILITY RIGHT-OF-WAY REGISTERED AS No. 931 098 714
 - EASEMENT REGISTERED AS No. 941 095 767

ABBREVIATIONS

- | | | | |
|------|-------------------------------|---------|------------------|
| ASCM | Alberta Survey Control Marker | Re-est. | Re-established |
| N. | North | R | Radius |
| S. | South | L | Arc Length |
| E. | East | m | Metres |
| W. | West | BOC | Back of Curb |
| SEC. | Section | LOG | Lip of Gutter |
| TWP. | Township | WCR | Wheel Chair Ramp |
| RGE. | Range | CC | Curb Cut |
| M. | Meridian | CB | Catch Basin |
| F.d. | Found | MH | Manhole |
| L. | Iron Post | LS | Light Standard |
| Mk. | Mark | WV | Water Valve |
| C.S. | Countersunk | BM | Benchmark |
| R/W | Right-of-Way | | |

The survey was performed January 13-26, 2026

Certified Correct this 27th Day of January, 2026

Alberta Land Surveyor

ADDRESS OF SITE

7111 14 AVE. S.W.
 CALGARY, ALBERTA

REGISTERED OWNERS

AS OF C. OF T. NO. 251 306 984
 ASPEN WOODS GP LTD.

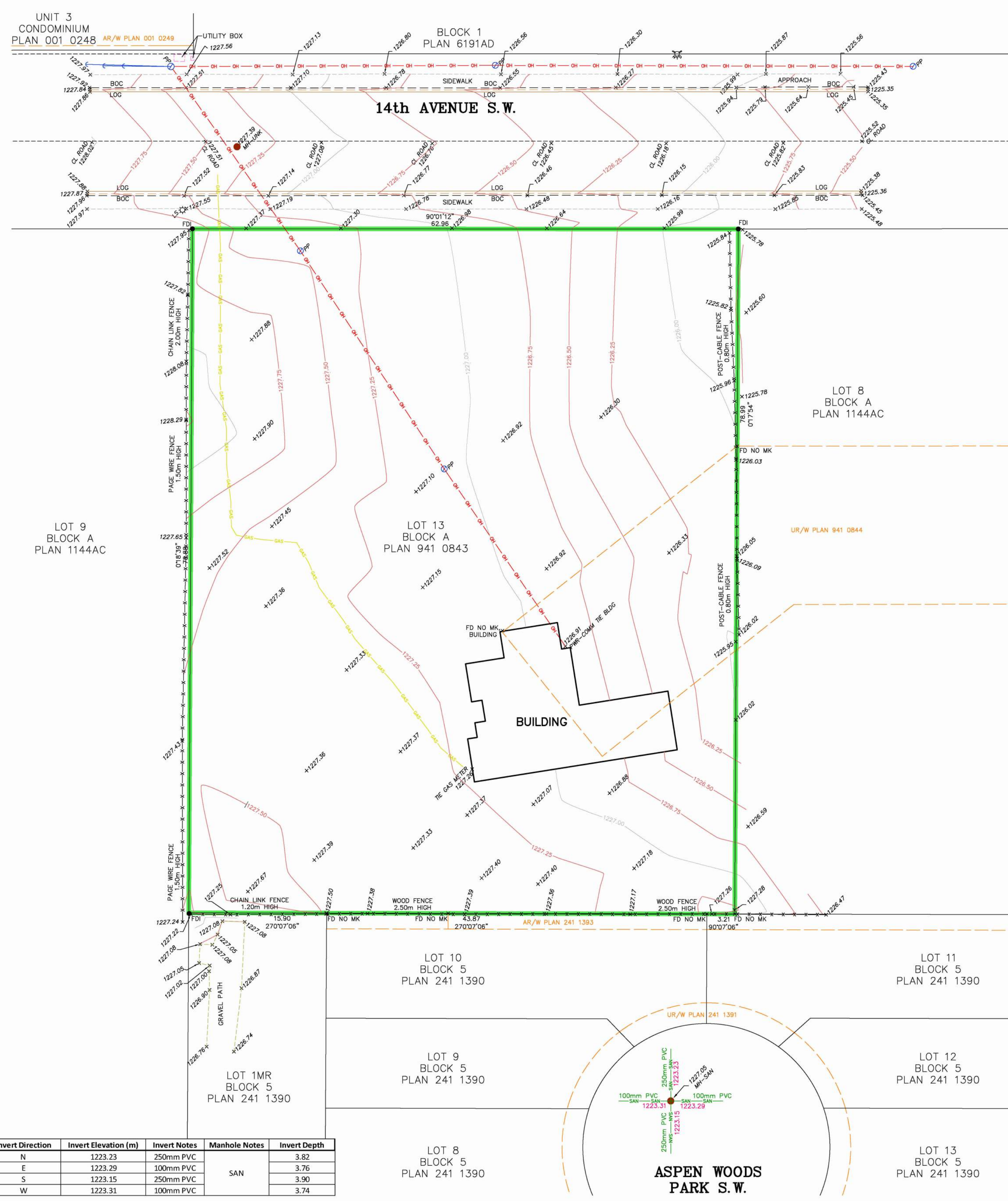
TRONNES GEOMATICS
 6135 - 10th Street S.E., Calgary, Alberta T2H 2Z9; 403-207-0303; File: 26-1003

CAUTION - PRIOR TO ANY CONSTRUCTION UNDERGROUND FACILITIES NEED TO BE LOCATED BY:

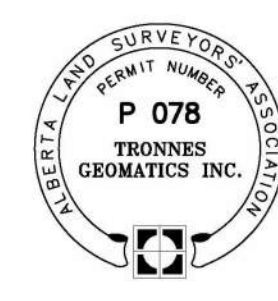
CAD File: 26-1003-ST1-1.dwg

ALBERTA CALL BEFORE YOU DIG

1-800-242-3447



ID	Type	Rim Elevation (m)	Invert Direction	Invert Elevation (m)	Invert Notes	Manhole Notes	Invert Depth
4000	MH	1227.05	N	1223.23	250mm PVC	SAN	3.82
			E	1223.29	100mm PVC		3.76
			S	1223.15	250mm PVC		3.90
			W	1223.31	100mm PVC		3.74



PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:02:18 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

EXISTING SITE PHOTOS

Project number : 25-029

Issued : 01/12/26

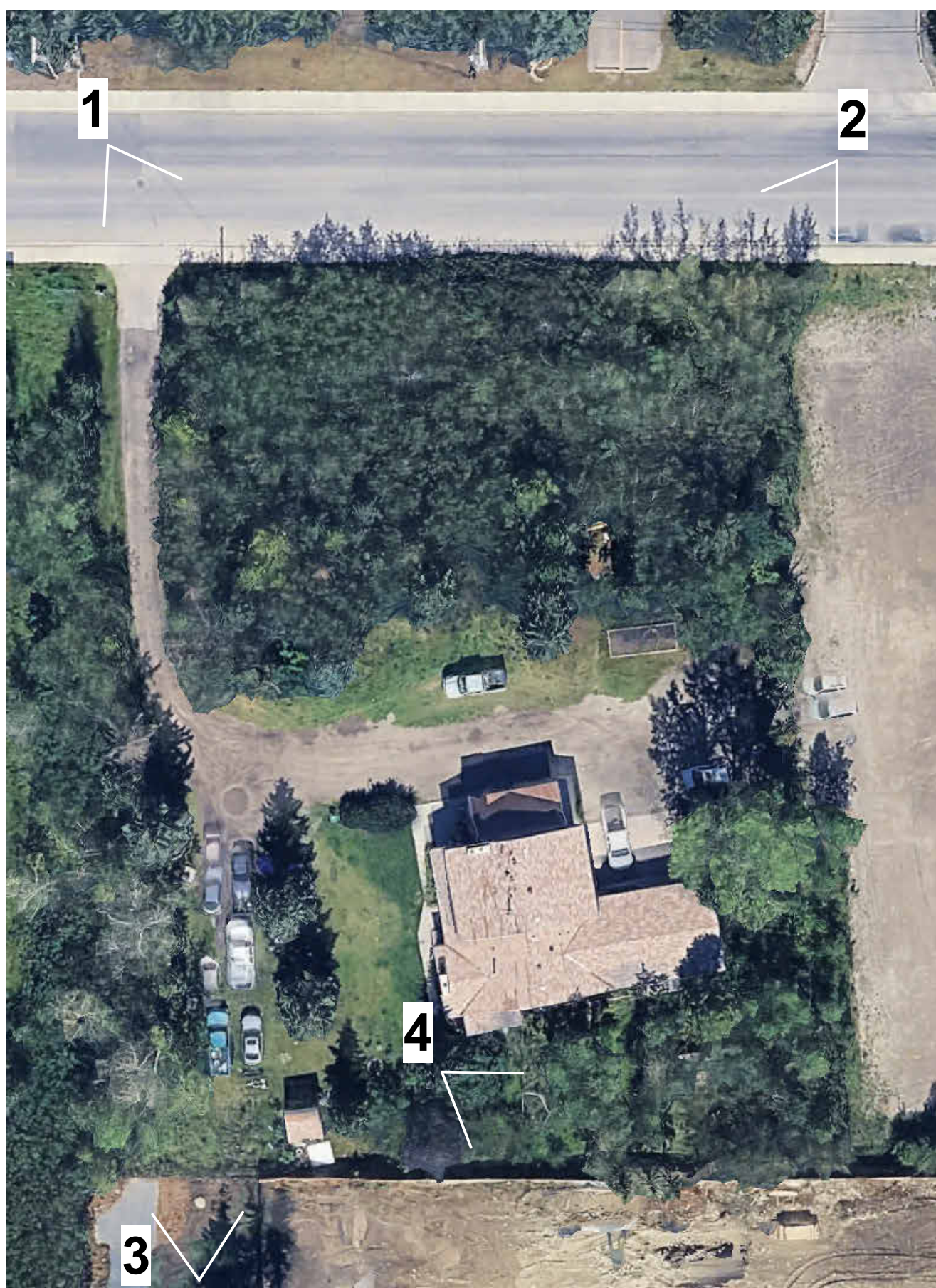
Drawn by : Author **Checked by :** Checker

Drawing number :

DP0.03

Scale :

2/18/2026 10:02:18 AM C:\Users\Michael\Documents\25-029 Slokker Aspen Multi Family_R24_DP_michael\VFSC.rvt



KEY SITE MAP



PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:03:11 AM
 THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.
 THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

SHADOW STUDY

Project number : 25-029

Issued : 01/12/26

Drawn by : Author Checked by : Checker

Drawing number :

DP0.04

Scale : 1 : 1000



1 SHADOW STUDY 1 - MAR 21 - 8AM
 1 : 1000



4 SHADOW STUDY 4 - JUN 21 - 8AM
 1 : 1000



7 SHADOW STUDY 7 - DEC 21 - 8AM
 1 : 1000



2 SHADOW STUDY 2 - MAR 21 - 12PM
 1 : 1000



5 SHADOW STUDY 5 - JUN 21 - 12PM
 1 : 1000



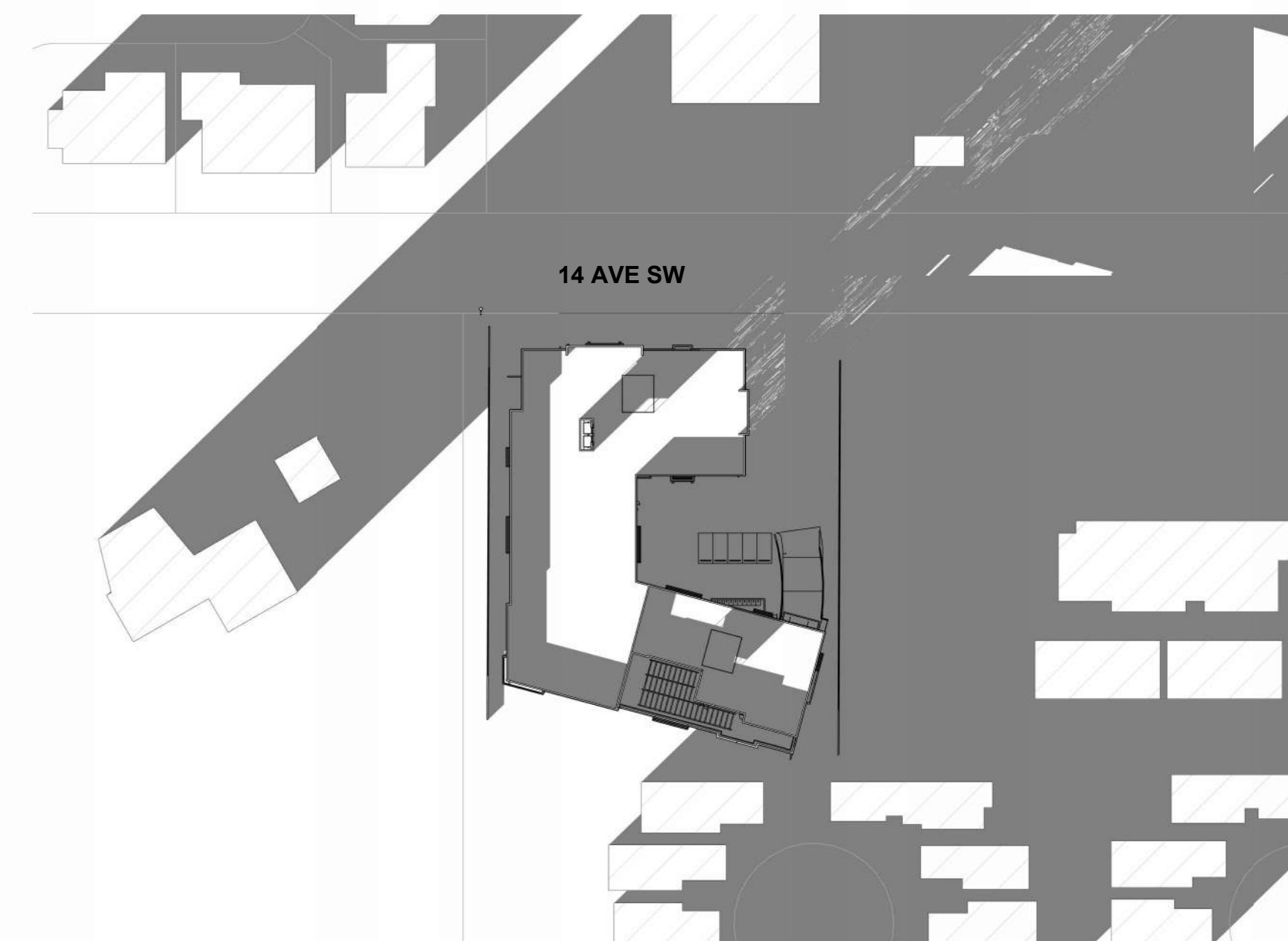
8 SHADOW STUDY 8 - DEC 21 - 12PM
 1 : 1000



3 SHADOW STUDY 3 - MAR 21 - 4PM
 1 : 1000



6 SHADOW STUDY 6 - JUN 21 - 4PM
 1 : 1000



9 SHADOW STUDY 9 - DEC 21 - 4PM
 1 : 1000

PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:03:13 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

BLOCK PLAN

Project number : 25-029

Issued : 11/17/25

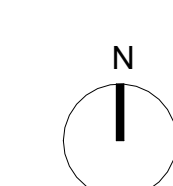
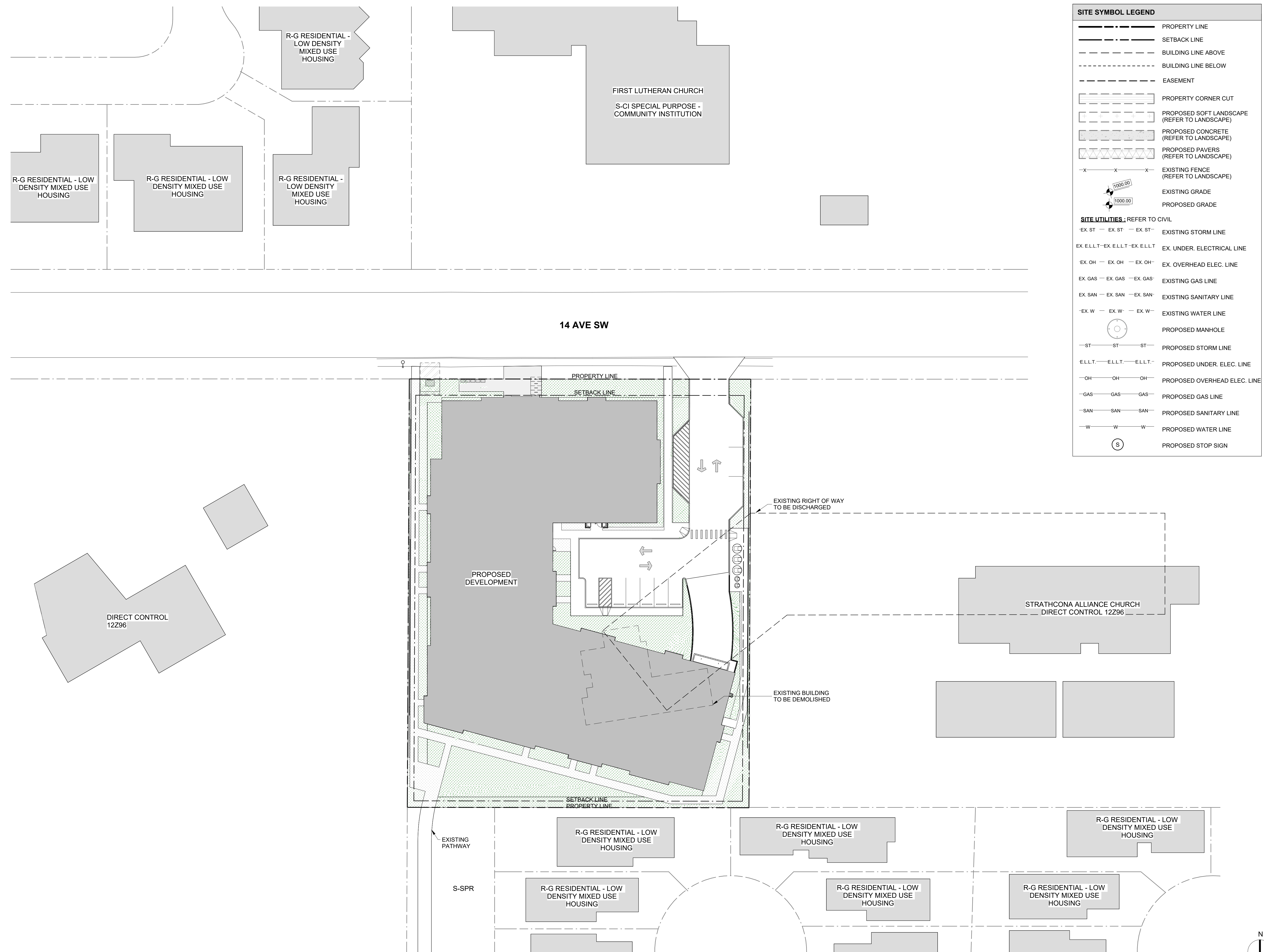
Drawn by : Author Checked by : Checker

Drawing number :

DP0.05

Scale : As indicated

SITE SYMBOL LEGEND	
	PROPERTY LINE
	SETBACK LINE
	BUILDING LINE ABOVE
	BUILDING LINE BELOW
	EASEMENT
	PROPERTY CORNER CUT
	PROPOSED SOFT LANDSCAPE (REFER TO LANDSCAPE)
	PROPOSED CONCRETE (REFER TO LANDSCAPE)
	PROPOSED PAVERS (REFER TO LANDSCAPE)
	EXISTING FENCE (REFER TO LANDSCAPE)
	EXISTING GRADE
	PROPOSED GRADE
SITE UTILITIES : REFER TO CIVIL	
	EXISTING STORM LINE
	EX. UNDER. ELECTRICAL LINE
	EX. OVERHEAD ELEC. LINE
	EXISTING GAS LINE
	EXISTING SANITARY LINE
	EXISTING WATER LINE
	PROPOSED MANHOLE
	PROPOSED STORM LINE
	PROPOSED UNDER. ELEC. LINE
	PROPOSED OVERHEAD ELEC. LINE
	PROPOSED GAS LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED STOP SIGN



PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:03:18 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
6	ISSUED FOR DP	2026-02-18
5	CLIENT REVIEW	2026-02-17
4	CLIENT REVIEW	2026-02-09
3	INTERNAL REVIEW	2026-02-02
2	CLIENT REVIEW	2025-12-19
1	CLIENT REVIEW	2025-11-27

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

PROPOSED SITE PLAN

Project number : 25-029

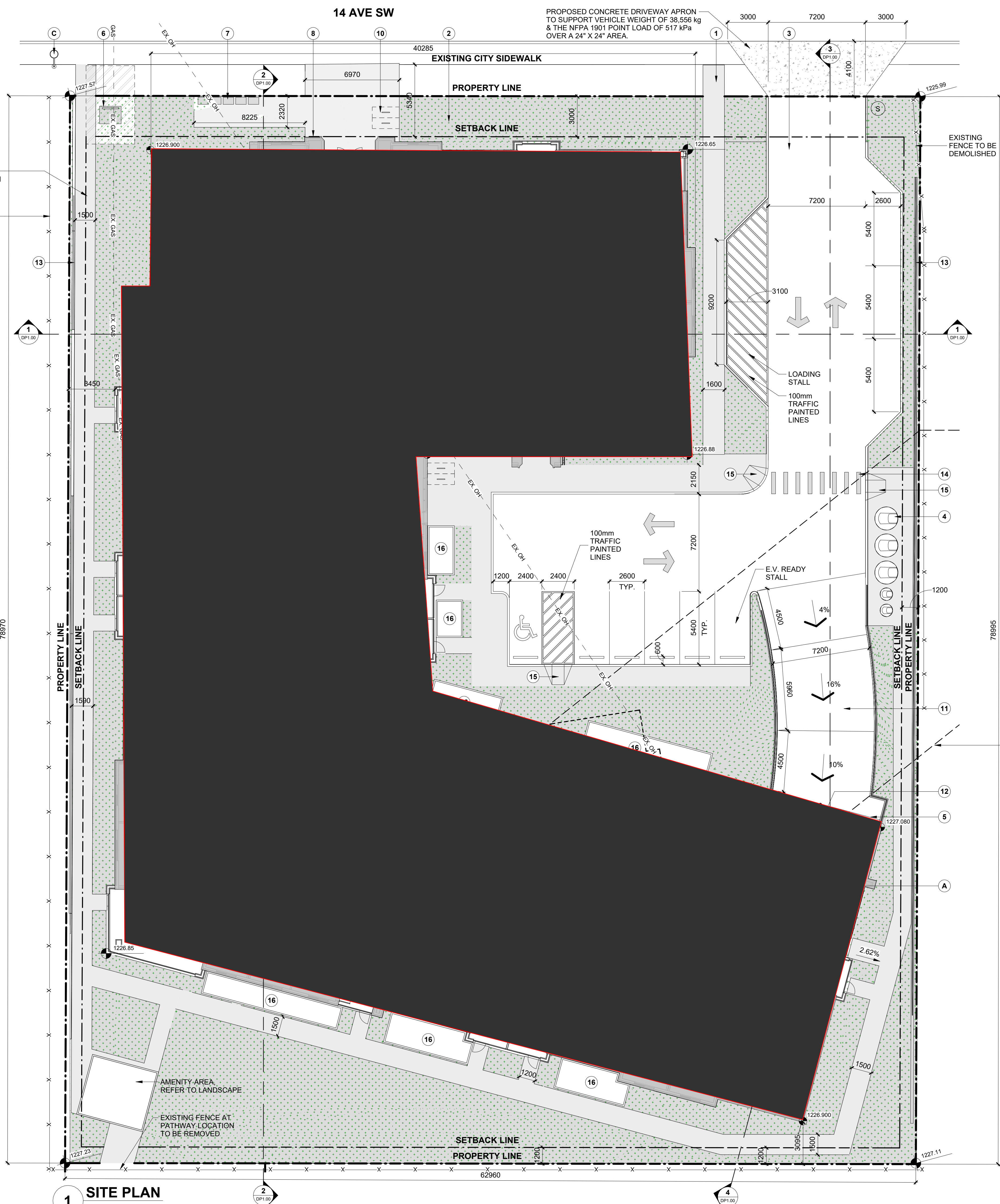
Issued : 11/17/25

Drawn by : Author Checked by : Checker

Drawing number :

DP1.00

Scale : As indicated



- SITE KEYNOTE LEGEND**
- CONCRETE WALKWAY
 - SOFTSCAPE LANDSCAPING
 - ASPHALT DRIVEWAY
 - WASTE & RECYCLING SYSTEM
 - TRENCH DRAIN
 - ELEC. TRANSFORMER & REQUIRED CLEARANCE
 - MAILBOXES
 - SIAMESE CONNECTION
 - CLASS 1 BICYCLE STALLS
 - CLASS 2 BICYCLE STALLS
 - PARKADE RAMP
 - OVERHEAD PARKADE DOOR
 - PROPOSED RETAINING WALL & GUARD RAIL
 - PEDESTRIAN CROSSWALK
 - HANDICAPPED RAMP
 - PLANTER - REFER TO LANDSCAPE DRAWINGS
- (A) EXISTING BUILDING TO BE DEMOLISHED
 (B) EXISTING MANHOLE
 (C) EXISTING UTILITY POLE

SITE STATISTICS

CIVIC ADDRESS:
7111 14th Avenue SW

LEGAL ADDRESS:
Lot 13 Block A Plan 941 0843

PARCEL AREA: 4 972 sqm

BUILDING COVERAGE: +/- 2 480sqm

GROSS FLOOR AREA TOTAL (GFA): +/- 9,376 sqm

FLOOR AREA RATIO (FAR): 1.88

PROPOSED NUMBER OF UNIT : 73 units

PROPOSED BUILDING HEIGHT : 14m

MOTOR VEHICLE PARKING STALLS: 129 stalls
 9 surface (VISITOR)
 120 parkade (RESIDENTS)

BICYCLE PARKING STALLS: 44 (Class 1), 8 (Class 2)

NOTE :

- ALL EXISTING PRIVATE STRUCTURES AND TREES MUST BE REMOVED UNLESS OTHERWISE SPECIFIED.
- EVERYTHING IS PROPOSED UNLESS OTHERWISE SPECIFIED.
- REFER TO LANDSCAPE DRAWINGS FOR THE PROPOSED NEW LANDSCAPING.
- REFER TO CIVIL DRAWINGS FOR THE PROPOSED UTILITY AND FIRE HYDRANT CONNECTIONS.
- REFER TO STRUCTURAL DRAWINGS FOR THE PROPOSED RETAINING WALLS.

ABBREVIATIONS :

- B.T.: BOTTOM OF WALL.
- T.W.: TOP OF WALL.
- EX.: EXISTING

SITE SYMBOL LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	BUILDING LINE ABOVE
---	BUILDING LINE BELOW
---	EASEMENT
---	PROPERTY CORNER CUT
---	PROPOSED SOFT LANDSCAPE (REFER TO LANDSCAPE)
---	PROPOSED CONCRETE (REFER TO LANDSCAPE)
---	PROPOSED PAVERS (REFER TO LANDSCAPE)
---	EXISTING FENCE (REFER TO LANDSCAPE)
---	EXISTING GRADE
---	PROPOSED GRADE

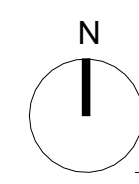
SITE UTILITIES ; REFER TO CIVIL

EX-ST	EXISTING STORM LINE
EX-ELLT	EXISTING UNDER. ELECTRICAL LINE
EX-OH	EXISTING OVERHEAD ELEC. LINE
EX-GAS	EXISTING GAS LINE
EX-SAN	EXISTING SANITARY LINE
EX-W	EXISTING WATER LINE
ST	PROPOSED MANHOLE
E.L.L.T.	PROPOSED UNDER. ELEC. LINE
OH	PROPOSED OVERHEAD ELEC. LINE
GAS	PROPOSED GAS LINE
SAN	PROPOSED SANITARY LINE
W	PROPOSED WATER LINE
S	PROPOSED STOP SIGN

1 SITE PLAN
1:150

2
DP1.00

4
DP1.00





1 overall plan
Scale: 1:300

Site Information

Address: 7111 14th Street SW
Calgary, A.B.
City of Calgary Zoning: M-1

Landscape Statistics

Site Area	4,971.32 sq m
Landscape area required	1,988.53 sq m 40% of site
Landscape area provided	2,031.50 sq m 40.86 % of site area
soft landscape area	1,100.89 54.19% of provided area
hard landscape area	930.61 45.81% of provided area

Tree requirements	required	provided
1 tree per 45 sq m	Total 45.1	46
Deciduous Trees	33.9	28.00
75mm cal	16.9	17
50mm cal	16.9	11
Coniferous Trees	11.3	18.00
3m height	5.6	10.00
2m height	5.6	8.00
Shrub Requirements	required	provided
2 Shrubs per 45 sq m	Total 90.3	361
Deciduous		321.00
Coniferous		40.00

Plant List

Qty	Common Name	Botanical Name	Size
-----	-------------	----------------	------

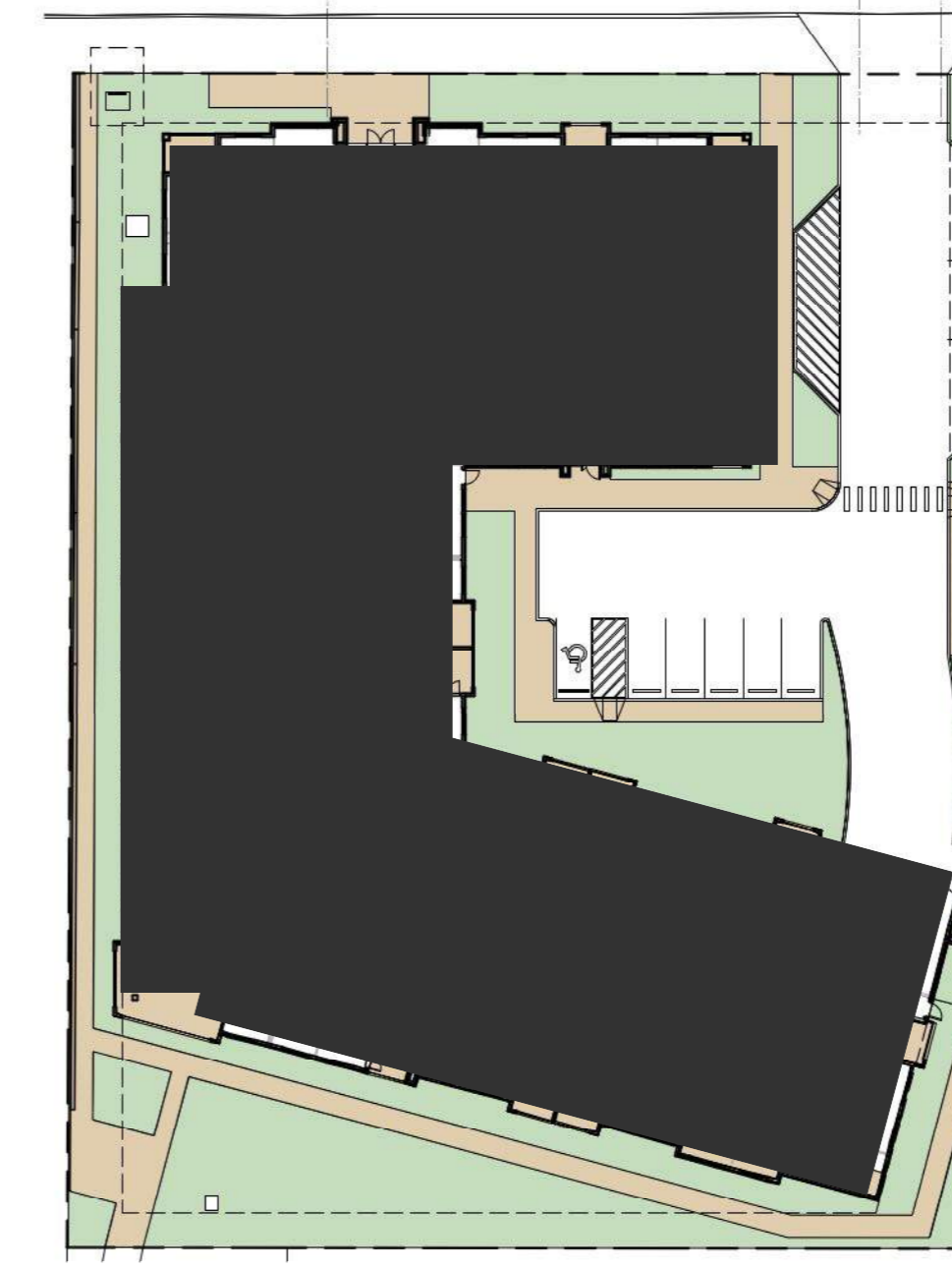
Ornamental Grasses and Groundcovers

Shrubs

Coniferous			
40	Dwarf Mugo Pine	Pinus mugo 'pumilio'	
Deciduous			
13	Alpine Currant	Ribes alpinum	600mm min
53	Anise Hyssop	Agastache 'Blue Fortune'	600mm min
79	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	600mm min
126	Potentilla	Potentilla fruticosa 'Hachliss'	600mm min
50	Red Garden Astilbe	Astilbe x arendsii 'Fanal'	600mm min

Trees

Coniferous			
8	Columnar Spruce	Picea pungens 'Fastigiata'	3m ht
2	Yellow Ponderosa Pine	Pinus ponderosa	3m ht
8	Lodgepole Pine	Pinus contorta 'var. latifolia'	2m ht
Deciduous			
6	Brandon Elm	Ulmus americana 'Brandon'	75mm cal
11	Red Rocket Red Maple	Acer rubrum 'Red Rocket'	75mm cal
5	Dakota Pinnacle Birch	Betula platyphyllo 'Fargo'	50mm cal
6	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	50mm cal



2 landscape area calculations
Scale: 1:500

Trees

- Dakota Pinnacle Birch
- Brandon Elm
- Ivory Silk Japanese Tree Lilac
- Red Rocket Red Maple
- Columnar Spruce
- Lodgepole Pine
- Yellow Ponderosa Pine

Shrubs

- Alpine Currant
- Red Garden Astilbe
- Dwarf Mugo Pine
- Anise Hyssop
- Little Devil Ninebark
- Potentilla

Surfaces

- Wood Mulch
- fine ground
- Drought Tolerant Sod
- over 300 mm of topsoil

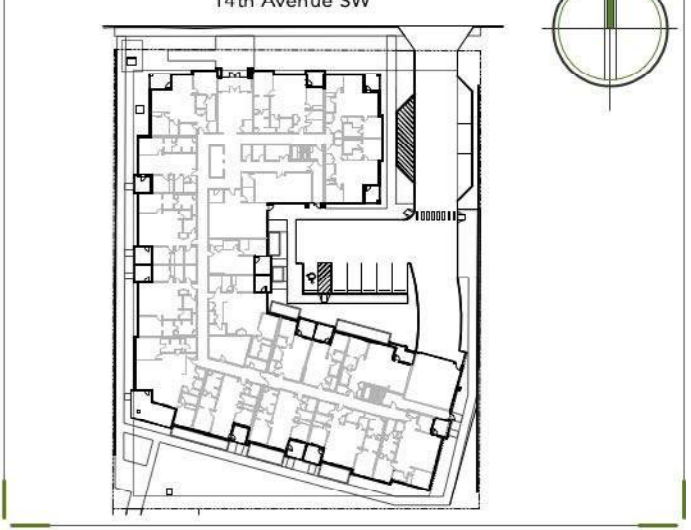
General Notes

- This drawing, including all concepts and design ideas are property of Arquecos Group Ltd. This drawings can only be reproduced with written authorization of Arquecos Group, the Project Owner or the Owner's Representative.
- These drawings must not be used for construction purposes unless specifically issued as such.
- This drawings have been drawn to scale as indicated in the titleblock and viewpoints. Do not scale drawings. Due to printing and reproduction scale may vary slightly. Written dimensions rule over scaled dimensions. Contractors to verify all dimensions, datum, elevations and grading on site prior to commencing work. Report any discrepancies immediately.
- Any variations and design changes to the information shown on these drawings must not be carried out without written authorization from Arquecos Group Ltd. the Project Owner or the Owner's Representative.
- Any references made to the location of all existing and proposed utilities, including URW must be verified on site prior to commencing work. Report any and all conflicts identified immediately.
- Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards. Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

Irrigation Notes

- All landscape areas shall be watered by an automatic underground irrigation system as per municipal standards. Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. If possible, connect to existing irrigation system. Ensure power and water meters are properly installed and operating prior to utilization of the system.

Key Plan



5	development permit	26.02.17
4	review and coordination	26.02.10
3	review and coordination	26.01.22
2	review and coordination	25.12.04
1	review and coordination	25.12.03
Issued for:		Date: (yy.mm.dd)

Project No. 12-018
Project Title:

**Aspen Woods
Multifamily**
Calgary, A.B.

Drawing Title:
Overall Plan

Drawn by: cmp
Checked by: cmp
Drawing No. **L-0**

Scale: 1:300








General Notes

- This drawing, including all concepts and design ideas are property of Arquecos Group Ltd. This drawings can only be reproduced with written authorization of Arquecos Group, the Project Owner or the Owner's Representative.
- These drawings must not be used for construction purposes unless specifically issued as such.
- This drawings have been drawn to scale as indicated in the titleblock and viewpoints. Do not scale drawings. Due to printing and reproduction scale may vary slightly. Written dimensions rule over scaled dimensions. Contractors to verify all dimensions, datum, elevations and grading on site prior to commencing work. Report any discrepancies immediately.
- Any variations and design changes to the information shown on these drawings must not be carried out without written authorization from Arquecos Group Ltd. the Project Owner or the Owner's Representative.
- Any references made to the location of all existing and proposed utilities, including URW must be verified on site prior to commencing work. Report any and all conflicts identified immediately.
- Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards. Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

Irrigation Notes

- All landscape areas shall be watered by an automatic underground irrigation system as per municipal standards. Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. If possible, connect to existing irrigation system. Ensure power and water meters are properly installed and operating prior to utilization of the system.



Trees

-  Dakota Pinnacle Birch
-  Brandon Elm
-  Ivory Silk Japanese Tree Lilac
-  Red Rocket Red Maple
-  Columnar Spruce
-  Lodgepole Pine
-  Yellow Ponderosa Pine

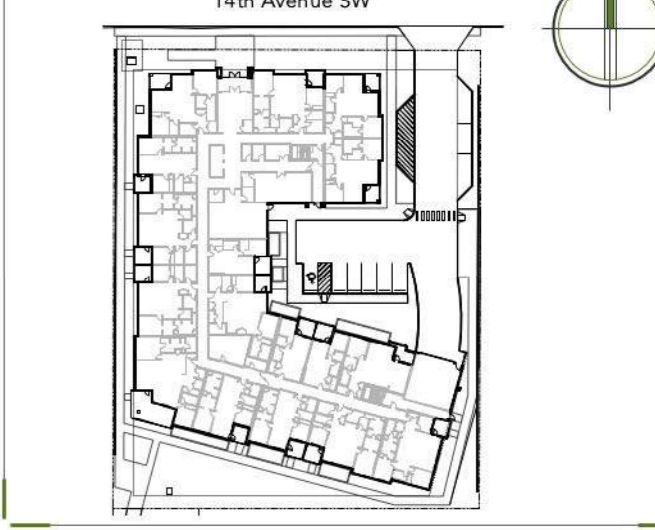
Shrubs

-  Alpine Currant
-  Red Garden Astilbe
-  Dwarf Mugo Pine
-  Anise Hyssop
-  Little Devil Ninebark
-  Potentilla

Surfaces

-  Wood Mulch
fine ground
-  Drought Tolerant Sod
over 300 mm of topsoil

Key Plan



1 main floor landscape plan
 Scale: 1:175

5	development permit	26.02.17
4	review and coordination	26.02.10
3	review and coordination	26.01.22
2	review and coordination	25.12.04
1	review and coordination	25.12.03
Issued for:		Date: (yy.mm.dd)

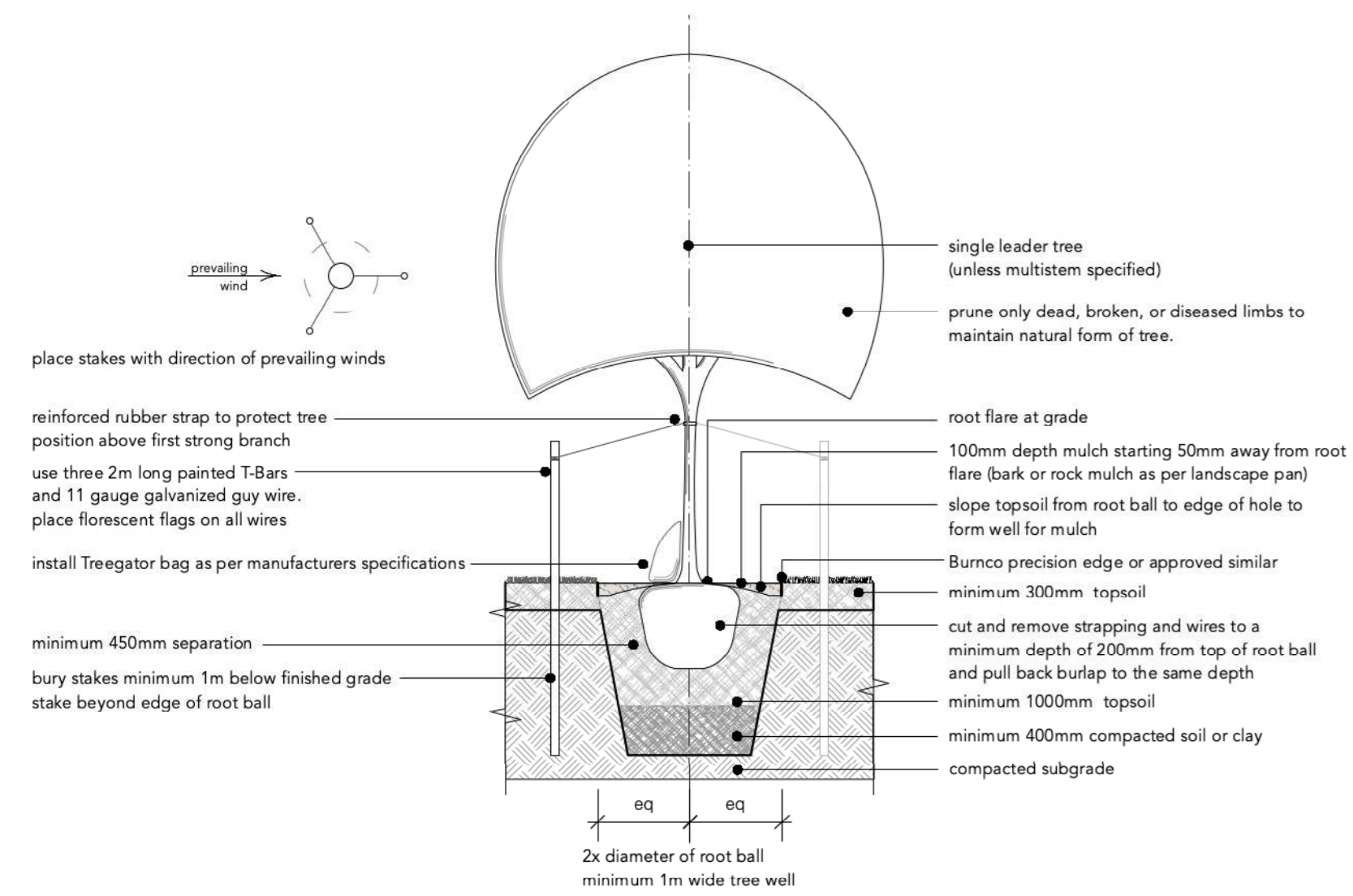
Project No: 12-018
 Project Title:

Aspen Woods Multifamily
 Calgary, A.B.

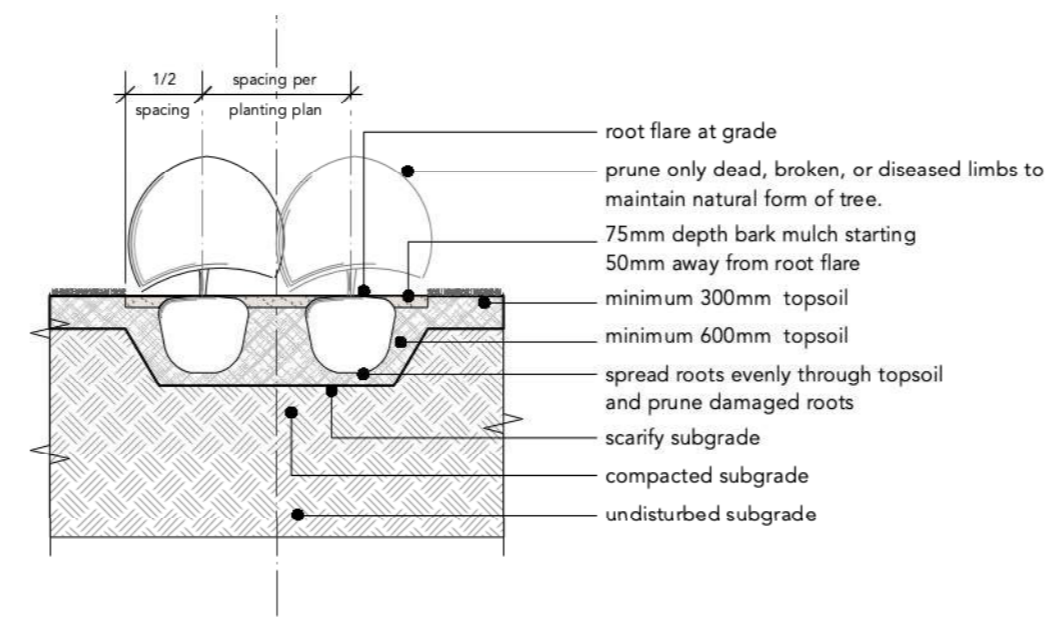
Landscape Plan

Drawn by: cmp
 Checked by: cmp
 Drawing No: **L-1**

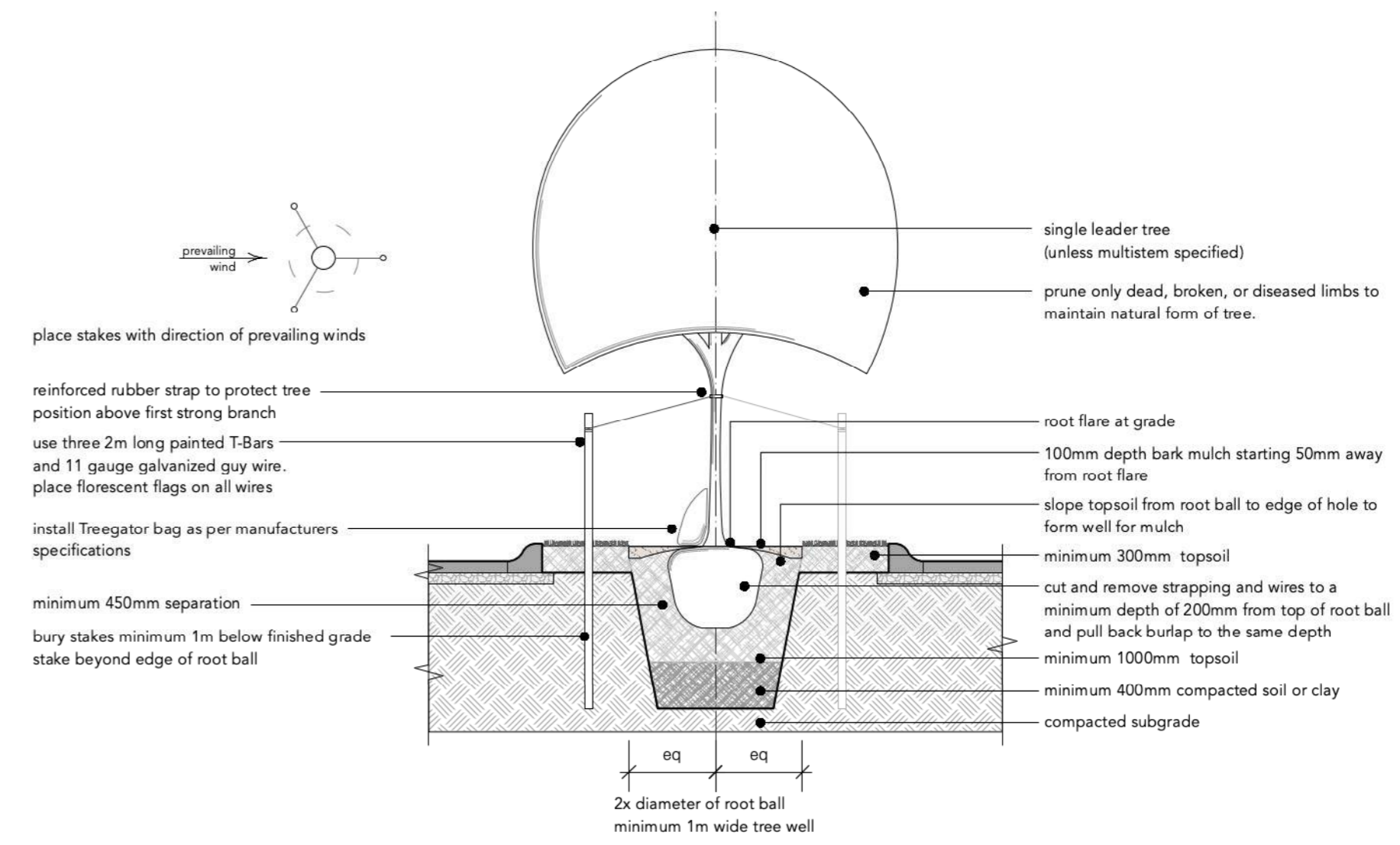




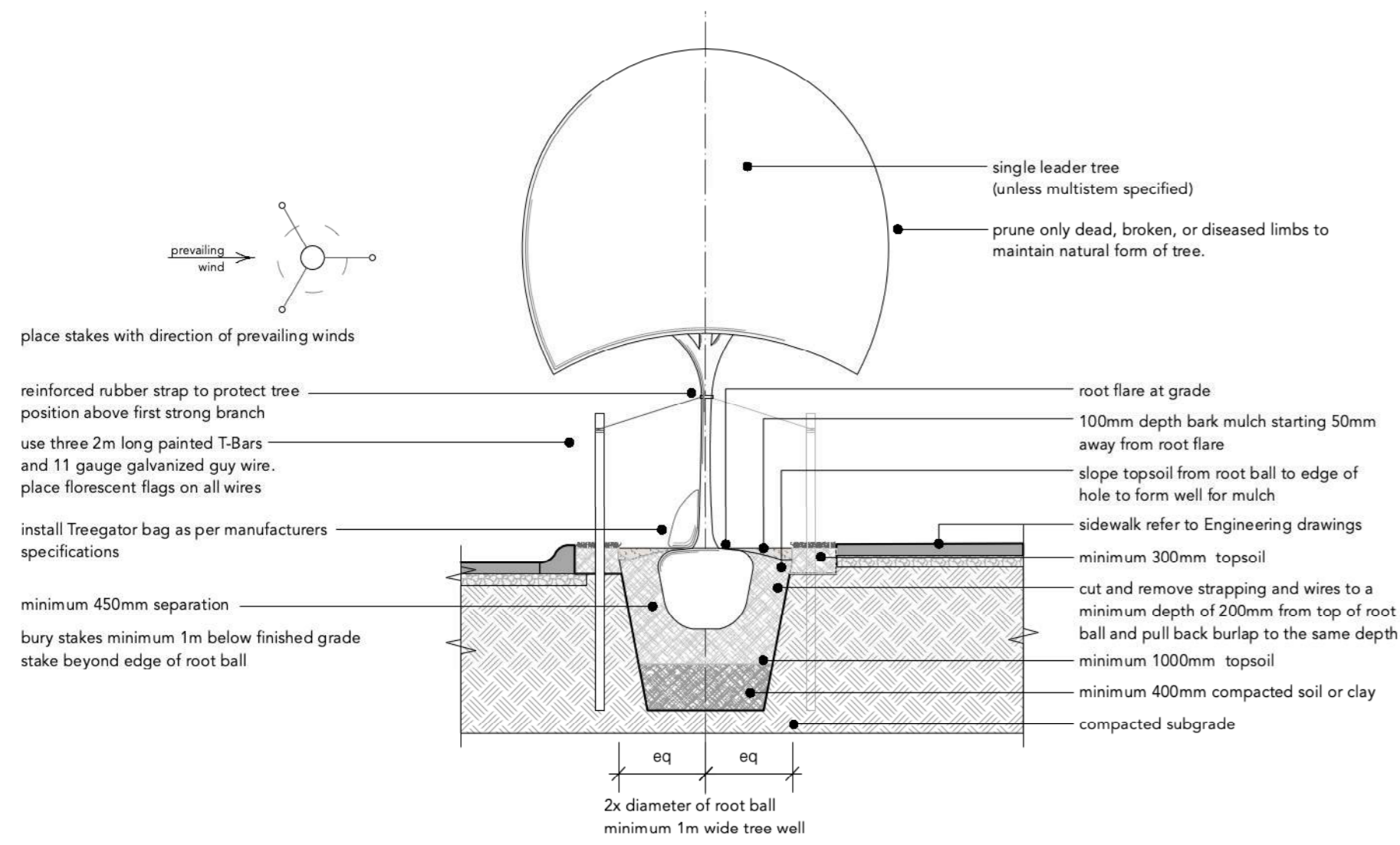
1 typical tree planting
Scale: n.t.s.



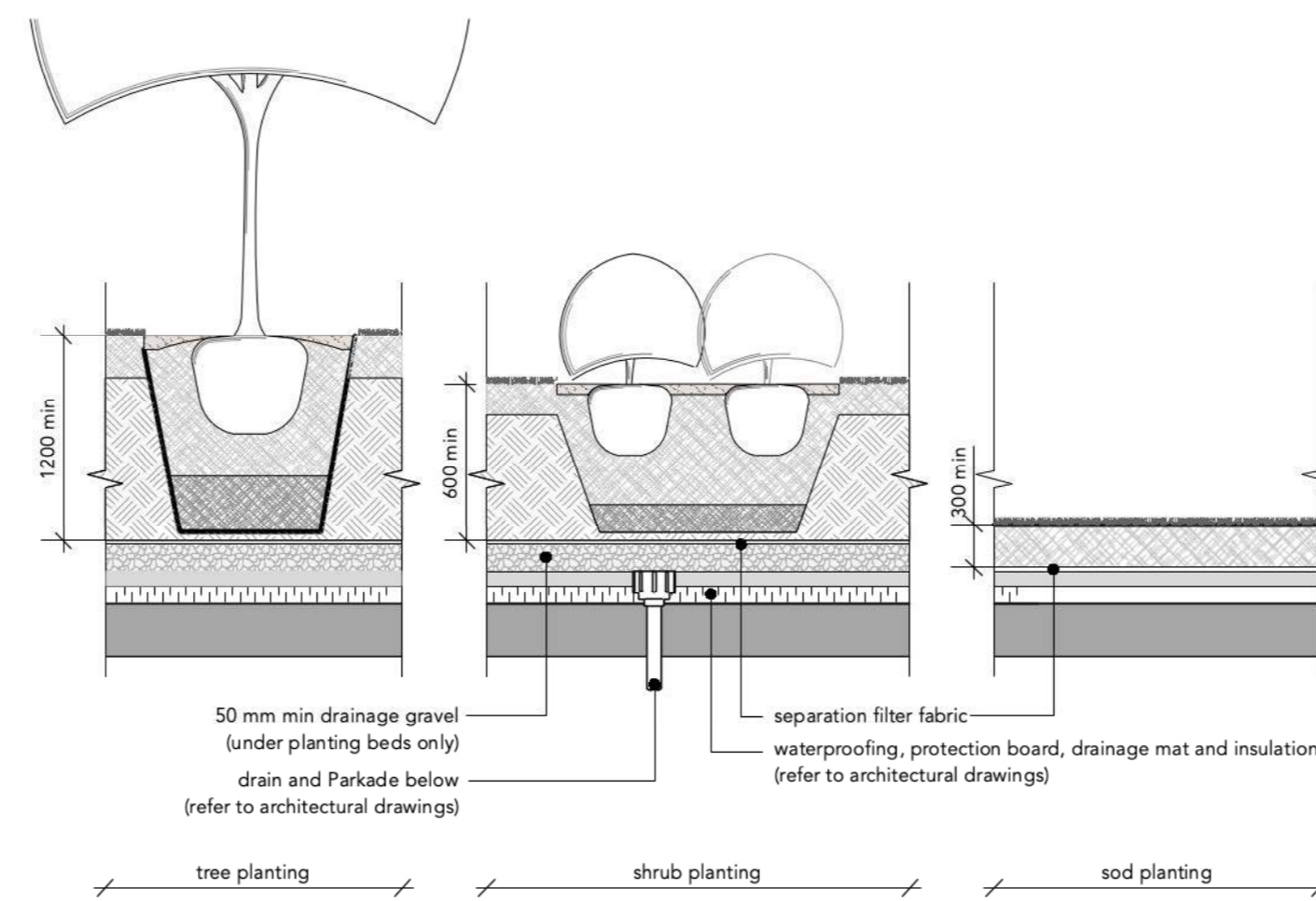
2 typical shrub planting
Scale: n.t.s.



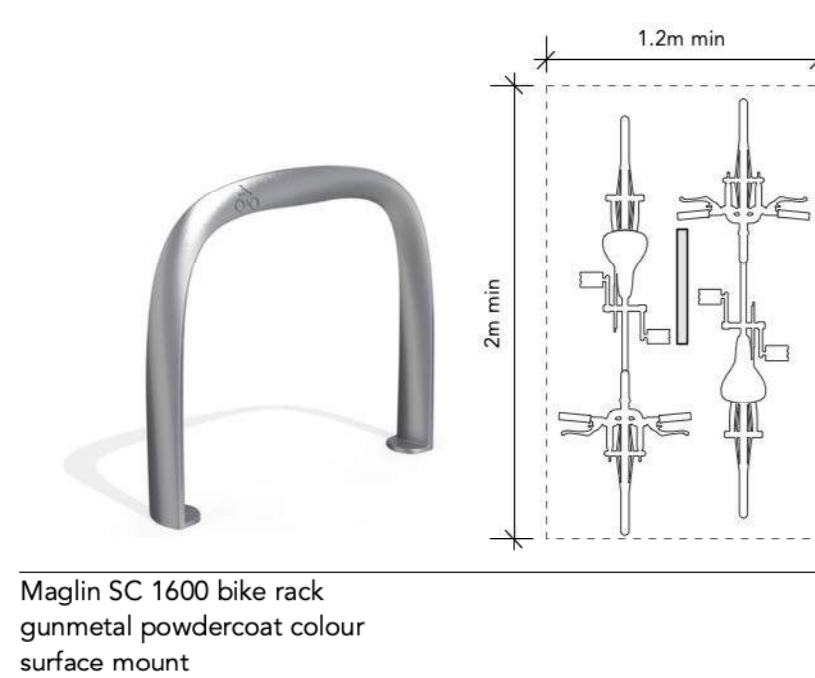
3 typical tree planting at median
Scale: n.t.s.



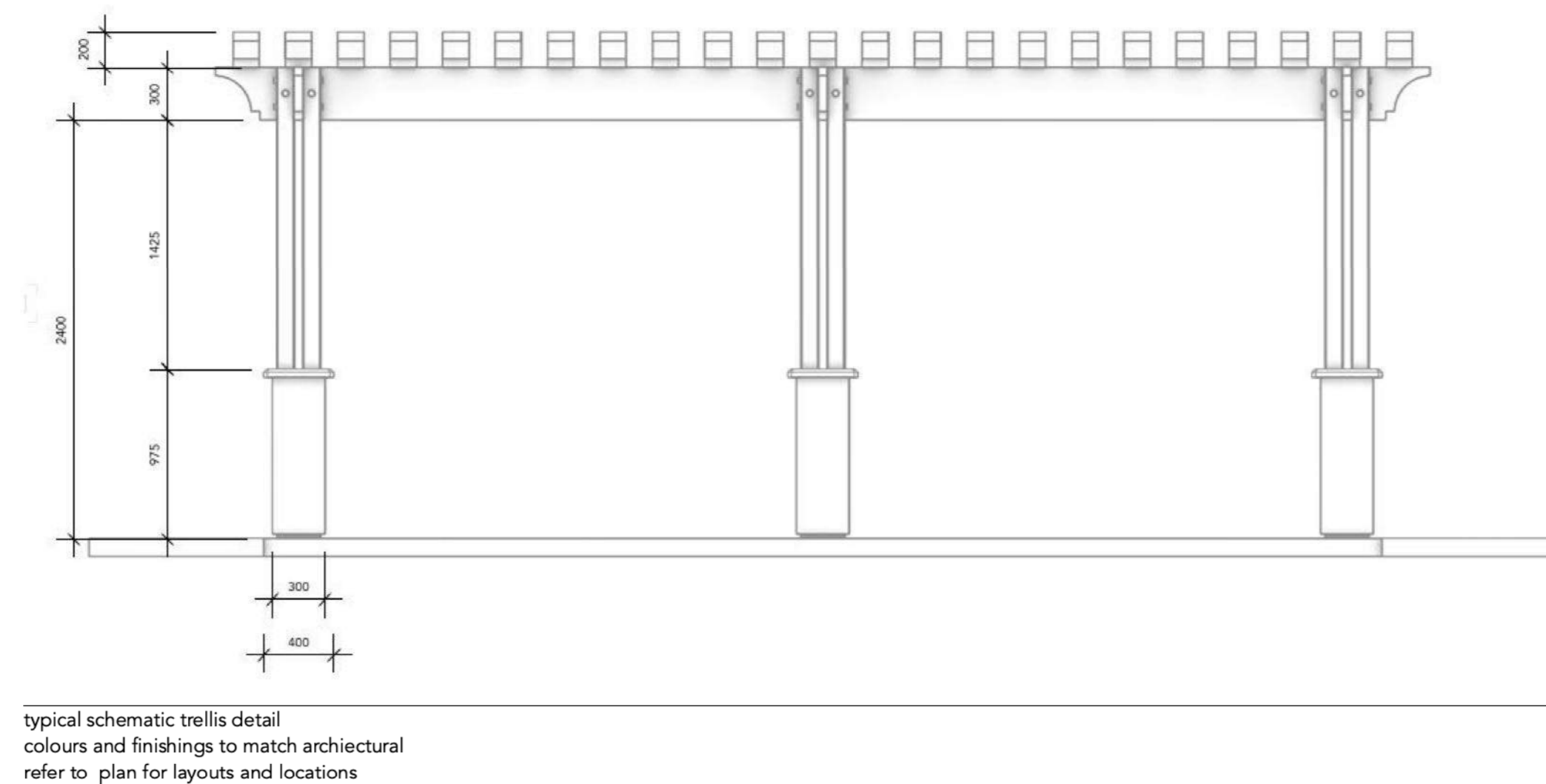
4 typical tree planting at sidewalk
Scale: n.t.s.



5 typical tree planting at sidewalk
Scale: n.t.s.



6 proposed site furnishings
Scale: n.t.s.



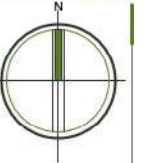
General Notes

- This drawing, including all concepts and design ideas are property of Arquecos Group Ltd. This drawing can only be reproduced with written authorization of Arquecos Group, the Project Owner or the Owner's Representative.
- These drawings must not be used for construction purposes unless specifically issued as such.
- This drawings have been drawn to scale as indicated in the titleblock and viewpoints. Do not scale drawings. Due to printing and reproduction scale may vary slightly. Written dimensions rule over scaled dimensions. Contractors to verify all dimensions, datum, elevations and grading on site prior to commencing work. Report any discrepancies immediately.
- Any variations and design changes to the information shown on these drawings must not be carried out without written authorization from Arquecos Group Ltd. the Project Owner or the Owner's Representative.
- Any references made to the location of all existing and proposed utilities, including URW must be verified on site prior to commencing work. Report any and all conflicts identified immediately.
- Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards. Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

Irrigation Notes

- All landscape areas shall be watered by an automatic underground irrigation system as per municipal standards. Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. If possible, connect to existing irrigation system. Ensure power and water meters are properly installed and operating prior to utilization of the system.

Key Plan



5	development permit	26.02.17
4	review and coordination	26.02.10
3	review and coordination	26.01.22
2	review and coordination	25.12.04
1	review and coordination	25.12.03
Issued for:		Date: (yy.mm.dd)

Project No: 12-018
Project Title:

Aspen Woods Multifamily

Calgary, A.B.

Drawing Title:

Details and Furnishings

Drawn by:	Drawing No.
cmp	L-2
Checked by:	
cmp	
Scale:	as noted

PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:03:26 AM
 THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.
 THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

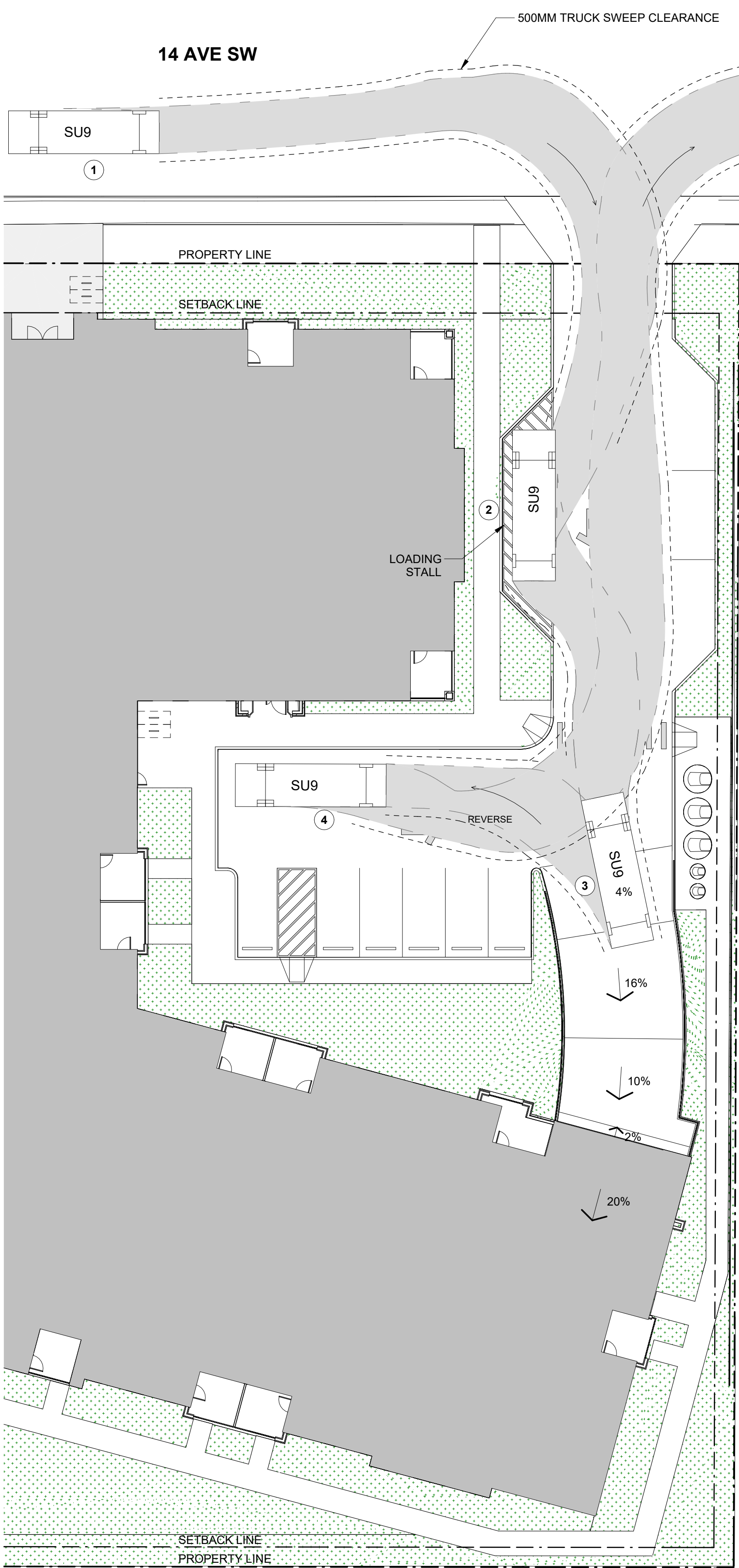
Drawing title :

**PROPOSED TRUCK SWEEP
 & WASTE AND RECYCLING
 DETAILS**

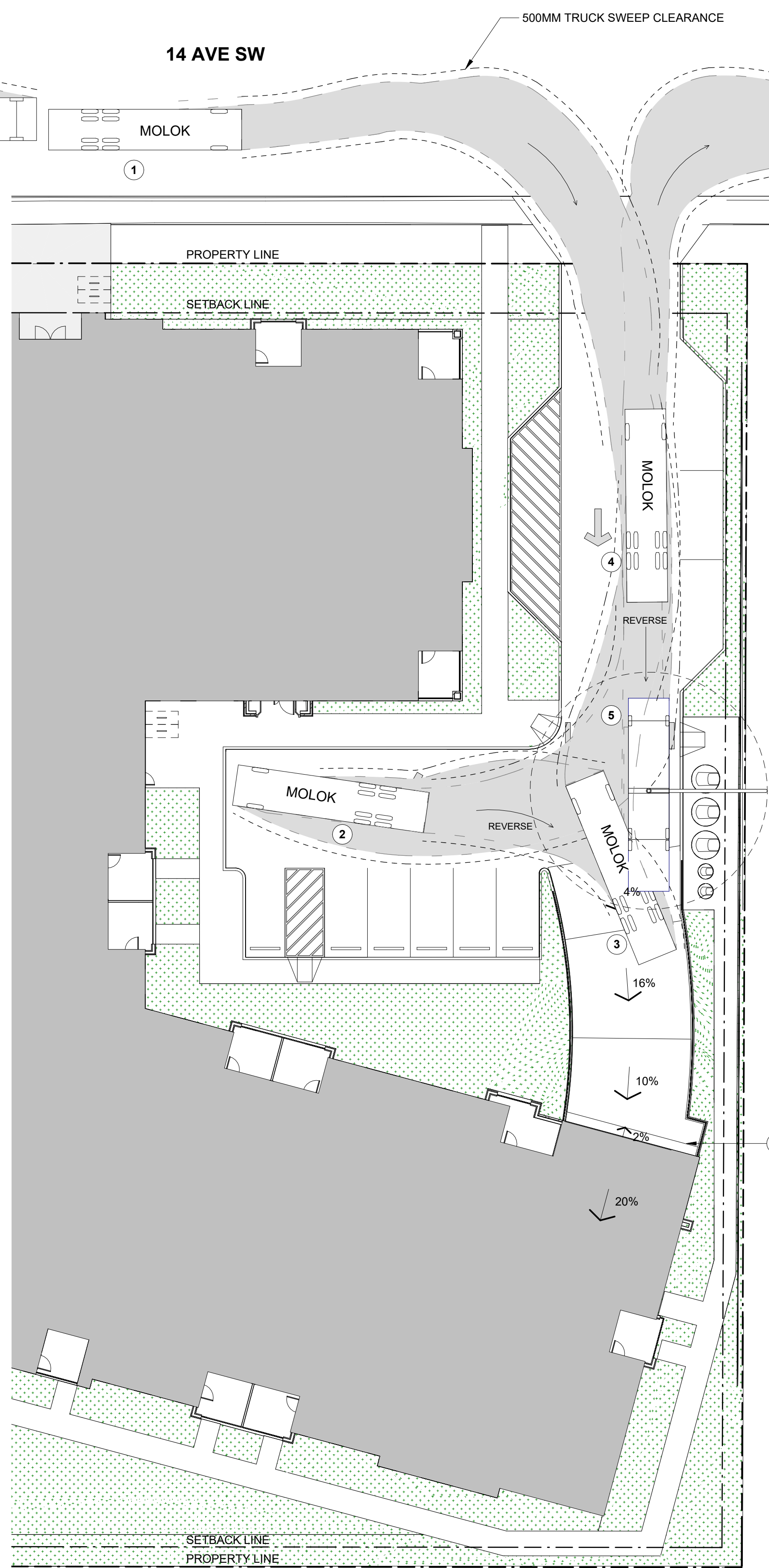
Project number : 25-029
Issued : 12/03/25
Drawn by : Author **Checked by :** Checker
Drawing number :

DP1.02

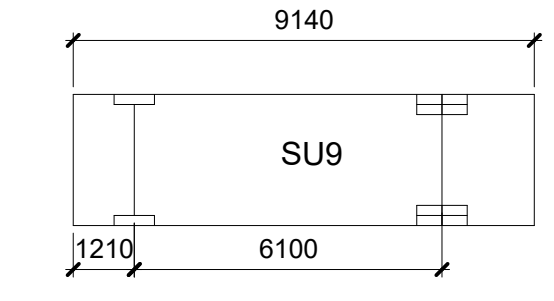
Scale : As indicated



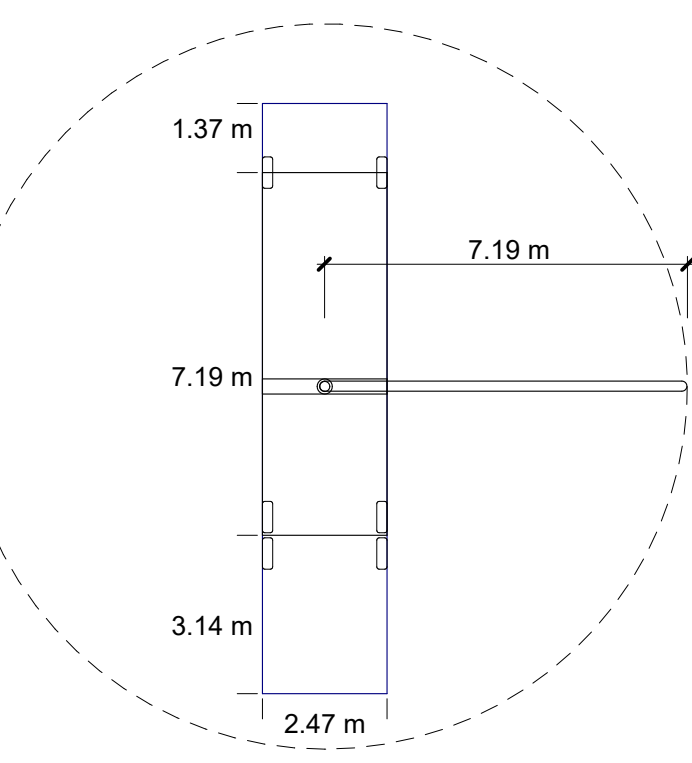
1 LOADING AREA VEHICLE SWEEP (SU-9)
 1:200



2 MOLOK TRUCK SWEEP
 1:200



SU-9 - SINGLE UNIT TRUCK
 WIDTH : 2.44m
 TRACK : 2.44m
 LOCK TO LOCK TIME : 5.0s
 STEERING ANGLE : 31.8°

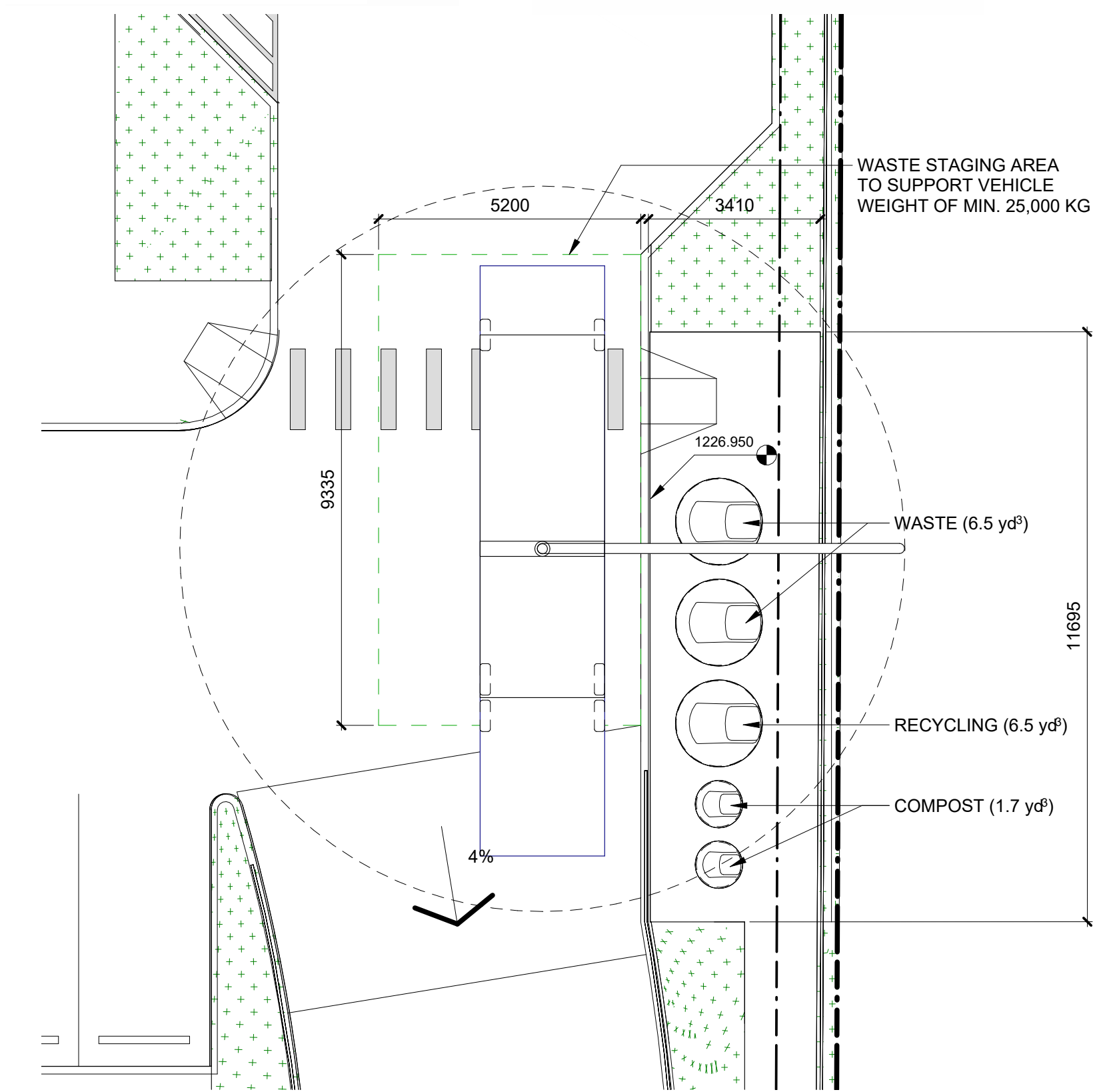


MOLOK
 WIDTH : 2.47m
 TRACK : 2.47m
 LOCK TO LOCK TIME : 6.0s
 STEERING ANGLE : 53.0°

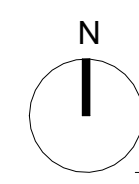
3 VEHICLE LEGENDS
 1:150

M-5000
 Capacity: 5,000 L / 6.5 yd³

M-1300
 Capacity: 1,300 L / 1.7 yd³



4 MOLOK TRUCK TRACKING CLOSE UP PLAN
 1:100



PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:04:02 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

PROPOSED ELEVATIONS

Project number : 25-029

Issued : 12/12/25

Drawn by : Author Checked by : Checker

Drawing number :

DP3.01

Scale : As indicated

KEYMAP

ELEVATION KEYNOTE LEGEND

- 1 BRICK CLADDING - DARK BROWN
- 2 METAL STANDING SEAM CLADDING - DARK GREY
- 3 METAL STANDING SEAM CLADDING - LIGHT GREY
- 4 CONCRETE PARGING
- 5 WALL FLASHING - BLACK
- 6 WINDOW FRAME - BLACK
- 7 WINDOW FLASHING - BLACK
- 8 ENTRANCE DOOR - BLACK FRAME
- 9 BALCONY DOOR - BLACK FRAME
- 10 METAL GUARDRAIL - BLACK
- 11 INSULATED METAL DOOR
- 12 WINDOW WALL - BLACK MULLIONS
- 13 PARKADE OVERHEAD DOOR
- 14 GLASS RAILING
- 15 MECHANICAL SCREENING
- 16 WINDOW TRIM - BLACK
- 17 LOUVERS - BLACK
- 18 WOOD TRELLIS
- 19 WALL SCONCE LUMINAIRE
- 20 CONCRETE FACED INSULATED PANELS - BLACK
- 21 SMOOTH STONE PANELS
- 22 METAL PANEL - BLACK

SITE SYMBOL LEGEND

- PROPERTY LINE
- SETBACK LINE
- BUILDING LINE ABOVE
- BUILDING LINE BELOW
- - - EXISTING GRADE
- PROPOSED GRADE



1 ELEVATION A
1:150



2 ELEVATION B
1:150



3 ELEVATION C
1:150



4 ELEVATION D
1:150

PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:04:10 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

PROPOSED ELEVATIONS

Project number : 25-029

Issued : 12/12/25

Drawn by : Author Checked by : Checker

Drawing number :

DP3.02

Scale : As indicated

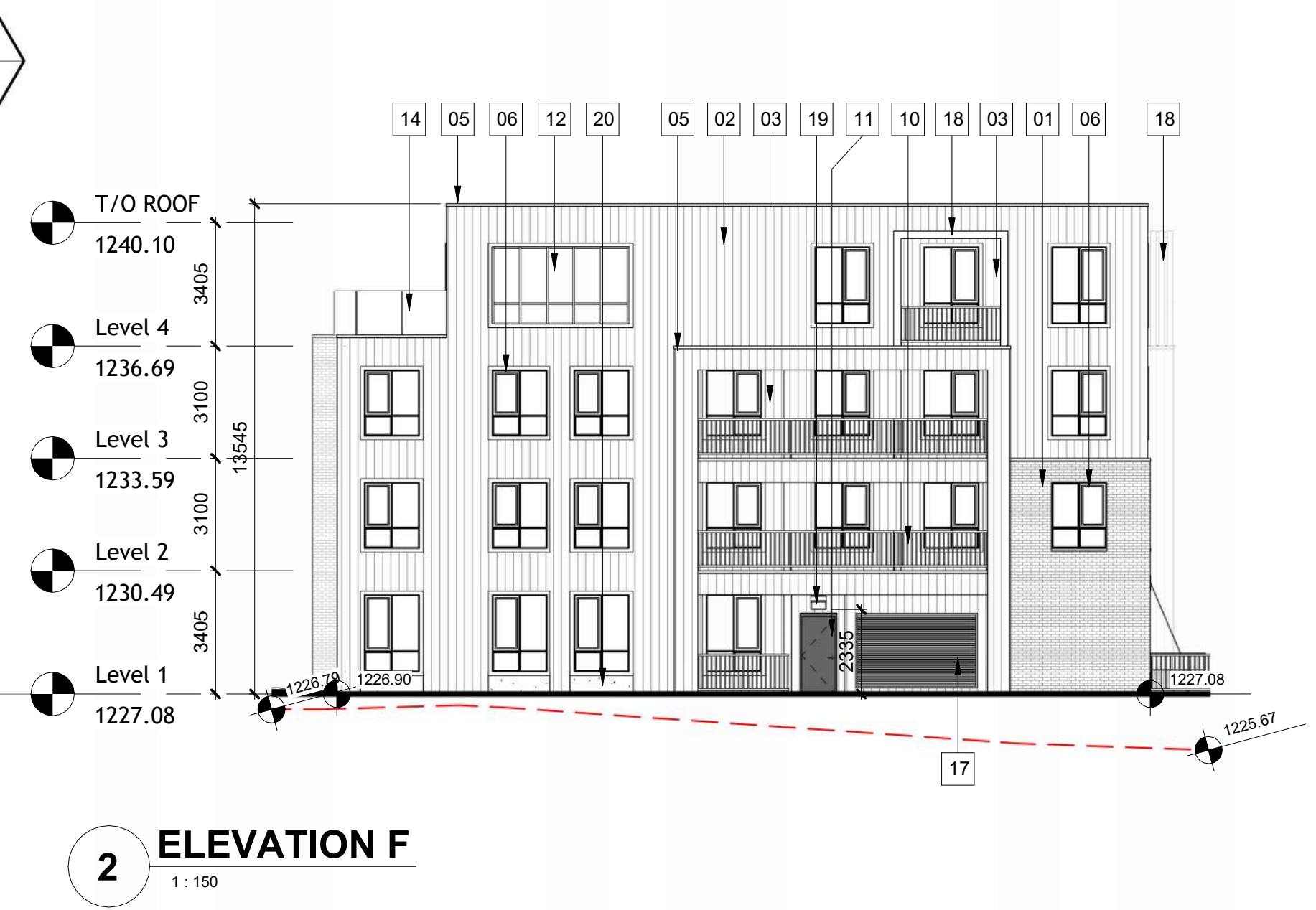
KEYMAP

ELEVATION KEYNOTE LEGEND

- BRICK CLADDING - DARK BROWN
- METAL STANDING SEAM CLADDING - DARK GREY
- METAL STANDING SEAM CLADDING - LIGHT GREY
- CONCRETE PARGING
- WALL FLASHING - BLACK
- WINDOW FRAME - BLACK
- WINDOW FLASHING - BLACK
- ENTRANCE DOOR - BLACK FRAME
- BALCONY DOOR - BLACK FRAME
- METAL GUARDRAIL - BLACK
- INSULATED METAL DOOR
- WINDOW WALL - BLACK MULLIONS
- PARKADE OVERHEAD DOOR
- GLASS RAILING
- MECHANICAL SCREENING
- WINDOW TRIM - BLACK
- LOUVERS - BLACK
- WOOD TRELLIS
- WALL SCONCE LUMINAIRE
- CONCRETE FACED INSULATED PANELS - BLACK
- SMOOTH STONE PANELS
- METAL PANEL - BLACK

SITE SYMBOL LEGEND

- PROPERTY LINE
- SETBACK LINE
- BUILDING LINE ABOVE
- BUILDING LINE BELOW
- EXISTING GRADE
- PROPOSED GRADE
- EXISTING GRADE (1000.00)
- PROPOSED GRADE (1000.00)



PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:04:14 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

**PROPOSED COLOR
 ELEVATIONS**

Project number : 25-029

Issued : 12/12/25

Drawn by : Author Checked by : Checker

Drawing number :

DP3.03

Scale : As indicated

KEYMAP

ELEVATION KEYNOTE LEGEND

- 1 BRICK CLADDING - DARK BROWN
- 2 METAL STANDING SEAM CLADDING - DARK GREY
- 3 METAL STANDING SEAM CLADDING - LIGHT GREY
- 4 CONCRETE PARGING
- 5 WALL FLASHING - BLACK
- 6 WINDOW FRAME - BLACK
- 7 WINDOW FLASHING - BLACK
- 8 ENTRANCE DOOR - BLACK FRAME
- 9 BALCONY DOOR - BLACK FRAME
- 10 METAL GUARDRAIL - BLACK
- 11 INSULATED METAL DOOR
- 12 WINDOW WALL - BLACK MULLIONS
- 13 PARKADE OVERHEAD DOOR
- 14 GLASS RAILING
- 15 MECHANICAL SCREENING
- 16 WINDOW TRIM - BLACK
- 17 LOUVERS - BLACK
- 18 WOOD TRELLIS
- 19 WALL SCONCE LUMINAIRE
- 20 CONCRETE FACED INSULATED PANELS - BLACK
- 21 SMOOTH STONE PANELS
- 22 METAL PANEL - BLACK



1 ELEVATION A - CL
 1:150



2 ELEVATION B - CL
 1:150



3 ELEVATION C - CL
 1:150



4 ELEVATION D - CL
 1:150

PROJECT TEAM :

ARCHITECT
DAAS ARCHITECTURE INC.
 #310, 1032 17 Avenue S.W.
 Calgary, Alberta T2T 0A5
 E: info@daasarchitecture.com

STRUCTURAL
TRL & ASSOCIATES
 100, 1615 10 Avenue SW
 Calgary, Alberta T3C 0J7
 E: bryanronney@trieng.ca

MECHANICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

ELECTRICAL
EMBE CONSULTING ENGINEERS INC.
 121 15 Avenue SE
 Calgary, Alberta T2G 1G1
 E: dkaradia@embeconsulting.ca

LANDSCAPE
ARQUECOS GROUP LTD.
 Address Line 1
 Address Line 2
 E: carlos@arquecos.com

CIVIL
VERITAS DEVELOPMENT SOLUTIONS
 Unit 4, 141 Commercial Drive
 Calgary, Alberta T3Z 2A7
 E: ryan@veritasdevelopment.ca

BUILDING ENVELOPE
SENSE ENGINEERING
 1863 17 Avenue SW
 Calgary, Alberta T2T 5W3
 E: shunter@senseengineering.com

CONSULTANT 8
COMPANY NAME 8
 Address Line 1
 Address Line 2
 E: Email

CONSULTANT 9
COMPANY NAME 9
 Address Line 1
 Address Line 2
 E: Email

NOT FOR CONSTRUCTION

2/18/2026 10:04:17 AM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
4	ISSUED FOR DP	2026-02-18
3	CLIENT REVIEW	2026-02-17
2	CLIENT REVIEW	2026-02-09
1	INTERNAL REVIEW	2026-02-02

Project Information :

**ASPEN WOODS
 MULTI-FAMILY**

Drawing title :

**PROPOSED COLOR
 ELEVATIONS**

Project number : 25-029

Issued : 12/12/25

Drawn by : Author Checked by : Checker

Drawing number :

DP3.04

Scale : As indicated

KEYMAP

ELEVATION KEYNOTE LEGEND

- 1 BRICK CLADDING - DARK BROWN
- 2 METAL STANDING SEAM CLADDING - DARK GREY
- 3 METAL STANDING SEAM CLADDING - LIGHT GREY
- 4 CONCRETE PARGING
- 5 WALL FLASHING - BLACK
- 6 WINDOW FRAME - BLACK
- 7 WINDOW FLASHING - BLACK
- 8 ENTRANCE DOOR - BLACK FRAME
- 9 BALCONY DOOR - BLACK FRAME
- 10 METAL GUARDRAIL - BLACK
- 11 INSULATED METAL DOOR
- 12 WINDOW WALL - BLACK MULLIONS
- 13 PARKADE OVERHEAD DOOR
- 14 GLASS RAILING
- 15 MECHANICAL SCREENING
- 16 WINDOW TRIM - BLACK
- 17 LOUVERS - BLACK
- 18 WOOD TRELLIS
- 19 WALL SCONCE LUMINAIRE
- 20 CONCRETE FACED INSULATED PANELS - BLACK
- 21 SMOOTH STONE PANELS
- 22 METAL PANEL - BLACK



1 ELEVATION E - CL
 1:150



2 ELEVATION F - CL
 1:150



3 ELEVATION G - CL
 1:150



4 ELEVATION H - CL
 1:150