

# 25.059 1643 WEST

## ISSUED FOR DEVELOPMENT PERMIT

2026/02/13

PROJECT NUMBER:

25.059

PARCEL ADDRESS:

LEGAL: LOTS: 11, BLOCK: 22, PLAN: 5301 GP

MUNICIPAL: 1643 ALTADORE AVE S.W.,  
CALGARY, AB

### DRAWING LIST: INDEX: ARCHITECTURE

| FAAS                                   |                         |
|----------------------------------------|-------------------------|
| 601 - 1812 4 ST SW, CALGARY, AB T2S 1W |                         |
| DP.000                                 | TITLE SHEET             |
| DP.001                                 | BLOCK PLAN              |
| DP.100                                 | URBAN DESIGN OBJECTIVES |
| DP.101                                 | SITE PLAN               |
| DP.200                                 | BASEMENT FLOOR PLAN     |
| DP.201                                 | MAIN FLOOR PLAN         |
| DP.202                                 | SECOND FLOOR PLAN       |
| DP.203                                 | THIRD FLOOR PLAN        |
| DP.204                                 | ROOF PLAN               |
| DP.300                                 | BUILDING SECTIONS       |
| DP.301                                 | BUILDING SECTIONS       |
| DP.400                                 | BUILDING ELEVATIONS     |
| DP.401                                 | BUILDING ELEVATIONS     |
| L.100                                  | LANDSCAPE PLAN          |

### PROJECT INFORMATION:

| PARCEL ADDRESS: |                                     |
|-----------------|-------------------------------------|
| LEGAL:          | L: 11, B: 22, P: 5301 GP            |
| MUNICIPAL:      | 1643 ALTADORE AVE S.W., CALGARY, AB |
| COMMUNITY:      | ALTADORE                            |

### PROPOSED GROSS BUILDING AREA:

| FLOOR  | AREA                          |
|--------|-------------------------------|
| LOWER  | 222.7 SQ.M. / 2396.9 SQ.FT.   |
| MAIN   | 355.2 SQ.M. / 3823.6 SQ.FT.   |
| SECOND | 323.3 SQ.M. / 3480.0 SQ.FT.   |
| THIRD  | 238.0 SQ.M. / 2562.0 SQ.FT.   |
| TOTAL: | 1139.2 SQ.M. / 12262.5 SQ.FT. |

### BYLAW REGULATIONS:

#### BUILDING SETBACKS:

|                               | PERMITTED |
|-------------------------------|-----------|
| FRONT (WEST, 16 ST SW)        | 1.2 m     |
| SIDE (NORTH, ALTADORE AVE SW) | 3 m       |
| REAR (EAST, R-CG)             | 1.2 m     |
| SIDE (SOUTH, LANE)            | 1.2 m     |

#### ACCESSORY SETBACKS:

|              | PERMITTED |
|--------------|-----------|
| FRONT (WEST) | 0.6 m     |
| SIDE (NORTH) | 0.6 m     |
| REAR (EAST)  | 0.6 m     |
| SIDE (SOUTH) | 0.6 m     |

#### PARCEL COVERAGE:

|                          |                           |
|--------------------------|---------------------------|
| PARCEL AREA:             | 658.7 SQ.M. / 7184 SQ.FT. |
| PARCEL COVERAGE ALLOWED: | 60%                       |
| BUILDING FOOT PRINT:     | 348.8 SQ.M. / 3754 SQ.FT. |
| TOTAL PROPOSED:          | 348 SQ.M. / 3754 SQ.FT.   |

#### DENSITY:

|                   |                                       |
|-------------------|---------------------------------------|
| MAXIMUM ALLOWED:  | 75 UNITS PER HECTARE                  |
| PROPOSED:         | 5 UNITS / 7184 SQ.M. (0.06 HA) = 74.9 |
| PROPOSED DENSITY: | 74.9 UNITS PER HECTARE                |

#### VEHICULAR PARKING:

|                                |                     |
|--------------------------------|---------------------|
| REQUIRED RESIDENTIAL STALLS    | 5 STALLS REQUIRED   |
| 1.0 STALLS / UNIT              |                     |
| REQUIRED VISITOR STALLS        | 0.0 STALLS REQUIRED |
| 0.0 STALLS / UNIT              |                     |
| TOTAL PARKING STALLS REQUIRED: | 5.0 STALLS          |

#### BICYCLE PARKING:

|                                   |                                 |
|-----------------------------------|---------------------------------|
| MINIMUM REQUIRED:                 | 5 UNITS x 1 = 5 STALLS REQUIRED |
| 1 CLASS 1 BICYCLE STALLS / UNIT   |                                 |
| 6 STALLS PROVIDED                 |                                 |
| 0.0 CLASS 2 BICYCLE STALLS / UNIT | 5 UNITS x 0 = 0 STALLS REQUIRED |
| 0 STALLS PROVIDED                 |                                 |

#### WASTE & RECYCLING:

|                                   |                           |
|-----------------------------------|---------------------------|
| MINIMUM REQUIRED:                 | 0.24 m³ PER UNIT / WEEK   |
| 5 UNITS x 0.24 m³ = 1.2 m³ / WEEK |                           |
| PROVIDED:                         |                           |
| RECYCLING:                        | 5 x 0.24 m³ BINS = 1.2 m³ |
| WASTE:                            | 5 x 0.24 m³ BINS = 1.2 m³ |
| ORGANICS:                         | 5 x 0.24 m³ BINS = 1.2 m³ |
| TOTAL:                            | 3.6 m³                    |



(ARTISTIC REPRESENTATION ONLY)

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| NO.      | DESCRIPTION   | DATE       |
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| <input type="checkbox"/> CONSTRUCTION    | YYYY-MM-DD |
| <input type="checkbox"/> TENDER          | YYYY-MM-DD |
| <input type="checkbox"/> BUILDING PERMIT | YYYY-MM-DD |
| PROJECT NAME                             |            |

25.059 1643 WEST

MUNICIPAL ADDRESS  
1643 ALTADORE AVE SW

LEGAL ADDRESS

PROJECT NO. \_\_\_\_\_

29.059 ECC 1045 WEST

DD NL, SM

|      |       |
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| DATE | SCALE |
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| 2026-02-13 | AS NOTED |
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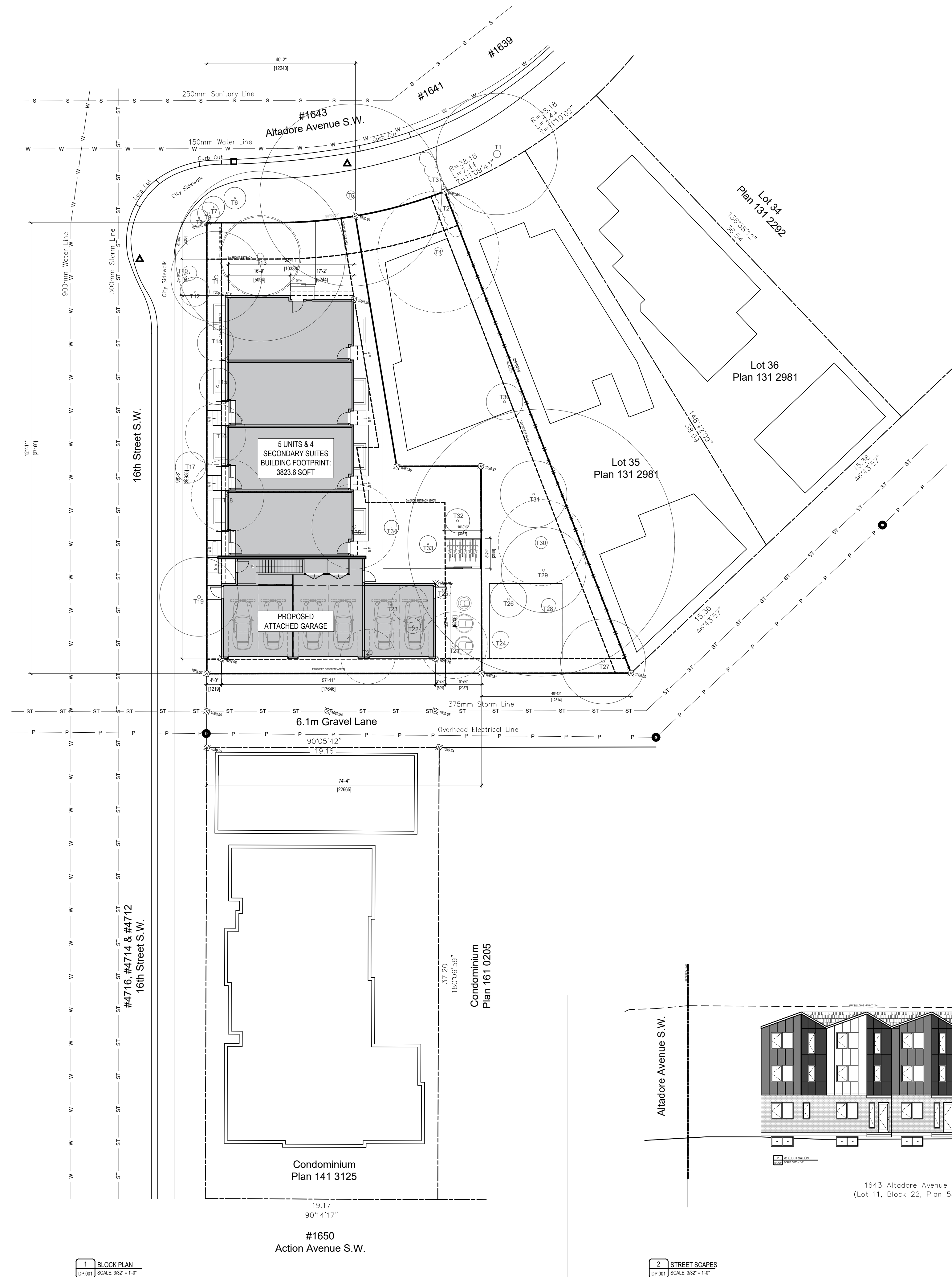
DRAWING TITLE

BLOCK PLAN

DRAWING NUMBER

DP.001

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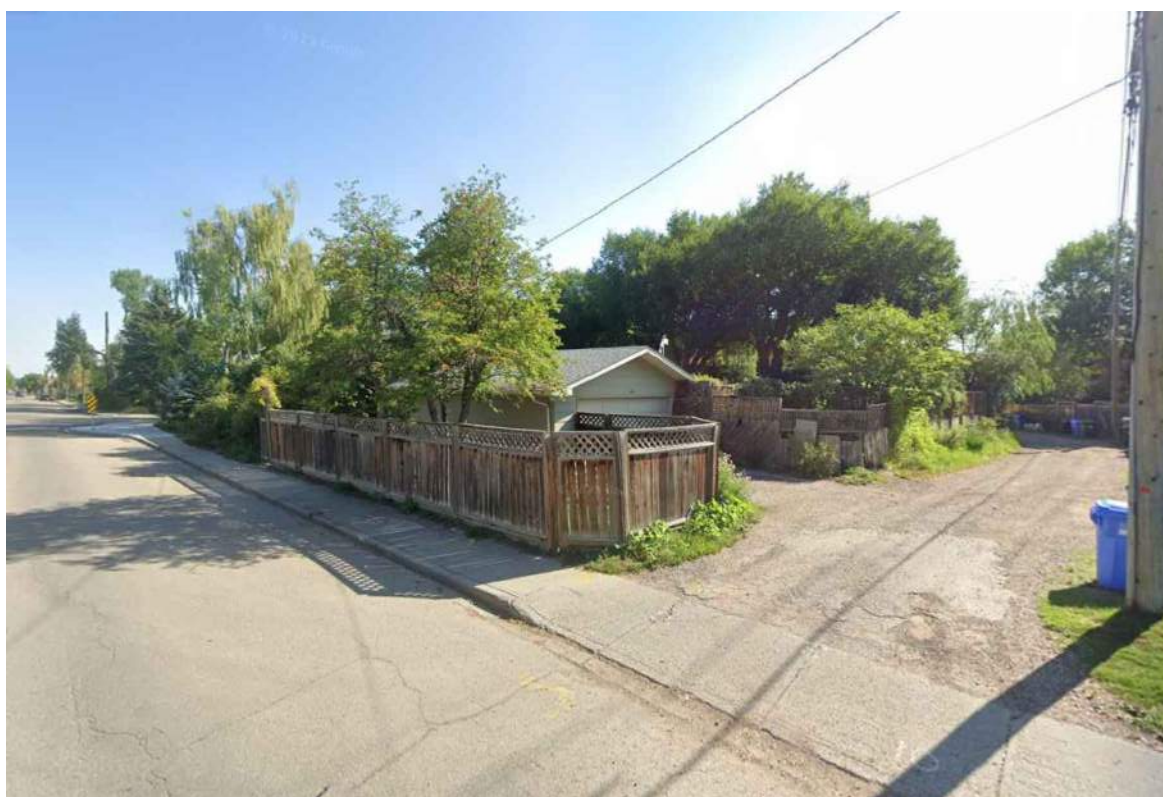
VIEW 1 - NE CORNER



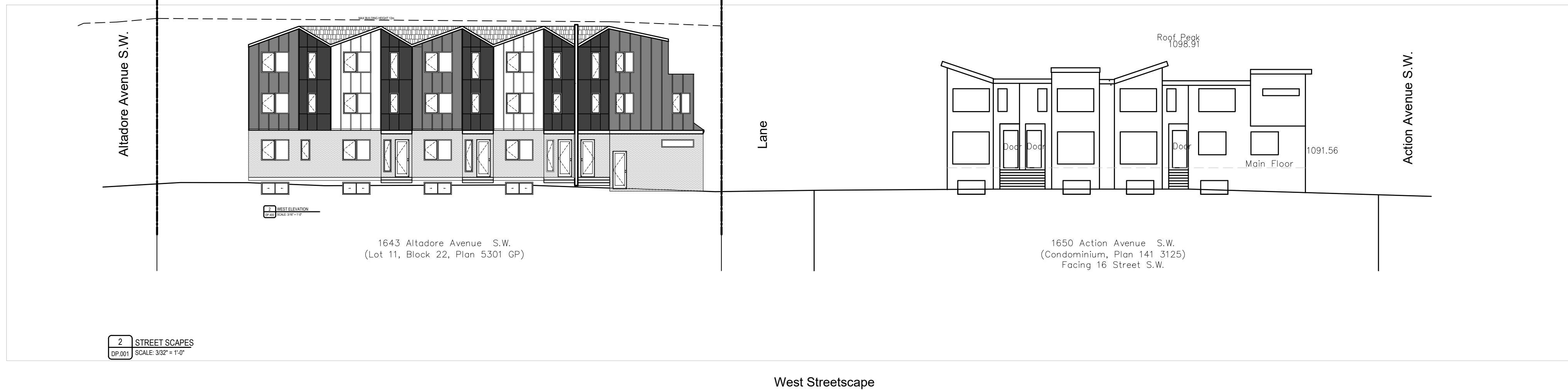
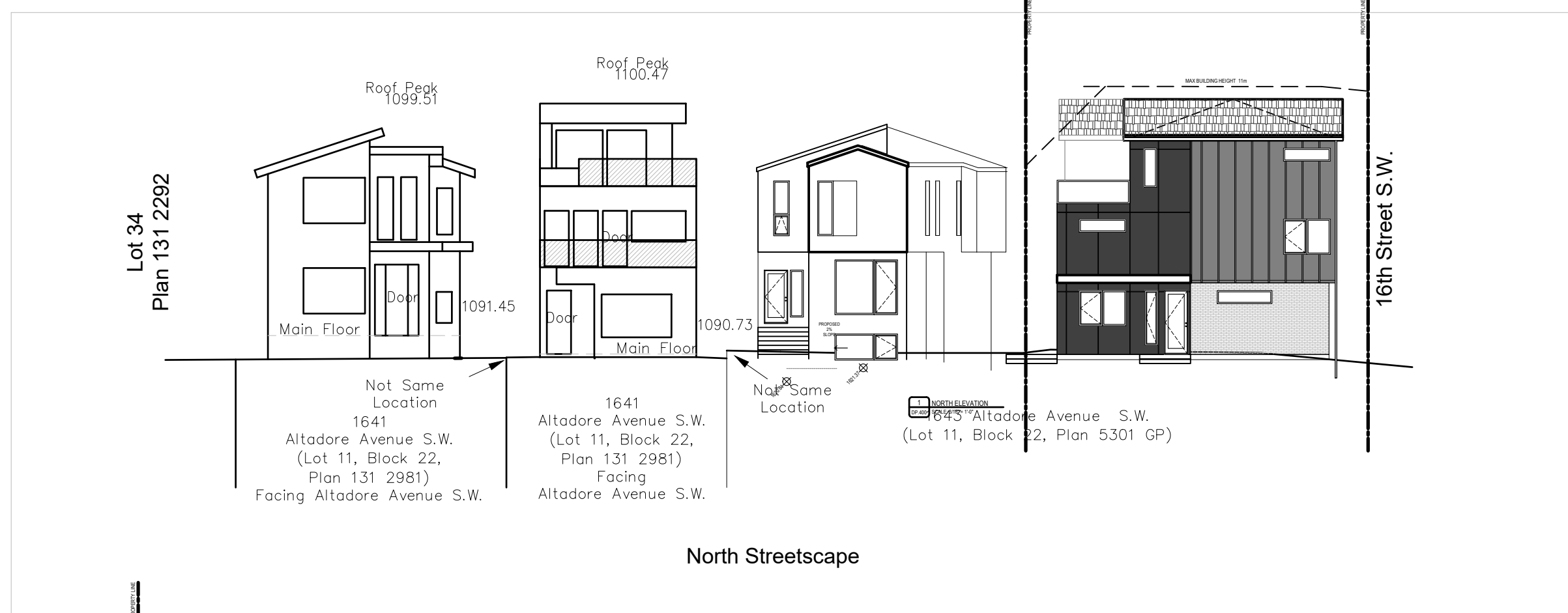
VIEW 2 - NW CORNER



VIEW 4 - SE CORNER



VIEW 3 - SW CORNER



### URBAN DESIGN OBJECTIVES:

## Scale

The townhouse development is designed with a human scale that creates comfortable living spaces for residents, offering both aesthetically modern designs and practical layouts. The units are scaled to provide ample space for families. The secondary suites ensure that residents have functional, comfortable living options, making the development a great fit for those seeking quality homes in the Altadore area. The massing of the exterior is a three storey form with the third storey recessed in the rear to allow for private balconies.

### Amenity

The townhouse development includes ample amenity spaces, with private outdoor areas for the secondary suites provided at grade level, while the primary units feature balconies for additional private outdoor space. These design features encourage social interaction and an active lifestyle, creating a stronger connection between residents and their environment. By prioritizing pedestrian and cyclist access over vehicles, the public realm fosters a walkable, bike-friendly community with easy access to these amenities.

## Resilience

Townhouses are an ideal typology for the R-CG zoning district, promoting density while respecting the character of the neighborhood. The compact nature of townhouses allows for efficient land use, providing diverse housing options in an area like Altadore. This aligns with Calgary's goals for sustainable growth, supporting long-term adaptability in response to future urban changes and housing demands.



|        |                                                    |
|--------|----------------------------------------------------|
| 3      | RENDER VIEW FROM 16 ST SW (ARTISTIC PURPOSES ONLY) |
| DP.100 |                                                    |



|        |                                                      |
|--------|------------------------------------------------------|
| 1      | RENDER VIEW OF THE BUILDING (ARTISTIC PURPOSES ONLY) |
| DP.100 |                                                      |

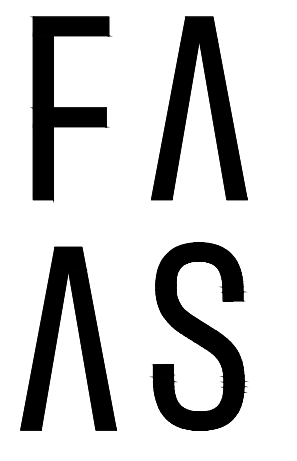
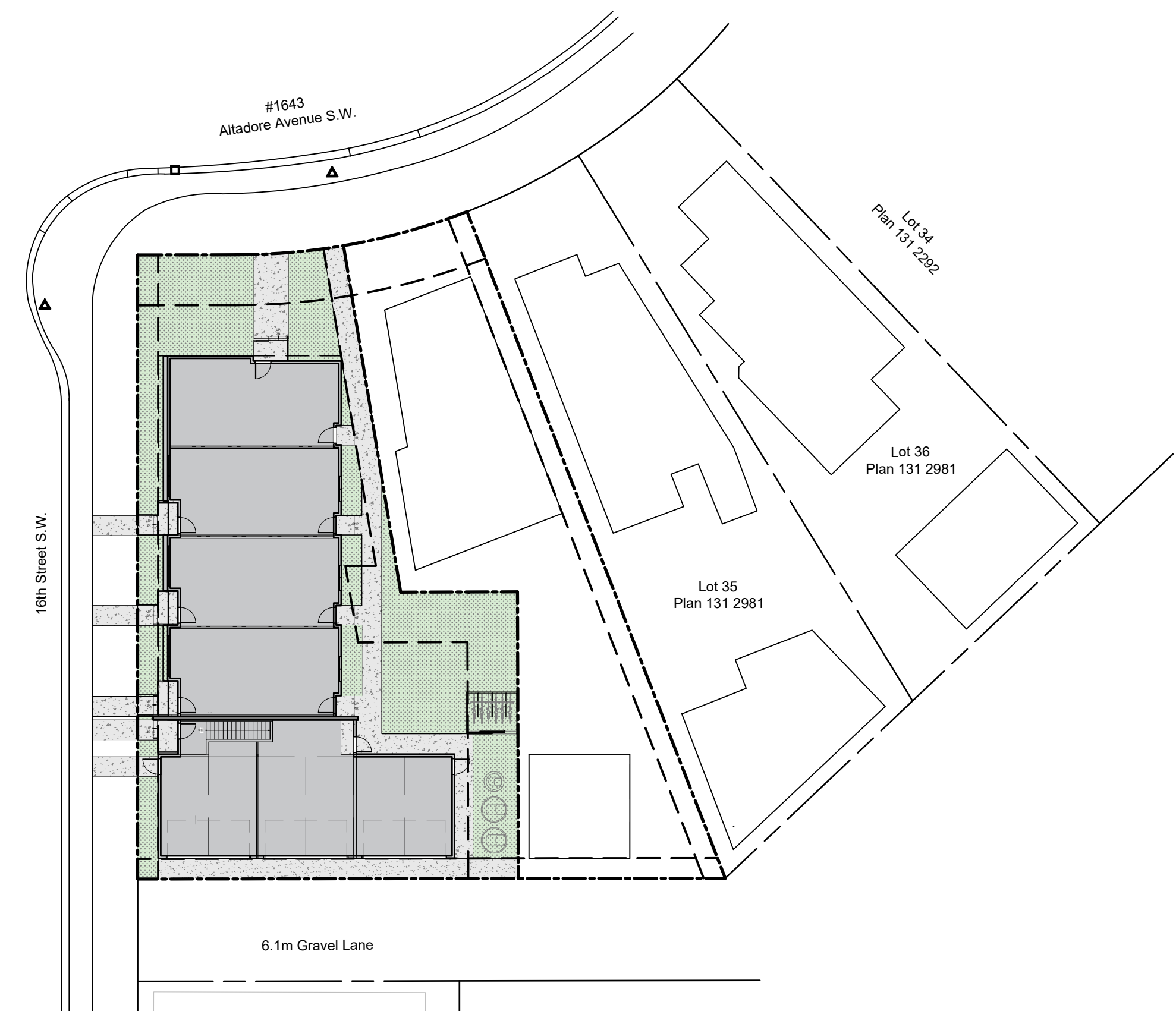


|        |                                                           |
|--------|-----------------------------------------------------------|
| 4      | RENDER VIEW OF SOUTH WEST CORNER (ARTISTIC PURPOSES ONLY) |
| DP.100 |                                                           |



|        |                                              |
|--------|----------------------------------------------|
| 2      | RENDER VIEW OF REAR (ARTISTIC PURPOSES ONLY) |
| DP.100 |                                              |

**PROJECT KEY PLAN & RENDERINGS:**



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|-----------------|------------|
| CONSTRUCTION    | YYYY-MM-DD |
| TENDER          | YYYY-MM-DD |
| BUILDING PERMIT | YYYY-MM-DD |
| PROJECT NAME    |            |

25.059 ECC 1643 WEST

**MUNICIPAL ADDRESS**  
**ALTA DORE AVENUE SW**  
**CALGARY, AB**

|            |            |  |
|------------|------------|--|
| AL ADDRESS |            |  |
| B: 22      | P: 5301 GP |  |

JECT NO.  
059 WEST

|    |         |
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| WN | CHECKED |
|    | NL SM   |

|         |          |
|---------|----------|
| E       | SCALE    |
| G-02-13 | AS NOTED |

## URBAN DESIGN OBJECTIVES

WING NUMBER

OP.100

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| <input type="checkbox"/> TENDER          | YYYY-MM-DD |
| <input type="checkbox"/> BUILDING PERMIT | YYYY-MM-DD |
| PROJECT NAME                             |            |

25.059 ECC 1643 WEST

**MUNICIPAL ADDRESS**  
1643 ALTADORE AVENUE SW  
CALGARY, AB

LEGAL ADDRESS

L: 11      B: 22      P: 5301 GP

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| PROJECT NO. |
| 25.059 WEST |

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| DRAWN | CHECKED |
| DD    | NL, SM  |

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| DATE       | SCALE    |
| 2026-02-13 | AS NOTED |

DRAWING TITLE  
**SITE PLAN**

DRAWING NUMBER

# DP.101

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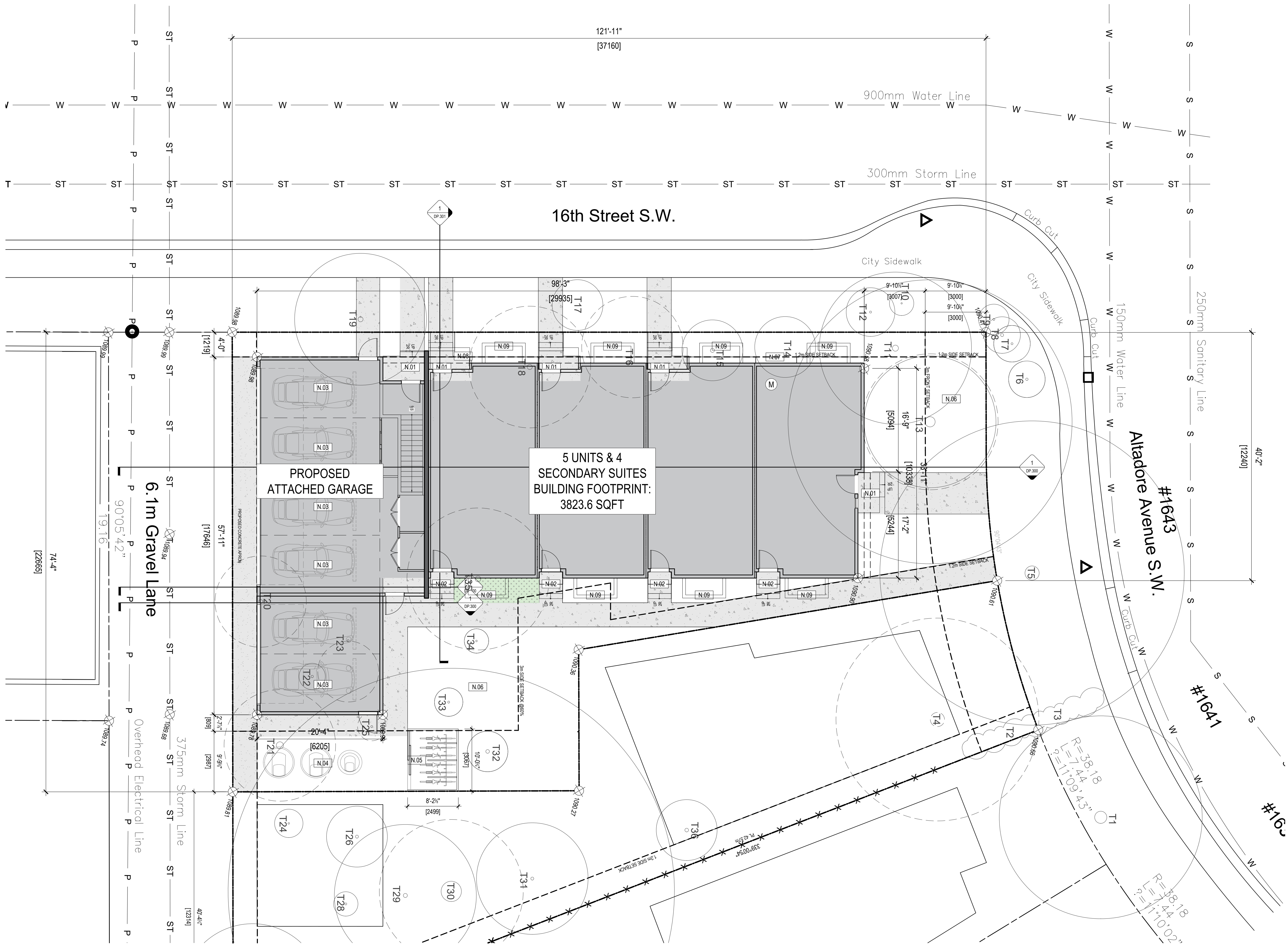
## GENERAL NOTES

1. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
2. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
3. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
4. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
5. PROVIDE EXTERIOR LIGHTING AT ALL FRONT ENTRY AREAS. WALL MOUNTED.
6. HOUSING NUMBER MOUNTED ON EXTERIOR WALL.  
SITE CONFIRM HEIGHT W/ ARCHITECT PRIOR TO ROUGH-IN & INSTALL.

SHEET NOTES

|             |                                               |
|-------------|-----------------------------------------------|
| <b>N.01</b> | ENTRY TO PRIMARY UNIT                         |
| <b>N.02</b> | ENTRY TO SECONDARY SUITE                      |
| <b>N.03</b> | PROPOSED ENCLOSED PARKING STALL               |
| <b>N.04</b> | PROPOSED WASTE AND RECYCLING (MOLOK LOCATION) |
| <b>N.05</b> | PROPOSED CLASS-1 BICYCLE STALL                |
| <b>N.06</b> | PROPOSED COMMON SPACE (AREA: 1977 sq.ft)      |
| <b>N.07</b> | LINE OF BUILDING ABOVE                        |
| <b>N.08</b> | LINE OF CANOPY ABOVE                          |
| <b>N.09</b> | WINDOW WELL                                   |
| <b>N.10</b> | ADDITIONAL STORAGE                            |

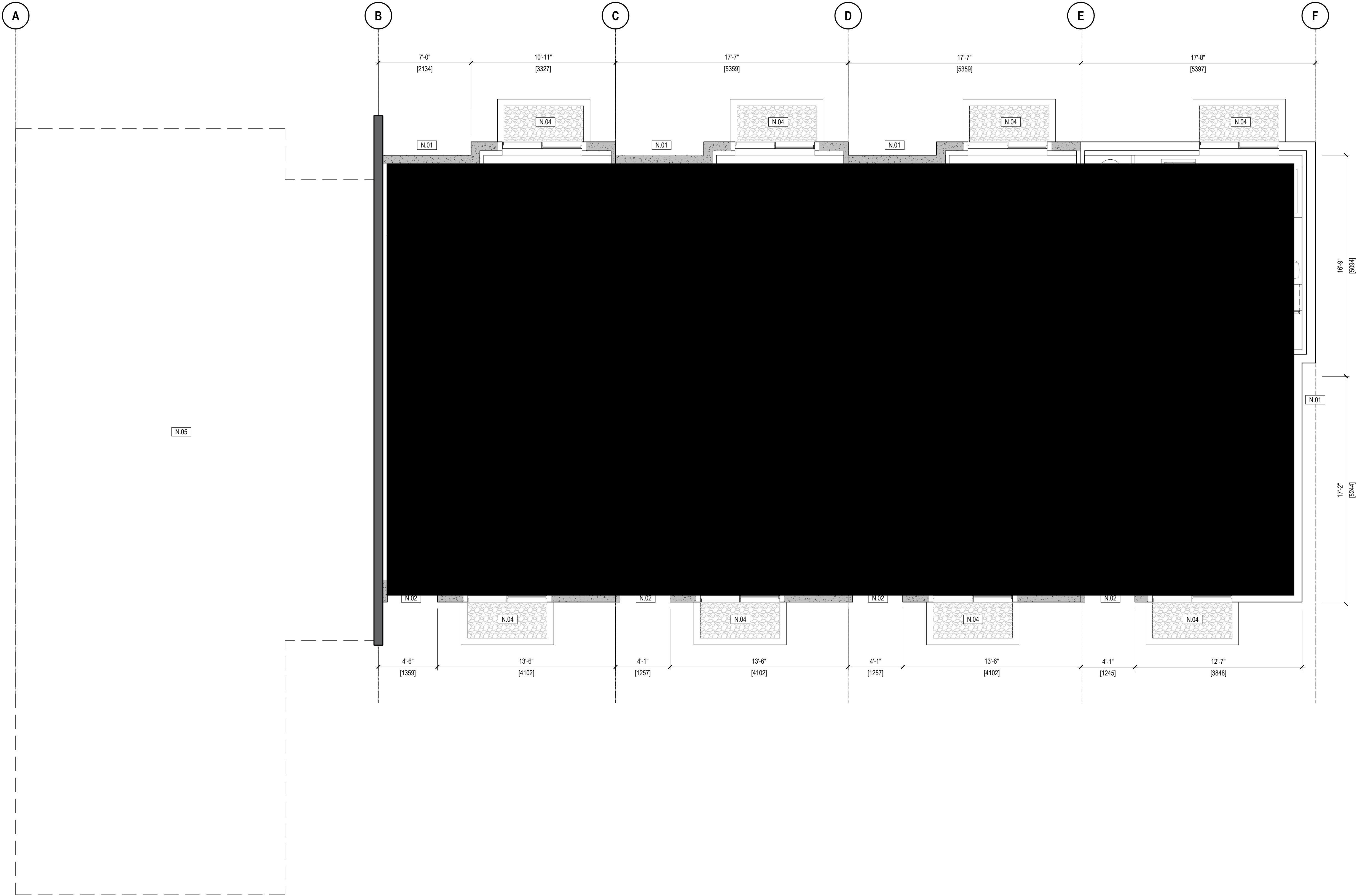
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|  | EXISTING GEODETIC ELEVATION |
|  | PROPOSED GEODETIC ELEVATION |
|  | ELECTRICAL METER LOCATION   |
|  | GAS METER LOCATION          |
|  | WATER METER LOCATION        |



|        |                      |
|--------|----------------------|
| 1      | SITE PLAN            |
| DP.101 | SCALE: 3/32" = 1'-0" |



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PLOT DATE: 2/13/2026 16:15:09



1 BASEMENT FLOOR PLAN  
DP.200 SCALE: 1/4" = 1'-0"

SHEET NOTES

- N.01 ENTRY TO PRIMARY UNIT ABOVE
- N.02 ENTRY TO SECONDARY SUITE
- N.03 LINE OF STAIR ABOVE
- N.04 WINDOW WELL
- N.05 GARAGE FOOTPRINT ABOVE

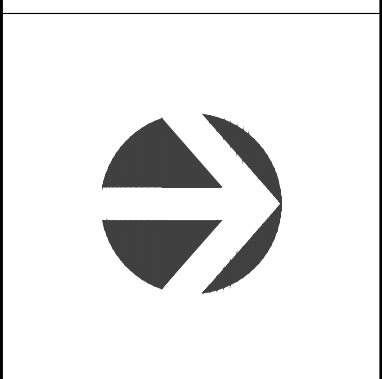
M WATER METER



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- ☐ CONSTRUCTION YYYY-MM-DD
- ☐ TENDER YYYY-MM-DD
- ☐ BUILDING PERMIT YYYY-MM-DD

PROJECT NAME

25.059 ECC 1643 WEST

MUNICIPAL ADDRESS  
1643 ALTADORE AVENUE SW  
CALGARY, AB

LEGAL ADDRESS  
L: 11 B: 22 P: 5301 GP

PROJECT NO.  
25.059 WEST

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DRAWING TITLE  
BASEMENT FLOOR PLAN

DRAWING NUMBER

DP.200

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25.059 ECC 1643 WEST

**MUNICIPAL ADDRESS**  
1643 ALTADORE AVENUE SW  
CALGARY, AB

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**25.059 WEST**

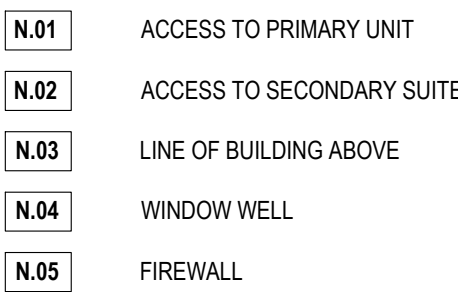
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DRAWING TITLE  
**MAIN FLOOR PLAN**

DP.201

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PLOT DATE: 2026-02-13 14:14



SHEET NOTES

- N.01 ACCESS TO PRIMARY UNIT
- N.02 ACCESS TO SECONDARY SUITE
- N.03 LINE OF BUILDING ABOVE
- N.04 GARAGE BELOW
- N.05 FIREWALL

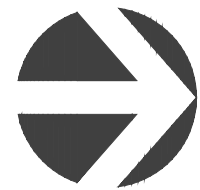


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PROJECT NAME

25.059 ECC 1643 WEST

MUNICIPAL ADDRESS  
1643 ALTADORE AVENUE SW  
CALGARY, AB

LEGAL ADDRESS  
L: 11 B: 22 P: 5301 GP

PROJECT NO.  
25.059 WEST

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DATE 2026-02-13 SCALE AS NOTED

DRAWING TITLE  
SECOND FLOOR PLAN

DRAWING NUMBER

DP.202

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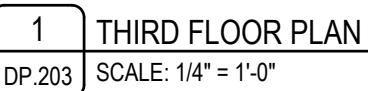
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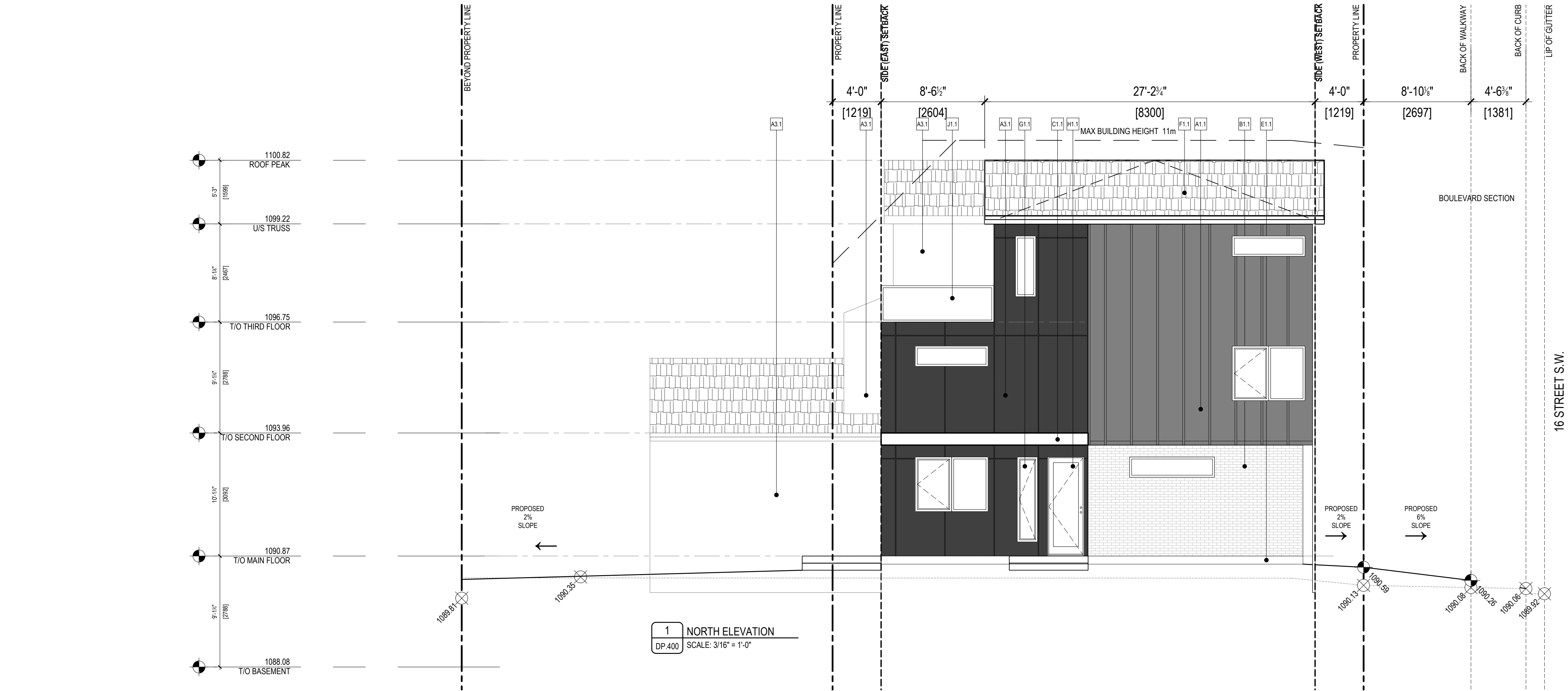
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- |      |                           |
|------|---------------------------|
| N.01 | AMENITY                   |
| N.02 | ACCESS TO SECONDARY SUITE |
| N.03 | LINE OF BUILDING ABOVE    |
| N.04 | GARAGE BELOW              |
| N.05 | FIREWALL                  |
| N.06 | SCUPPER                   |
| N.07 | GLASS RAILING             |

SHEET NOTES



#### GENERAL NOTES

- REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

#### SHEET NOTES

**N.XX** SHEET NOTE DESCRIPTION

**N.01** ADD NOTE

**N.02** ADD NOTE

#### EXTERIOR FINISH LEGEND

**0.0** MATERIAL TAG DESCRIPTION

#### A - FIBER CEMENT

**A1.1** VERTICAL BOARD & BATTEN / SMOOTH / COLOUR = LIGHT BLUE

**A2.1** VERTICAL BOARD & BATTEN / SMOOTH / COLOUR = LIGHT GREY

**A3.1** PANEL / SMOOTH / COLOUR = BLACK

#### B - MASONRY

**B1.1** BRICK / COLOUR = LIGHT BROWN

#### C - METAL

**C1.1** ALUMINUM FASCIA & SOFFIT / COLOUR =

#### E - PAVING

**E1.1** PAVING / COLOUR = NATURAL GRAY

#### F - ROOFING

**F1.1** ASPHALT ROOF SHINGLES / COLOUR =

#### G - WINDOWS

**G1.1** WINDOW / COLOUR =

#### H - DOORS

**H1.1** METAL DOOR / COLOUR =

**H2.1** METAL GARAGE DOOR / COLOUR =

#### J - GUARDS & RAILINGS

**J1.1** ALUMINUM GUARDRAIL W/ GLASS PANEL / COLOUR =

EXISTING GEODETIC ELEVATION

PROPOSED GEODETIC ELEVATION



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CALGARY, AB

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25.059 WEST

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NL, SM

DATE  
2026-02-13

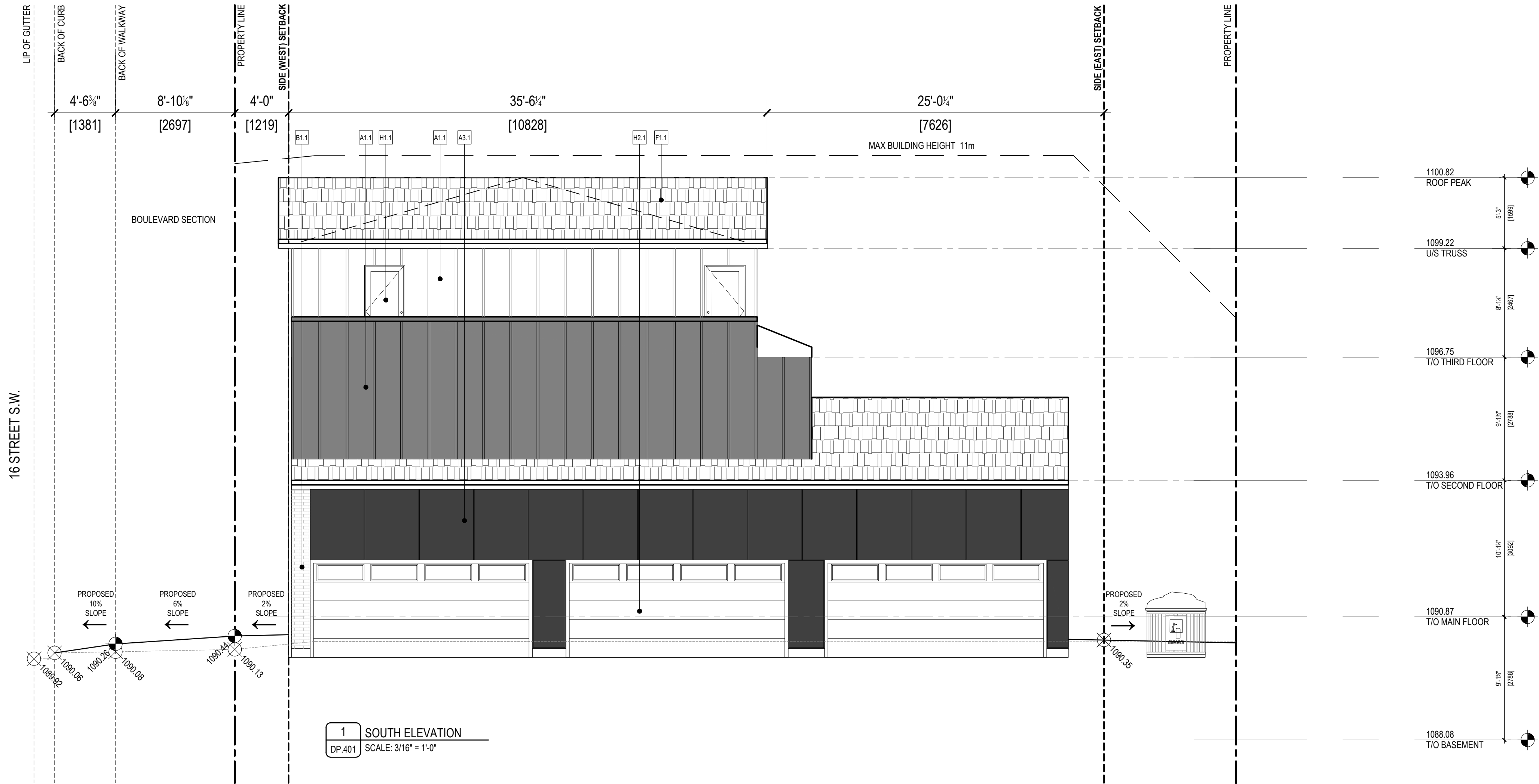
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DRAWING TITLE  
BUILDING ELEVATIONS

DRAWING NUMBER

DP.400

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- REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
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#### SHEET NOTES

**N.XX** SHEET NOTE DESCRIPTION

**N.01** ADD NOTE

**N.02** ADD NOTE

#### EXTERIOR FINISH LEGEND

**0.0** MATERIAL TAG DESCRIPTION

#### A - FIBER CEMENT

**A1.1** VERTICAL BOARD & BATTEN / SMOOTH / COLOUR = LIGHT BLUE

**A2.1** VERTICAL BOARD & BATTEN / SMOOTH / COLOUR = LIGHT GREY

**A3.1** PANEL / SMOOTH / COLOUR = BLACK

#### B - MASONRY

**B1.1** BRICK / COLOUR = LIGHT BROWN

#### C - METAL

**C1.1** ALUMINUM FASCIA & SOFFIT / COLOUR =

#### E - PAVING

**E1.1** PAVING / COLOUR = NATURAL GRAY

#### F - ROOFING

**F1.1** ASPHALT ROOF SHINGLES / COLOUR =

#### G - WINDOWS

**G1.1** WINDOW / COLOUR =

#### H - DOORS

**H1.1** METAL DOOR / COLOUR =

**H2.1** METAL GARAGE DOOR / COLOUR =

#### J - GUARDS & RAILINGS

**J1.1** ALUMINUM GUARDRAIL W/ GLASS PANEL / COLOUR =

 EXISTING GEODETIC ELEVATION

 PROPOSED GEODETIC ELEVATION

#### RELEASES

| NO. | DESCRIPTION   | DATE       |
|-----|---------------|------------|
| 01  | ISSUED FOR DP | 2026-02-13 |

☐ CONSTRUCTION

☐ TENDER

☐ BUILDING PERMIT

PROJECT NAME

25.059 ECC 1643 WEST

MUNICIPAL ADDRESS

1643 ALTADORE AVENUE SW

CALGARY, AB

LEGAL ADDRESS

L: 11 B: 22 P: 5301 GP

PROJECT NO.

25.059 WEST

DRAWN

DO

CHECKED

NL, SM

DATE

2026-02-13

SCALE

AS NOTED

DRAWING TITLE

GARAGE ELEVATIONS

DRAWING NUMBER

DP.401

FOR REFERENCE  
ONLY - NOT FOR  
CONSTRUCTION

YYYY.MM.DD

## RELEASES

[illegible]

|                                          |            |
|------------------------------------------|------------|
| <input type="checkbox"/> CONSTRUCTION    | YYYY-MM-DD |
| <input type="checkbox"/> TENDER          | YYYY-MM-DD |
| <input type="checkbox"/> BUILDING PERMIT | YYYY-MM-DD |

25.059 ECC 1643 WEST

**MUNICIPAL ADDRESS**  
1643 ALTADORE AVENUE SW  
CALGARY, AB

PROJECT NO.

DRAWN

|      |       |
|------|-------|
| DATE | SCALE |
|------|-------|

DRAWING TITLE  
**SURVEY PLAN**

**DRAWING NUMBER**

S.100

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## SITE PLAN

**MUNICIPAL ADDRESS:**  
1643 Altadore Avenue S.W.  
Calgary, Alberta

**LEGAL DESCRIPTION:**  
Lot 11  
Block 22  
Plan 5301 GP

PREPARED FOR: Eagle Crest Construction

DATE OF SURF

SCALE: 1:200

LEGEND:

LEGEND:

- Property Line
- Right of Way Line
- Eave Line
- X—X—X— Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Electrical Line
- A.G.T. Line
- Door
- Main Floor Window
- Second Floor Window
- Basement Floor Window
- Third Floor Window

-  Power Pole  
 Manhole  
 Catch Basin  
 Sign  
 Tree  
 Calculation points  
 Main Building Hatch  
 Detached Garage Hatch  
 Shed Hatch  
 Concrete and Asphalt Hatch  
 Wood Hatch  
 Roof Hatch

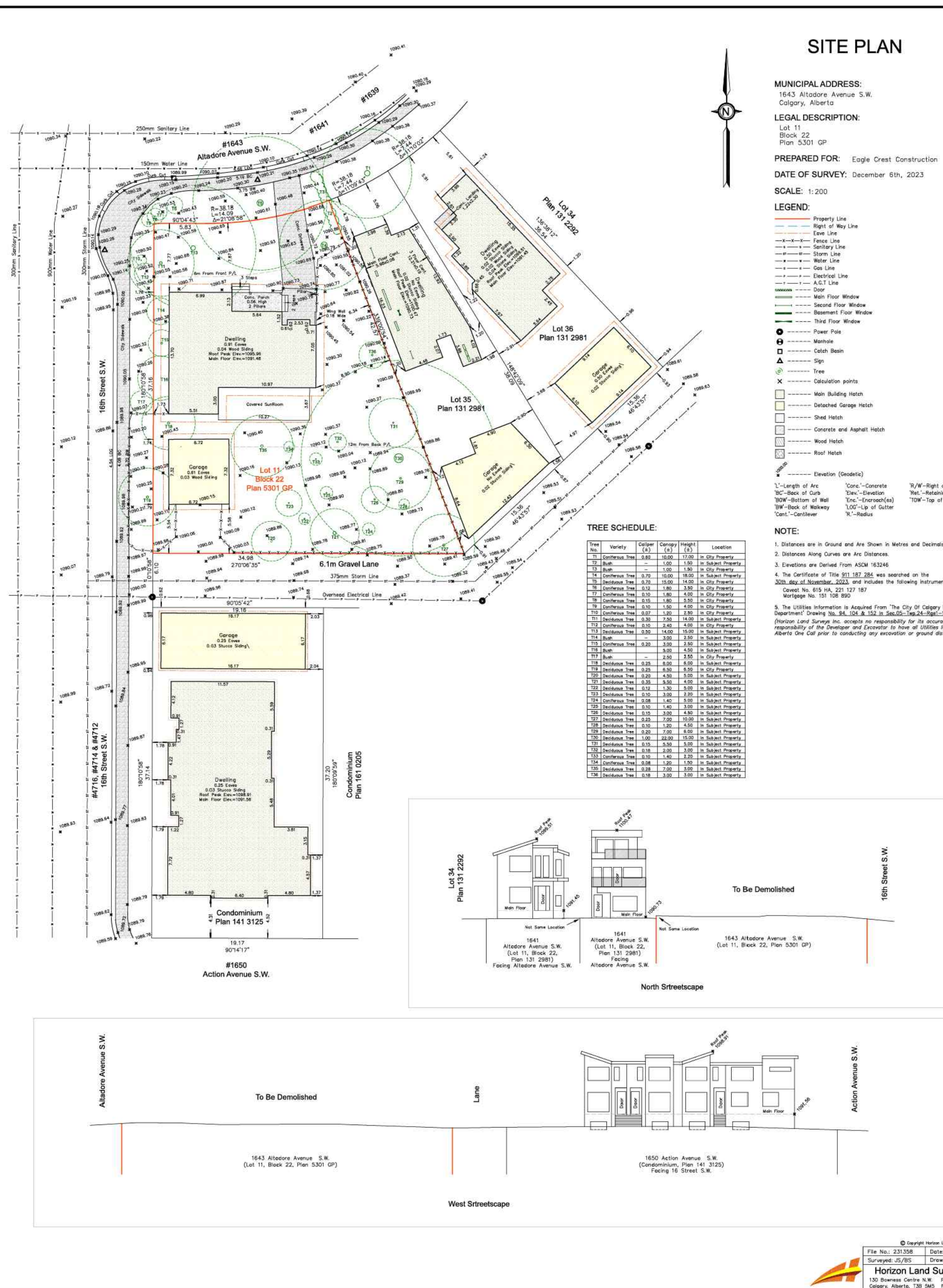
- |                      |                     |                    |
|----------------------|---------------------|--------------------|
| 'L'-Length of Arc    | 'Conc.'-Concrete    | 'R/W'-Right of Way |
| 'BC'-Back of Curb    | 'Elev.'-Elevation   | 'Ret.'-Retaining   |
| 'BW'-Bottom of Wall  | 'Enc.'-Encroachment | 'TOW'-Top of Wall  |
| 'BW'-Back of Walkway | 'LOG'-Lip of Gutter |                    |
| 'Cant.'-Cantilever   | 'R'-Radius          |                    |

**NOTE:**

1. Distances are in Ground and Are Shown in Metres and Decimals Thereof.  
2. Distances Along Curves are Arc Distances.  
3. Elevations are Derived from ASCM 163246.  
4. The Certificate of Title #11 187 284, was searched on the  
20th day of November, 2002, and includes the following instruments:  
Mortgage No. 615 HA, 121 227 187  
Caveat No. 151 108 890  
5. The Utilities Information is Acquired From "The City Of Calgary Engineering  
Department" Drawing No. 94, 104 & 152 in Sec.05-10p.24-10p.1-WM.  
(Horizon Land Survey Inc. accepts no responsibility for its occurrence. It is  
the responsibility of the user of this information to know all applicable laws of  
Alberta One Call prior to conducting any excavation or ground disturbance.)

**TREE SCHEDULE:**

| Tree | Variety  | Caliper<br>(mm) | Canopy<br>(m <sup>2</sup> ) | Height<br>(m) | Location           |
|------|----------|-----------------|-----------------------------|---------------|--------------------|
| 1    | Conifera | 5.89            | 10.00                       | 17.00         | In City Property   |
| 2    | Conifera | 5.89            | 10.00                       | 17.00         | In City Property   |
| 3    | Bell     | —               | 1.00                        | 1.00          | In City Property   |
| 4    | Conifera | 5.89            | 10.00                       | 17.00         | In City Property   |
| 5    | Conifera | 5.78            | 10.00                       | 14.00         | In City Property   |
| 6    | Conifera | 5.12            | 1.80                        | 3.50          | In City Property   |
| 7    | Conifera | 5.12            | 1.80                        | 3.50          | In City Property   |
| 8    | Conifera | 5.15            | 1.80                        | 3.50          | In City Property   |
| 9    | Conifera | 5.15            | 1.80                        | 3.50          | In City Property   |
| 10   | Conifera | 5.15            | 1.80                        | 3.50          | In City Property   |
| 11   | Conifera | 5.07            | 1.50                        | 2.80          | In City Property   |
| 12   | Conifera | 5.07            | 1.50                        | 2.80          | In City Property   |
| 13   | Conifera | 5.10            | 2.40                        | 4.50          | In City Property   |
| 14   | Conifera | 5.20            | 3.00                        | 5.50          | In City Property   |
| 15   | Conifera | 5.20            | 3.00                        | 5.50          | In City Property   |
| 16   | Conifera | 5.20            | 3.00                        | 5.50          | In City Property   |
| 17   | Bell     | —               | 2.50                        | 2.50          | In City Property   |
| 18   | Conifera | 5.15            | 1.80                        | 3.50          | In City Property   |
| 19   | Conifera | 5.20            | 4.20                        | 5.50          | In City Property   |
| 20   | Conifera | 5.20            | 4.20                        | 5.50          | In City Property   |
| 21   | Conifera | 5.36            | 5.50                        | 8.50          | In Suburb Property |
| 22   | Conifera | 5.15            | 1.50                        | 3.50          | In Suburb Property |
| 23   | Conifera | 5.15            | 1.50                        | 3.50          | In Suburb Property |
| 24   | Conifera | 5.08            | 1.40                        | 3.50          | In Suburb Property |
| 25   | Conifera | 5.08            | 1.40                        | 3.50          | In Suburb Property |
| 26   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 27   | Conifera | 5.09            | 3.50                        | 4.50          | In Suburb Property |
| 28   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 29   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 30   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 31   | Conifera | 5.06            | 22.00                       | 15.00         | In Suburb Property |
| 32   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 33   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 34   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 35   | Conifera | 5.10            | 3.50                        | 4.50          | In Suburb Property |
| 36   | Conifera | 5.28            | 7.50                        | 5.50          | In Suburb Property |
| 37   | Conifera | 5.28            | 7.50                        | 5.50          | In Suburb Property |



|       |                      |
|-------|----------------------|
| 1     | SURVEY PLAN          |
| S.100 | SCALE: 1/16" = 1'-0" |