

- Exterior lighting
- L1 - wall washer
900 maximum lumens
low voltage LED
 - L2 - recessed pot lights
maximum lumens 300
15 watt low voltage LED
 - L3 - recessed
Strip LEDs in concrete
steps Max Lumens 130
4.6 Watt low voltage LED

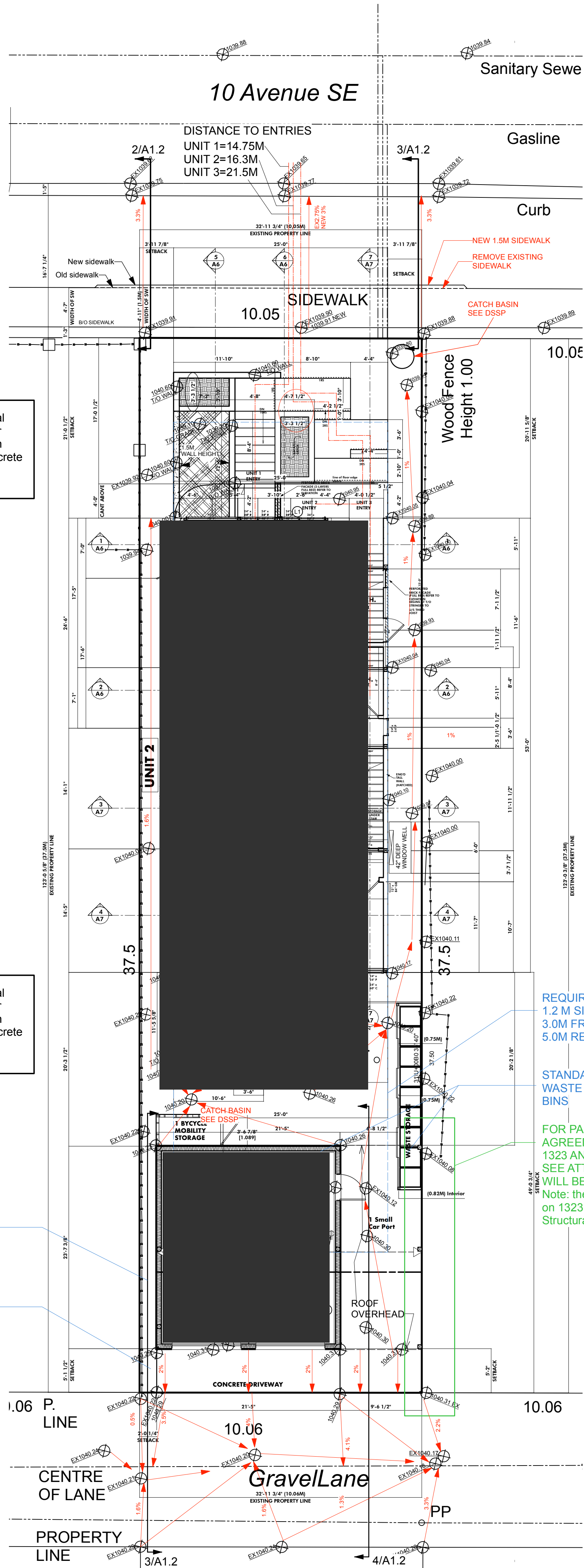


Structural Engineer to design ALL concrete retaining walls

Structural Engineer to design ALL concrete retaining walls

SETBACK FOR GARAGE 0.6M FROM SIDE

SETBACK FOR GARAGE 1.5M FROM REAR



PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"

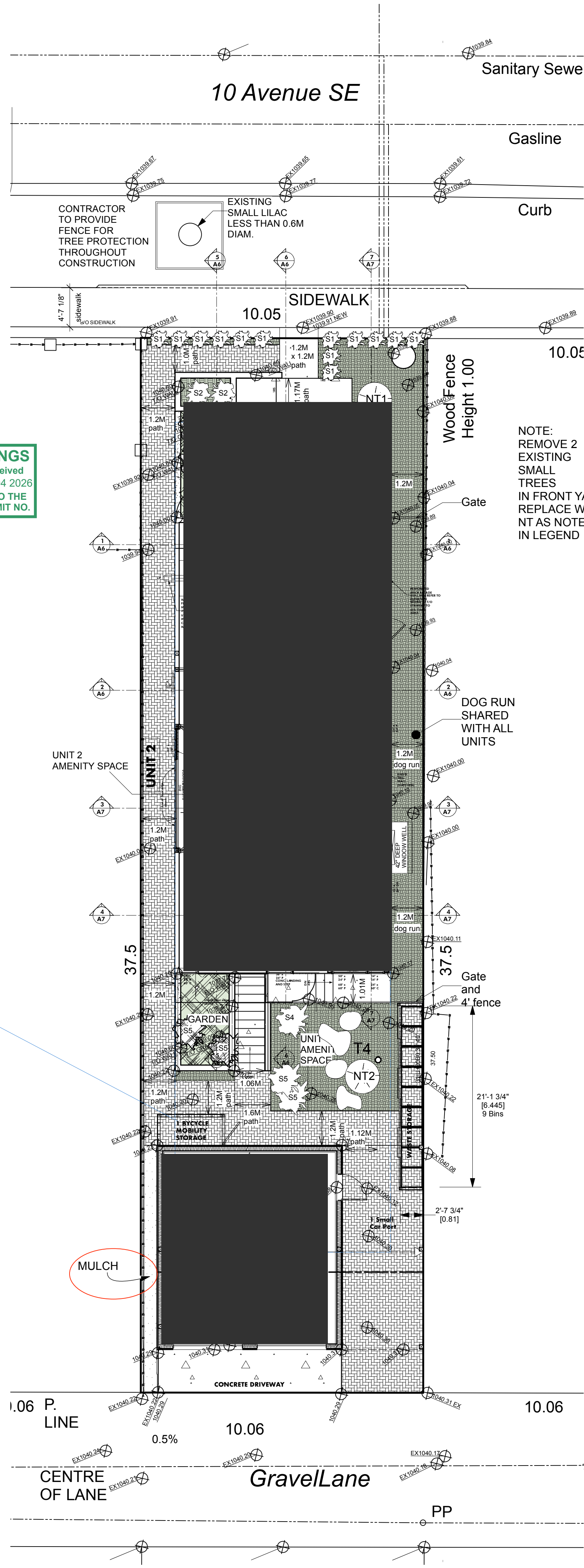
AMENDED DRAWINGS
DP No Date Received
DP2026-00917 AUGUST 04 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

RETAINING WALL
ALONG SIDE PROPERTY
LINES TO CONTAIN
OVER GROUND DRAINAGE.
SEE DSSP.

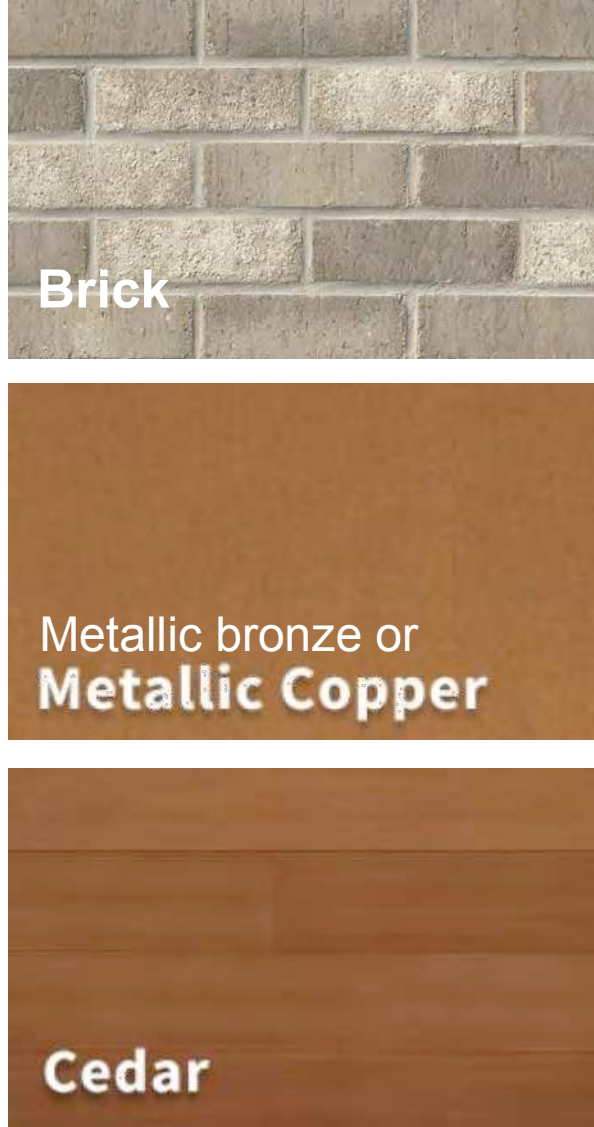
REQUIRED SETBACKS
1.2 M SIDE YARDS
3.0M FRONT YARD
5.0M REAR YARD

STANDARD CITY SIZED
WASTE AND RECYCLING
BINS

FOR PARTYWALL
AGREEMENT BETWEEN
1323 AND 1325
SEE ATTACHED.
WILL BE FILED ON TITLE
Note: the footing will encroach
on 1323 unless specified by
Structural Engineer.



PROPOSED LANDSCAPE PLAN
Scale: 1/8" = 1'-0"



Exterior Colours
Brick: Harbortown by Hebron
Window and some flat panel: Metallic Copper or Bronze
by MAC Architectural Metals
Siding: Cedar, by MAC Architectural Metals or stucco
Wood Screen: Cedar to match metal
Brick Screens: to match brick siding

LANDSCAPING LEGEND

- NT1 1X COURAGEOUS CRAB min 85mm
DECIDUOUS TREE
- NT2 1X JAPANESE LILAC min 85mm
DECIDUOUS TREE
- S1 13x NINEBARK min 0.6m
DECIDUOUS SHRUB
- S2 2x FLOWERING PLUM min 0.6m
DECIDUOUS SHRUB
- S3 3x CALGARY CARPET JUNIPER min 0.6m
CONIFEROUS SHRUB
- S4 1x MEYER'S LILAC min 0.6m
DECIDUOUS SHRUB
- S5 6x HYDREANGEA min 0.6m
DECIDUOUS SHRUB
- CLOVER GROUND COVER
- PERMIABLE PAVERS
- VEGETAL AND ANNUAL GARDEN BEDS
- GREEN ROOF
- EXISTING TREE 2.5M
DIAMETER TRUNK
6M CANOPY - TO BE REMOVED

NOTE: ALL SOFT SURFACE AREAS
INCLUDING PLANTERS TO BE
IRRIGATED WITH LOW WATER SYSTEM

FLOOD PLANE = 1040.10M
T/O MAIN FLOOR = 1041.05M
T/O GRADE

LANDUSE DESIGNATION
1321 = R-CG
1323 = R-CG - H-GO
1325 = R-CG

FIRE PROTECTION AND MITIGATION
NOTE:
THE BUILDING IS TO BE SPRINKLERED
ON ALL THREE UNITS.
DISTANCE TO HYDRANT IS GREATER
THAN 90M
FIRETRUCK ACCESS FROM 10 AVE SE

PARKING
H-GO REQUIRES 0.5 STALLS PER UNIT
2 STALLS ARE PROVIDED ON SITE
+ 1 ADDITIONAL STALL
ALL FOR RESIDENTIAL USE



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No
Fun
Design

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RCC
Residential Design

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Alberta

SUNSET
HOMES

ISSUED:

DATE ISSUED BY:

FEB 05, 2026 - DP

MAR 10, 2026 - ADDED

REQUESTED NOTES FROM

MOBILITY-ENG. AND UTILITY

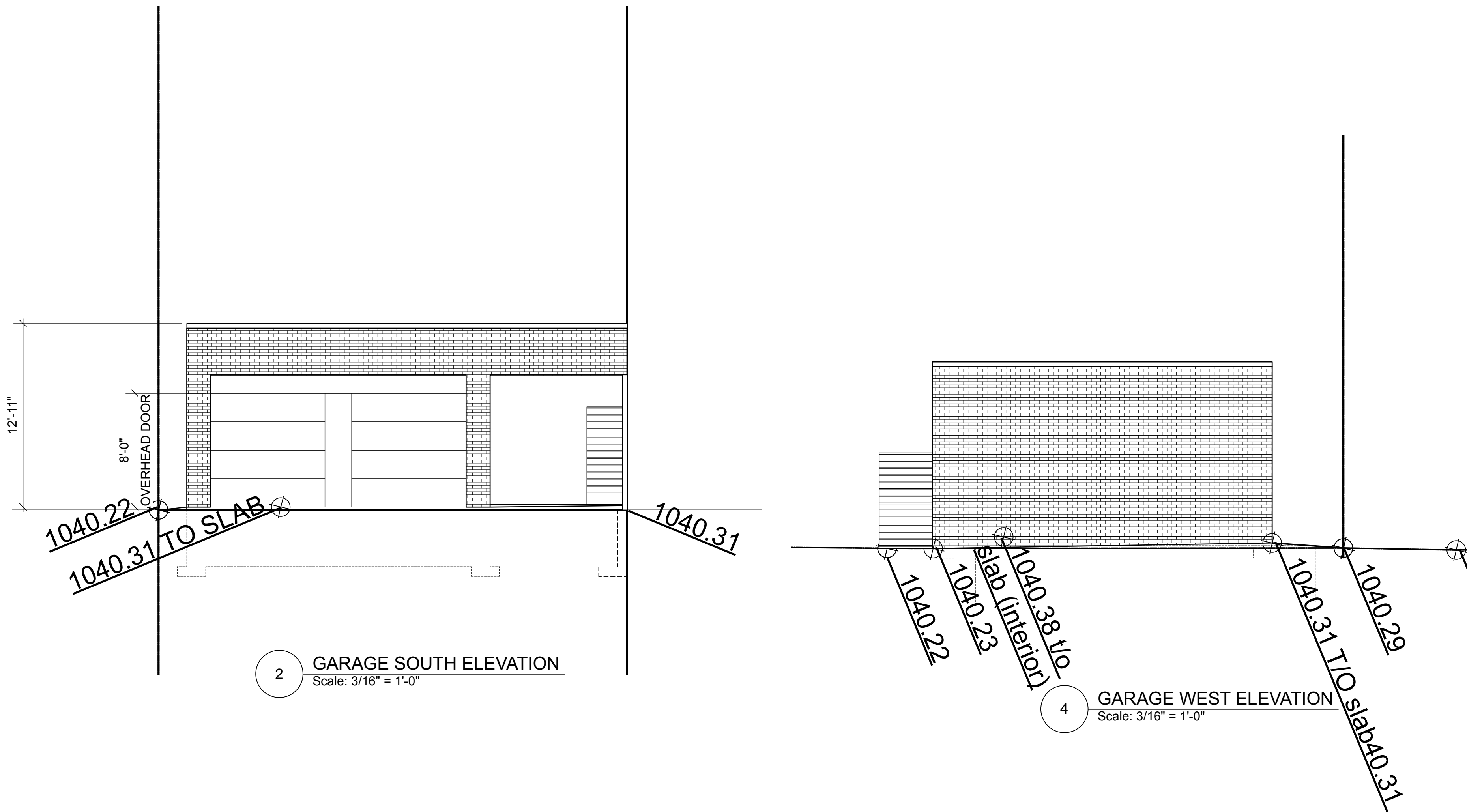
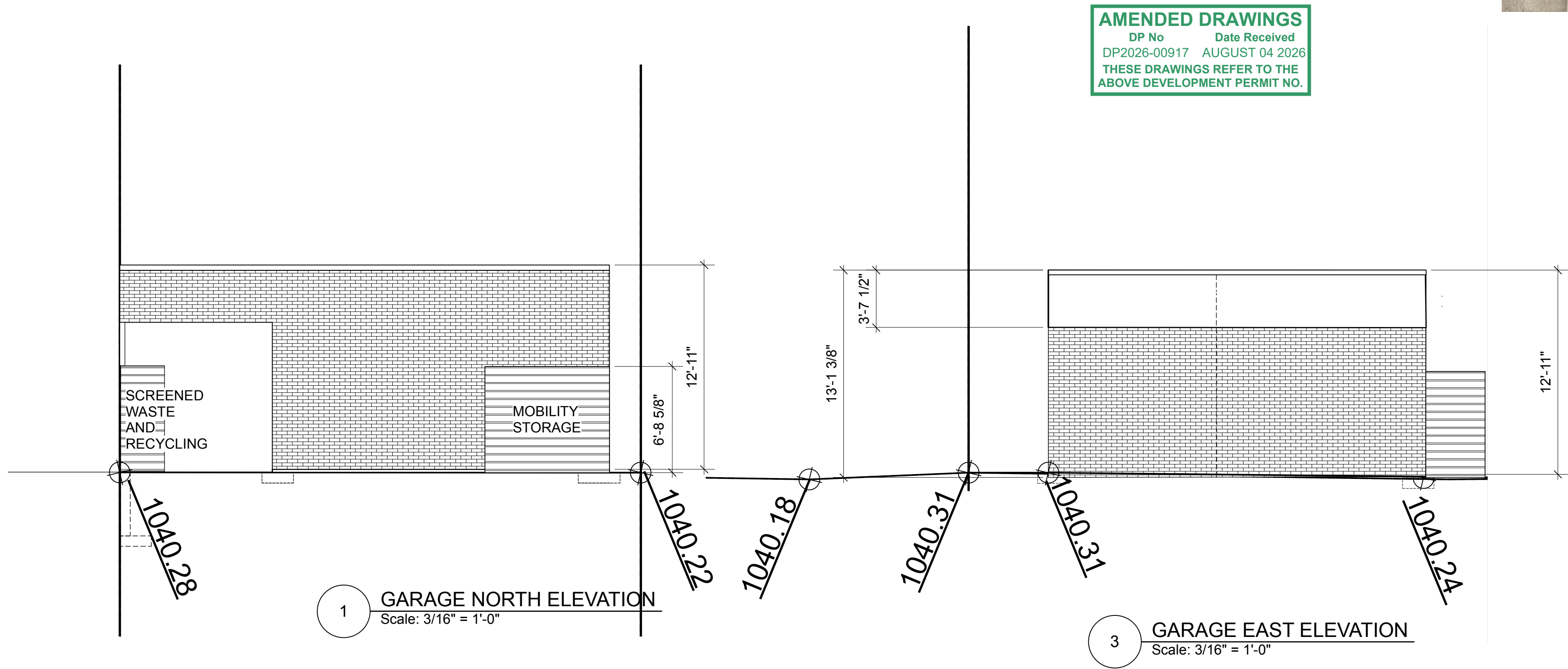
ENG.

JULY 23, 2026 - ADDED

CONIFEROUS AND

DECIDUOUS LABELS ON

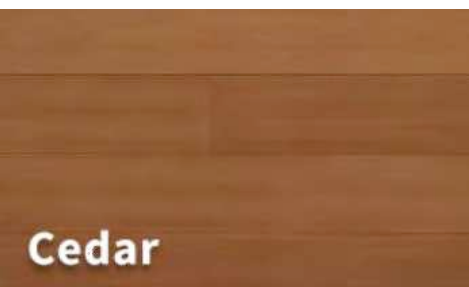
LANDSCAPING LEGEND.



Brick



Metallic bronze or
Metallic Copper



Cedar

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REC
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SUNSET
HOMES

ISSUED:

DATE ISSUED BY:
FEB 05, 2026 - DP

DRAFT NOT FOR
CONSTRUCTION

AREAS:

AREA	SF
UNIT 1 - LIVING SPACE TOTAL	1096
BASEMENT DEVELOPMENT	1096
UNIT 2 - LIVING SPACE TOTAL	1629
MAIN FLOOR (not incl. mech)	1080
UPPER FLOOR	549
MAIN COVERED ENCLOSURE BALCONY	141
UNIT 3 - LIVING SPACE TOTAL	1299
UPPER FLOOR	782
THIRD FLOOR	517
THIRD FLOOR UNENCLOSURE BALCONY	173
THIRD GREEN ROOF (FRONT)	489
THIRD GREEN ROOF (REAR)	177

PUBLISHED:

STAGE:

DRAWN & DESIGNED: R. CAIRNS/ PATRICK MOSKWA

CHECKED:

PROJECT:

INGLEWOOD STACKING
DWELLING

STREET
ADDRESS: #1323 10
AVENUE SE,
CALGARY, AB

LEGAL ADDRESS:
LOT 24,
BLOCK 5,
PLAN A3

OWNER:
PRIVATE
OWNER

LOT ZONING: R-CG to H-GO

PAGE: ARCH D / 36" x 24"

SCALE: As indicated

SHEET:

GARAGE

PAGE:

A5.2 R-Aug 05, 2026