



1323 10 AVE SE

CONTACT:
PATRICK
403-397-7030
Calgary,
Alberta



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Calgary,
Alberta



ISSUED:

DATE ISSUED BY
FEB 05, 2026 - DP

DRAFT NOT FOR CONSTRUCTION

AREAS: FAR = 4024/4057.99 = 0.99

AREA	SF
UNIT 1 - LIVING SPACE TOTAL	1096
BASEMENT DEVELOPMENT	1096
UNIT 2 - LIVING SPACE TOTAL	1629
MAIN FLOOR (not incl. mech)	1080
UPPER FLOOR	549
MAIN COVERED ENCLOSED BALCONY	141
UNIT 3 - LIVING SPACE TOTAL	1299
UPPER FLOOR	782
THIRD FLOOR	517
THIRD FLOOR UNENCLOSED BALCONY	173
THIRD GREEN ROOF (FRONT)	489
THIRD GREEN ROOF (REAR)	177
PARCEL	377.0M2/0.037ha 4057.99
MAIN AND GARAGE	2286.76
PARCEL COVERAGE 56% = 60% allowable	
LANDSCAPE TOTAL	1821.07
LANDSCAPE HARD	972.17
LANDSCAPE SOFT	848.9
LANDSCAPE SOFT ROOVES	666

PUBLISHED:

STAGE:

DRAWN & DESIGNED: R. CAIRNS/ PATRICK MOSKWA

CHECKED:

PROJECT:

INGLEWOOD STACKING DWELLING

STREET ADDRESS: 1323 10 AVENUE SE, CALGARY, AB

LEGAL ADDRESS: LOT 24, BLOCK 5, PLAN A3

OWNER: PRIVATE OWNER

LOT ZONING: R-CG to H-GO

PAGE: ARCH D / 36' x 24'

SCALE: As indicated

SHEET:

SITE PLAN

PAGE:

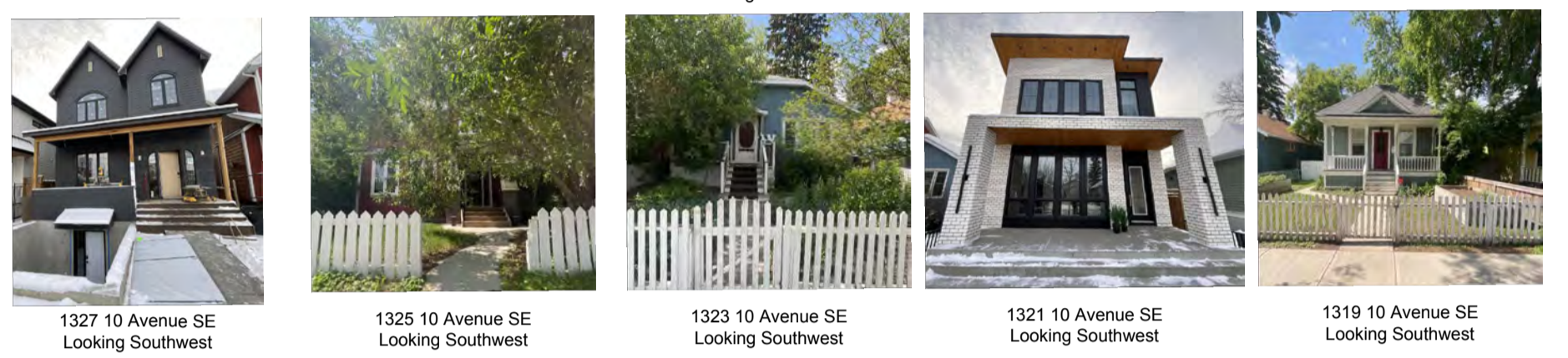
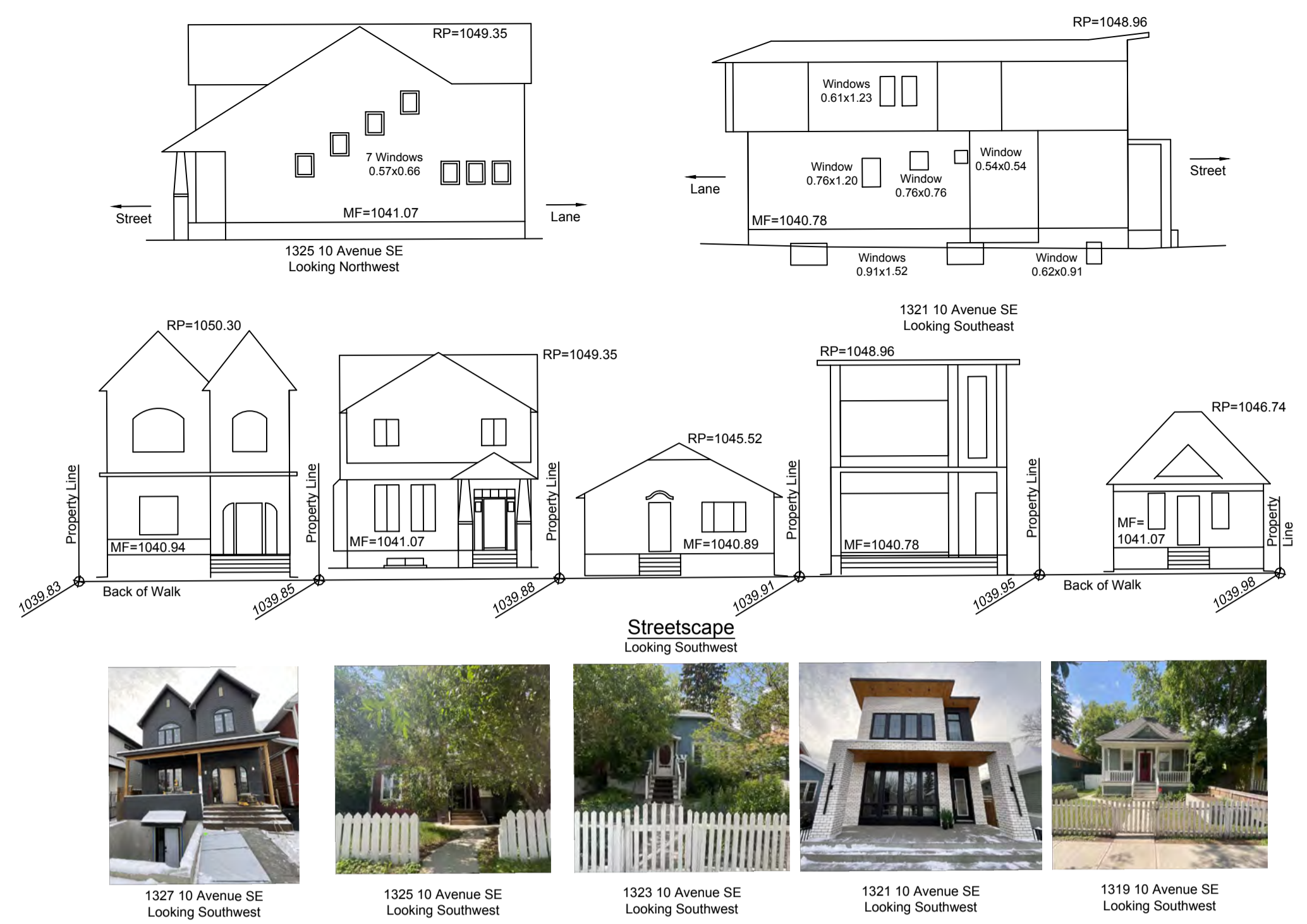
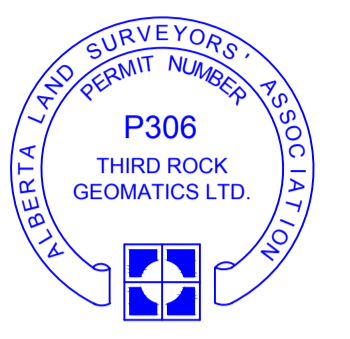
A0

SITE PLAN SHOWING EXISTING FEATURES

Description of Property
 Civic Address: 1323 10 Avenue SE, Calgary, Alberta
 Legal Address: Lot 24, Block 5, Plan A3

Date of Survey: Nov 27, 2018 to November 27, 2025

Mark A. Sutter
 Mark A. Sutter, A.L.S., P. Surv. (Copyright reserved)
 Dated at the City of Calgary, Alberta, November 28, 2025



Area Table (m²)

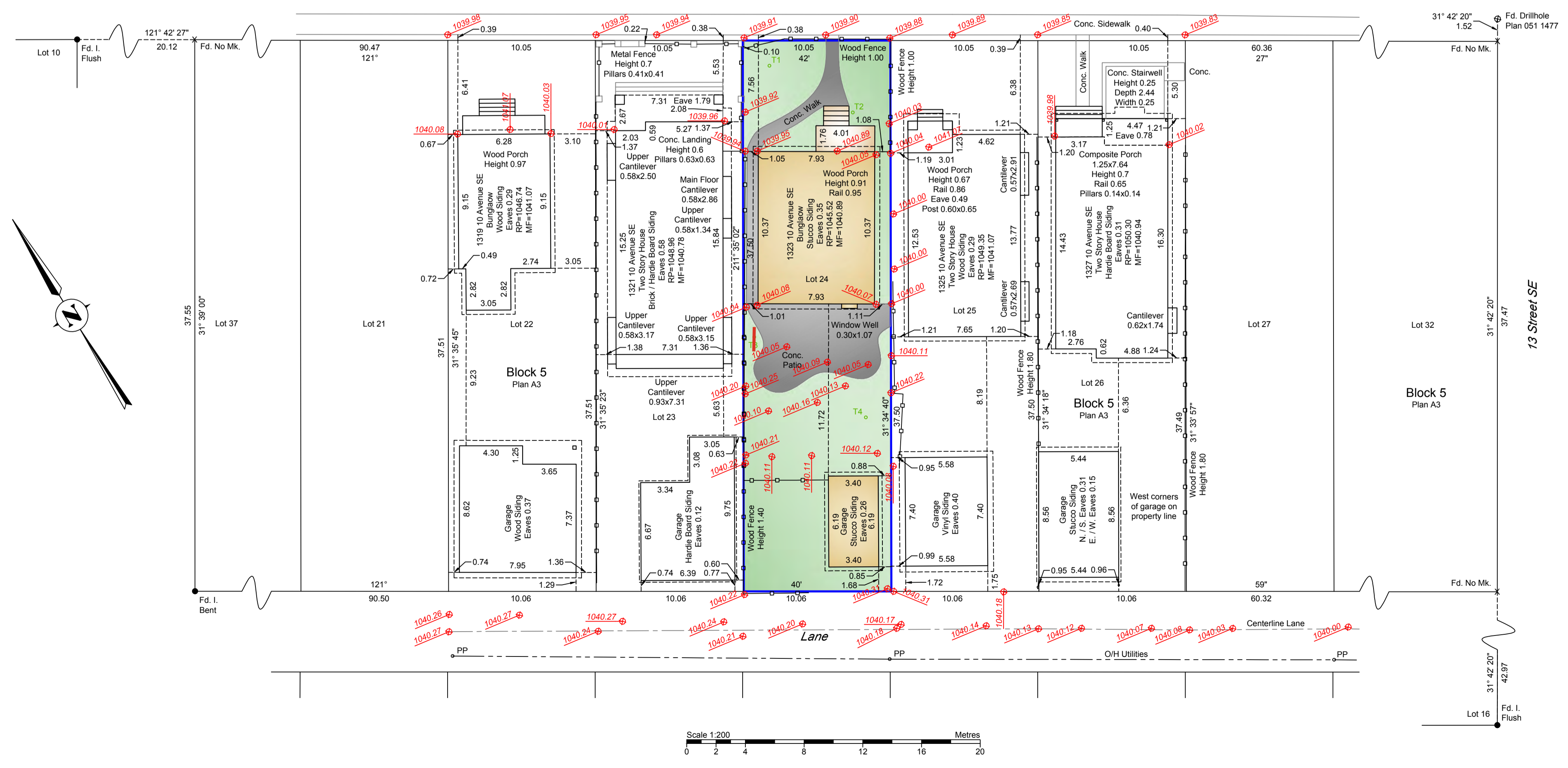
Parcel	House	Garage	Coverage
1319 10 Avenue SE	377.1	66.1	64.0 34.5%
1321 10 Avenue SE	377.1	129.0	52.0 48.0%
1323 10 Avenue SE	377.0	82.2	21.0 27.4%
1325 10 Avenue SE	377.0	105.4	41.3 38.9%
1327 10 Avenue SE	377.0	120.0	46.6 44.2%

Tree Table (m)

Trunk Ø	Drip Ø	Height	Species
T1	0.25	6.0	4.0 Deciduous
T2	0.10	2.0	2.0 Deciduous
T3	0.40	6.0	16.0 Deciduous
T4	2.50	6.0	15.0 Deciduous

- Notes**
- Distances are in metres and decimals thereof.
 - Bearings are 3TM, derived from GNSS observations, and confirmed with ASCM 250027 and ASCM 70789.
 - Elevations are geodetic, derived from ASCM 250027 Elev. = 1039.21
 - All ties are perpendicular to property line.
 - Side yard and setback distances are measured to concrete walls.
 - Title Boundary shown thus: - - - - -
 - Wood Fence shown thus: - - - - -
 - O/H Powerline & Telephone: - - - - -
 - Sewer: - - - - -
 - Fd.: Found, Mk.: Mark, C.S.: Countersunk, AGL: Above ground level, Conc.: Concrete, Δ: Central angle of curve, R: Radius, A: Arc Length, Calculated Position shown thus: X, Statutory Iron Post found shown thus: ●, Fd. I.: Drillhole found found shown thus: ⊗, Fd. Drillhole, Roof Peak: RP, Main Floor: MF, Utility Pole: ○ PP, Light Standard: ○ LS, Elevation Point: ○

All buried utility information shown or omitted is subject to verification. Buried utilities drawn from City of Calgary Block Profiles.



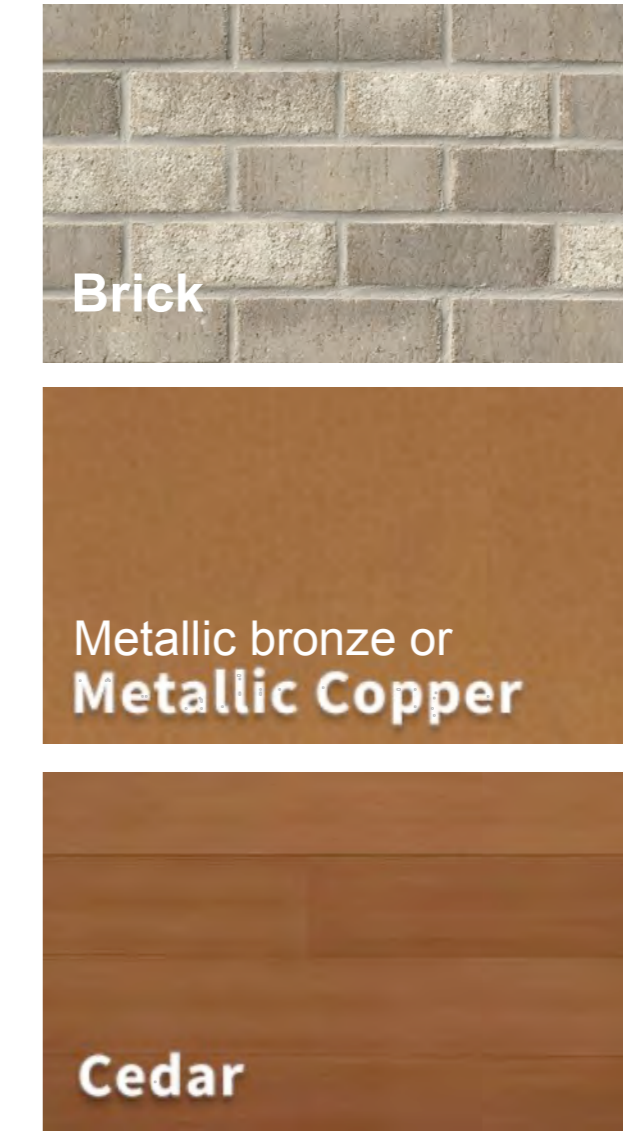
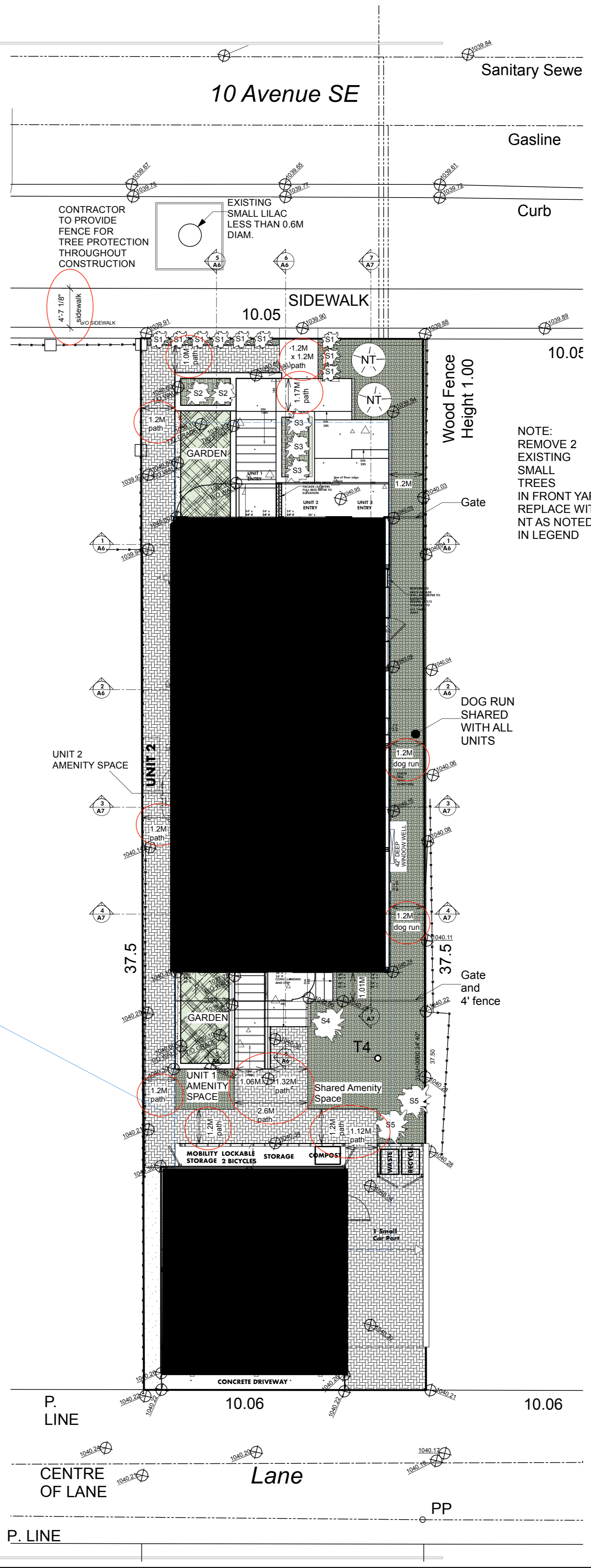
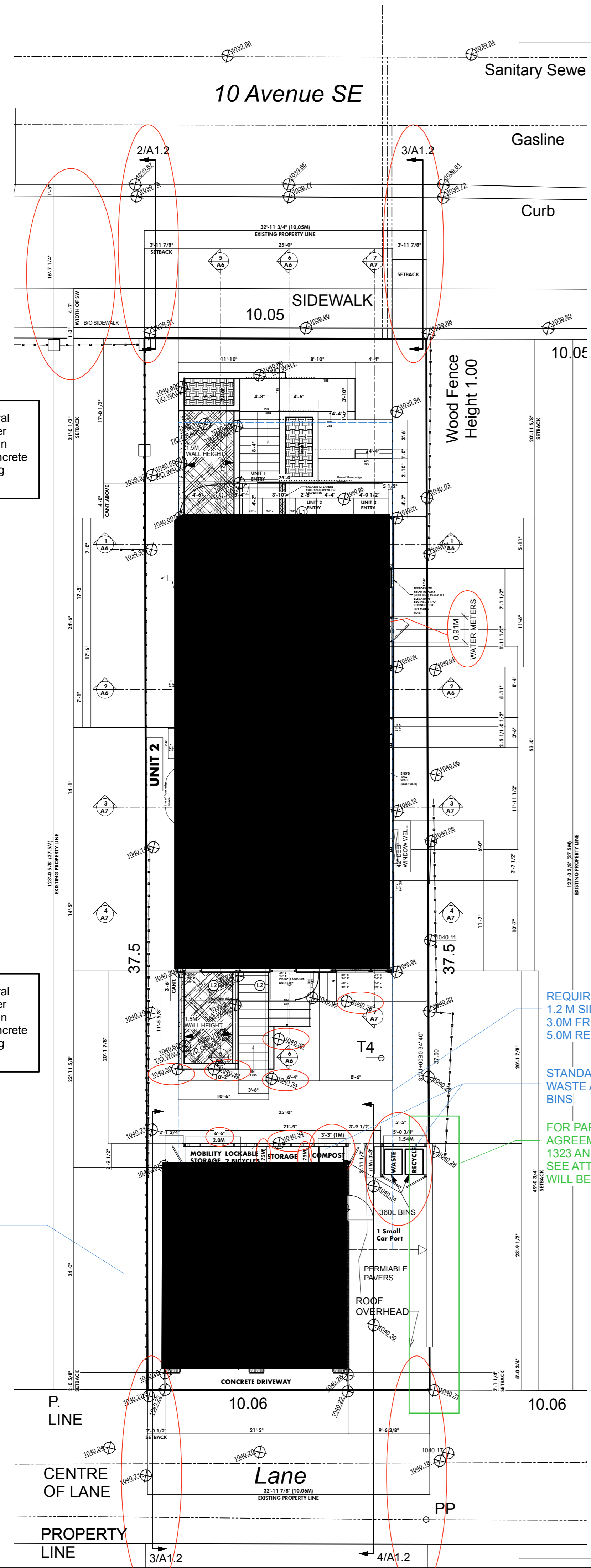
Disclaimer

This Drawing, prepared by Third Rock Geomatics Ltd., and all information contained herein is provided for the purpose of a Development Permit Application for: 1323 10 Avenue SE, Calgary, Alberta, Lot 24, Block 5, Plan A3

The information contained in the drawing is the property of Third Rock Geomatics Ltd. and any reproduction is prohibited without written consent. Errors or omissions must be reported to Third Rock Geomatics Ltd. immediately upon identification. This survey is not authorized for use in establishing boundaries. Third Rock Geomatics Ltd. takes no responsibility for any unauthorized use of its products.

UTILITY SAFETY PARTNERS UtilitySafety.ca 1-800-242-3447

This plan represents information as of the date of survey. Third Rock Geomatics Ltd. and their employees take no responsibility for the location of any underground facilities whether shown on or omitted from this plan. All underground facilities should be located by the respective authorities prior to construction.



Exterior Colours
Brick: Harbortown by Hebron
Window and some flat panel: Metallic Copper or Bronze by MAC Architectural Metals
Siding: Cedar, by MAC Architectural Metals
Wood Screen: Cedar to match metal
Brick Screens: to match brick siding

LANDSCAPING LEGEND

- COLUMNAR ASPEN
 - NINEBARK
 - HIGHBERRY
 - CALGARY CARPET JUNIPER
 - MEYER'S DWARF LILAC
 - HYDREANGEA
 - CLOVER GROUND COVER
 - PERMIABLE PAVERS
 - VEGETAL AND ANUAL GARDEN BEDS
 - GREEN ROOF
 - EXISTING TREE 2.5M DIAMETER TRUNK 6M CANOPY - TO BE SAVED
- NOTE: ALL SOFT SURFACE AREAS INCLUDING PLANTERS TO BE IRRIGATED WITH LOW WATER SYSTEM

FLOOD PLANE = 1040.10M
T/O MAIN FLOOR = 1041.05M
T/O GRADE

LANDUSE DESIGNATION
1321 = R-CG
1323 = R-CG - H-GO
1325 = R-CG

FIRE PROTECTION AND MITIGATION
NOTE:
THE BUILDING IS TO BE SPRINKLERED ON ALL THREE UNITS.
DISTANCE TO HYDRANT IS GREATER THAN 90M
FIRETRUCK ACCESS FROM 10 AVE SE

PARKING
H-GO REQUIRES 0.5 STALLS PER UNIT
2 STALLS ARE PROVIDED ON SITE + 1 ADDITIONAL STALL ALL FOR RESIDENTIAL USE

PROPOSED LANDSCAPE PLAN
Scale: 1/8" = 1'-0"



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MAR 10, 2026 - ADDED REQUESTED NOTES FROM MOBILITY ENG. AND UTILITY ENG.		

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3 UNITS/
0.0377HA
= 79.5

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STAGE:

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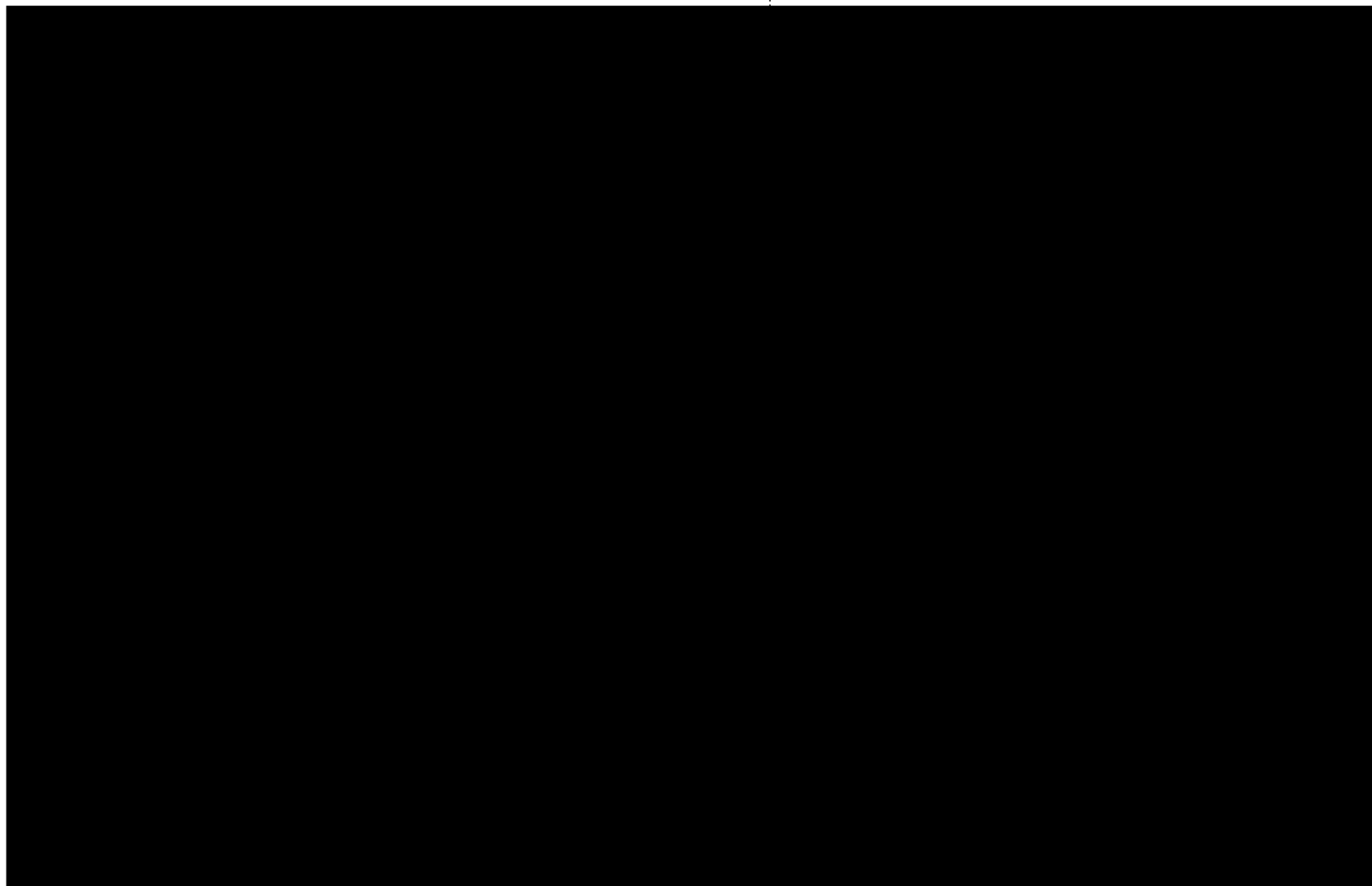
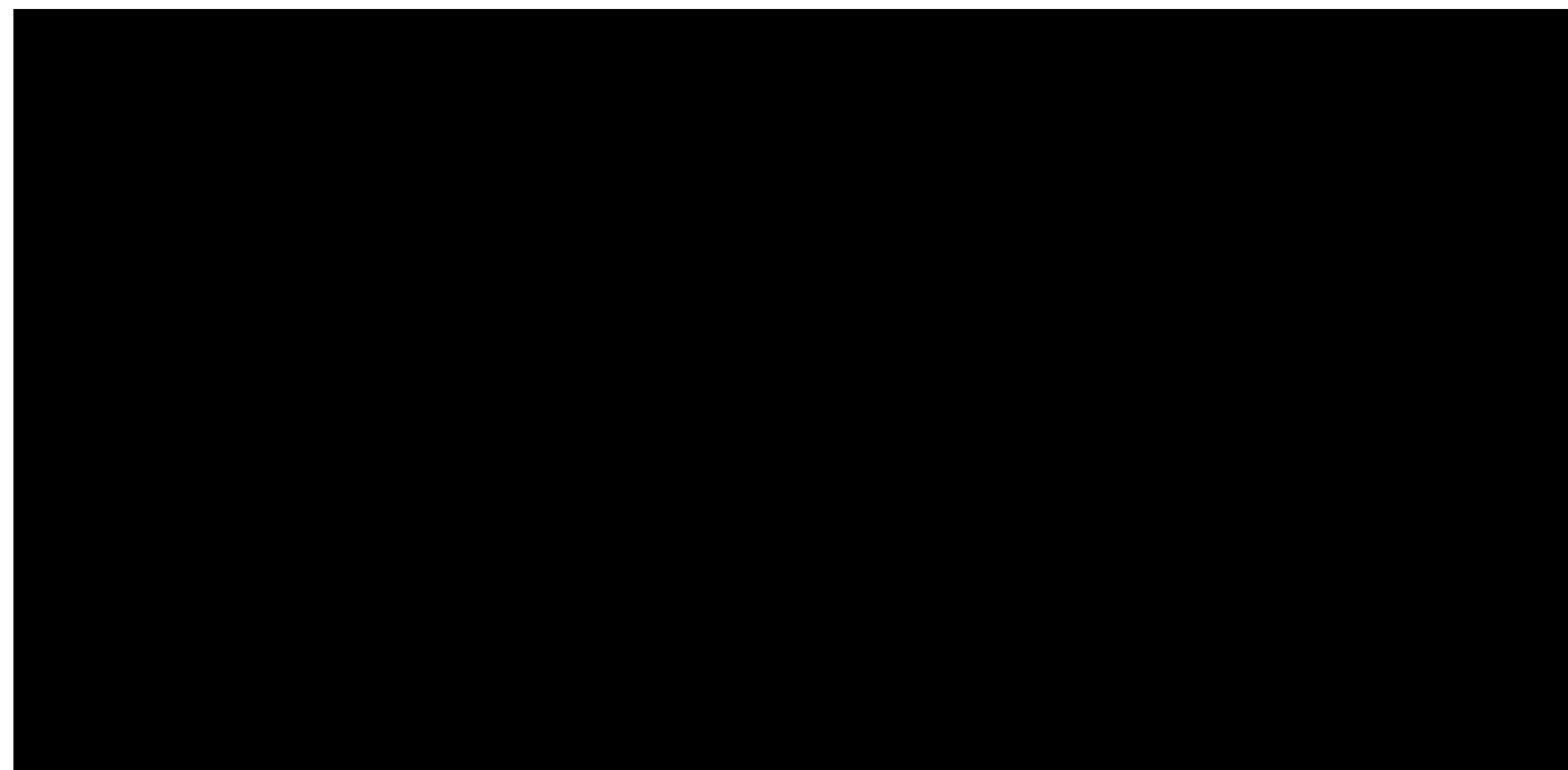
SCALE: As indicated

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SITE PLAN LANDSCAPE PLAN

PAGE:

A1.1



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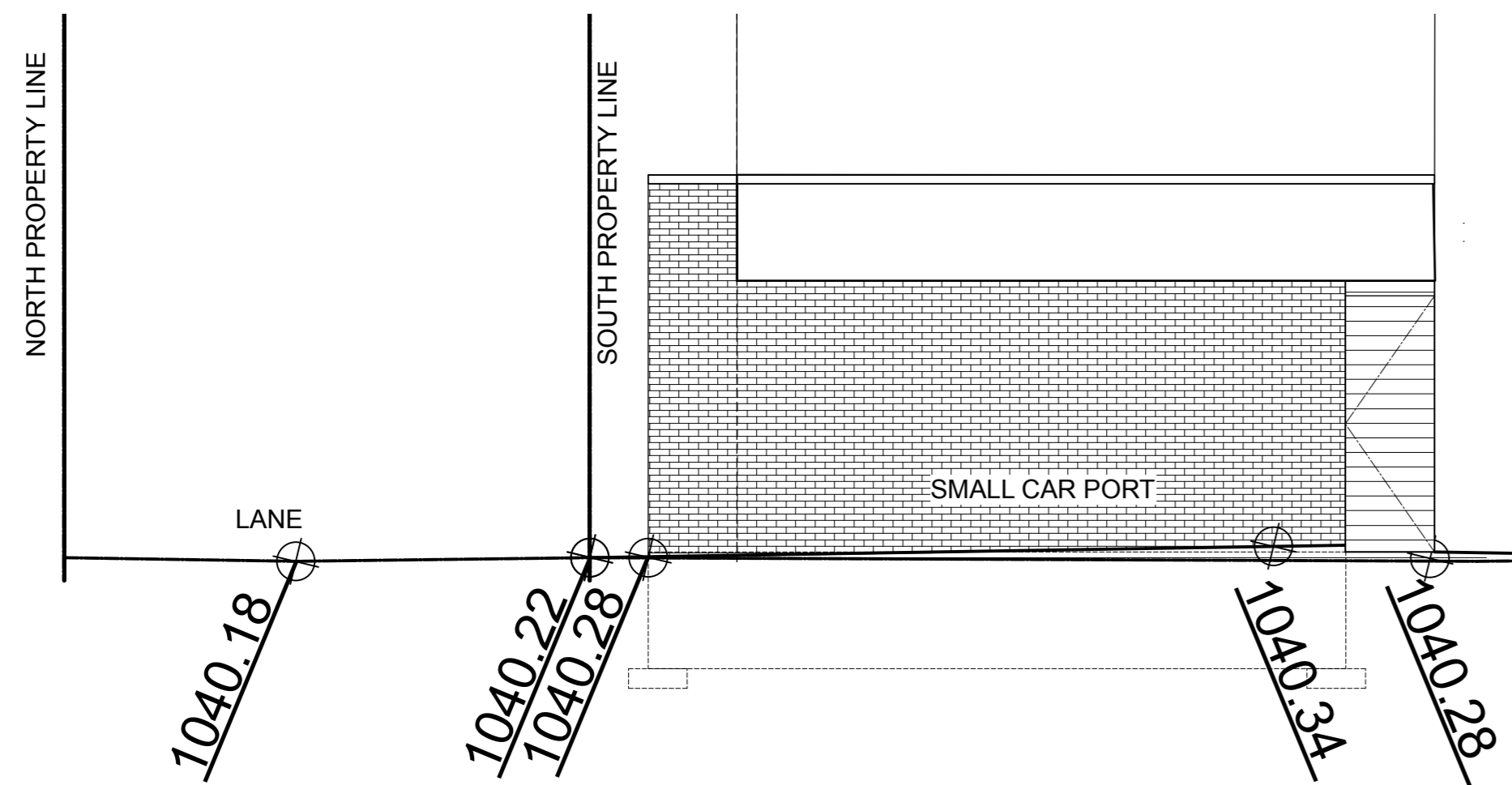
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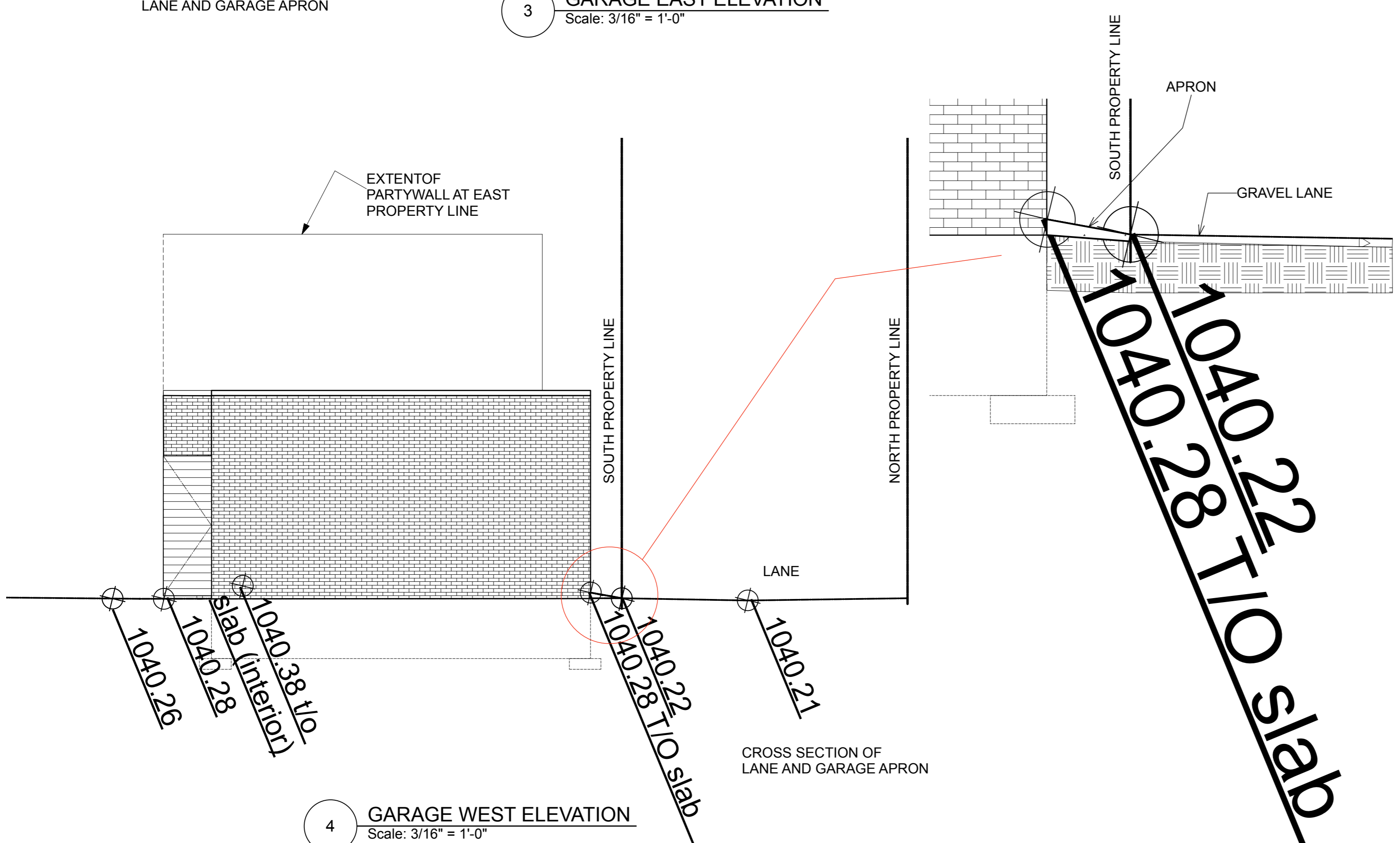
SHEET:
SITE PLAN LANDSCAPE PLAN

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A1.2



CROSS SECTION OF LANE AND GARAGE APRON
3 GARAGE EAST ELEVATION
Scale: 3/16" = 1'-0"



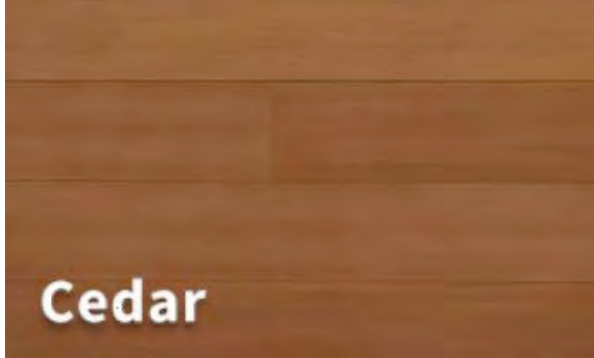
CROSS SECTION OF LANE AND GARAGE APRON
4 GARAGE WEST ELEVATION
Scale: 3/16" = 1'-0"



Brick

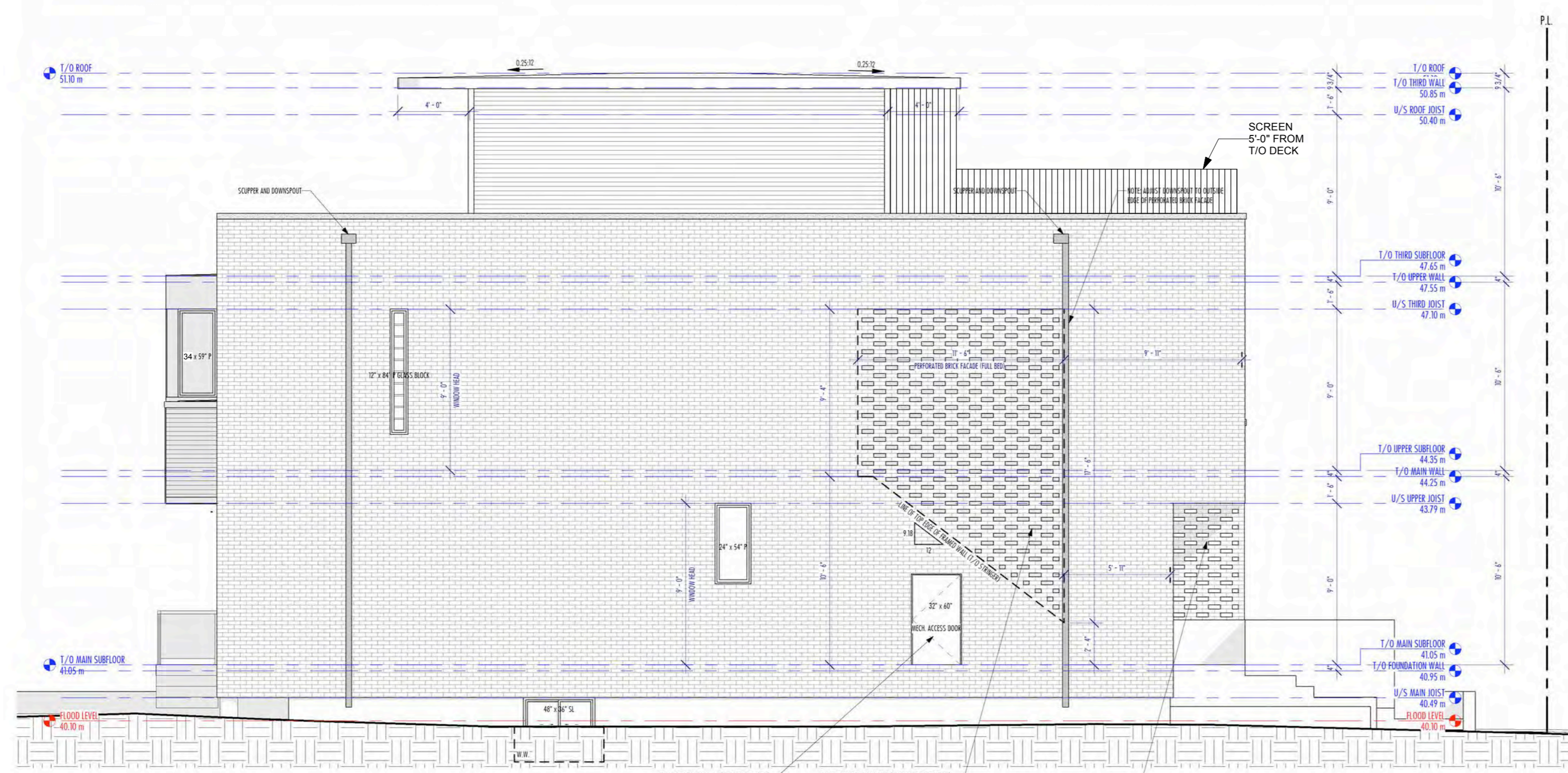


Metallic bronze or
Metallic Copper



Cedar

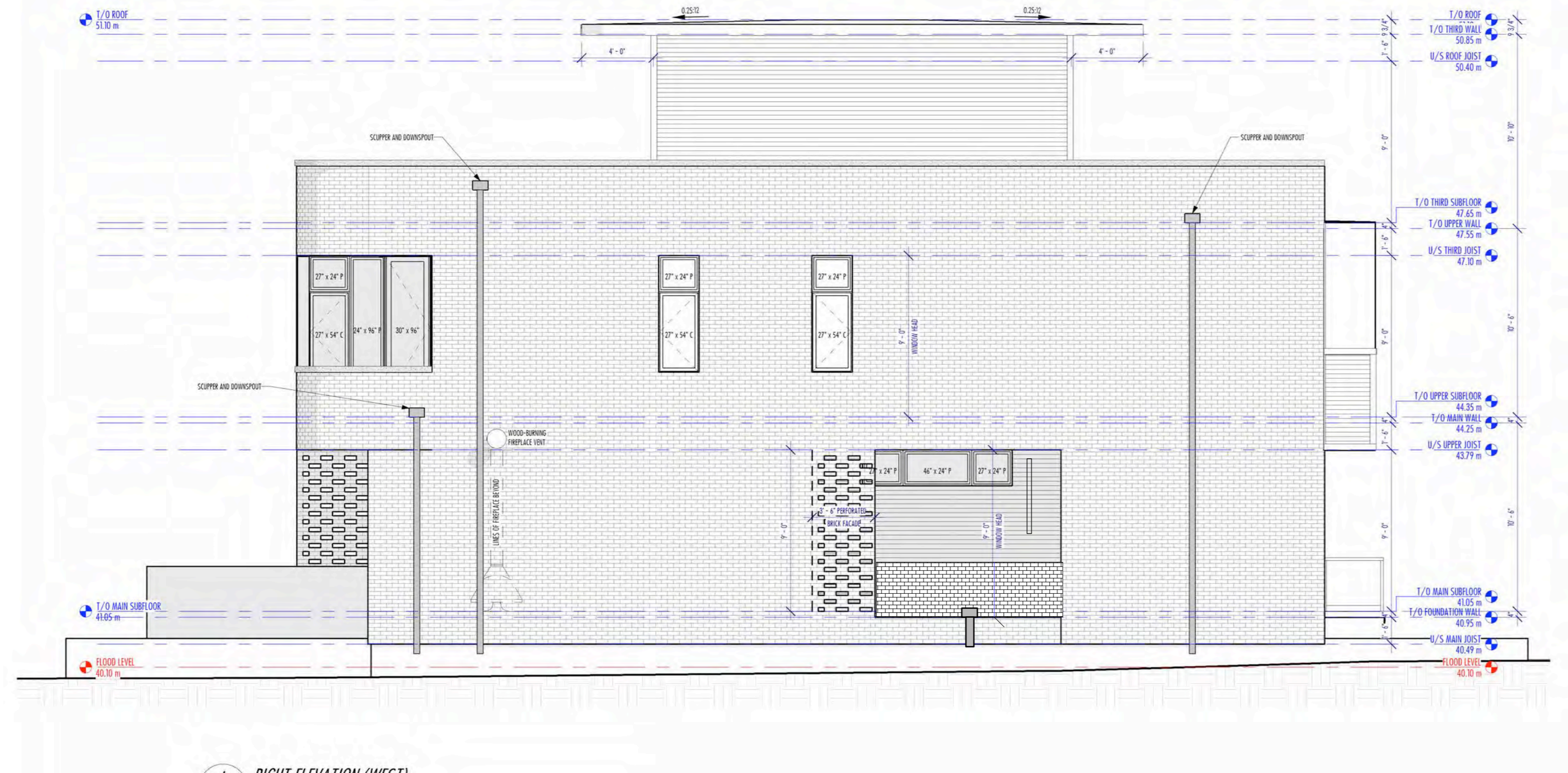
Exterior Colours
 Brick: Harbortown by Hebron
 Window and some flat panel: Metallic Copper or Bronze
 by MAC Architectural Metals
 Siding: Cedar, by MAC Architectural Metals
 Wood Screen: Cedar to match metal
 Brick Screens: to match brick siding



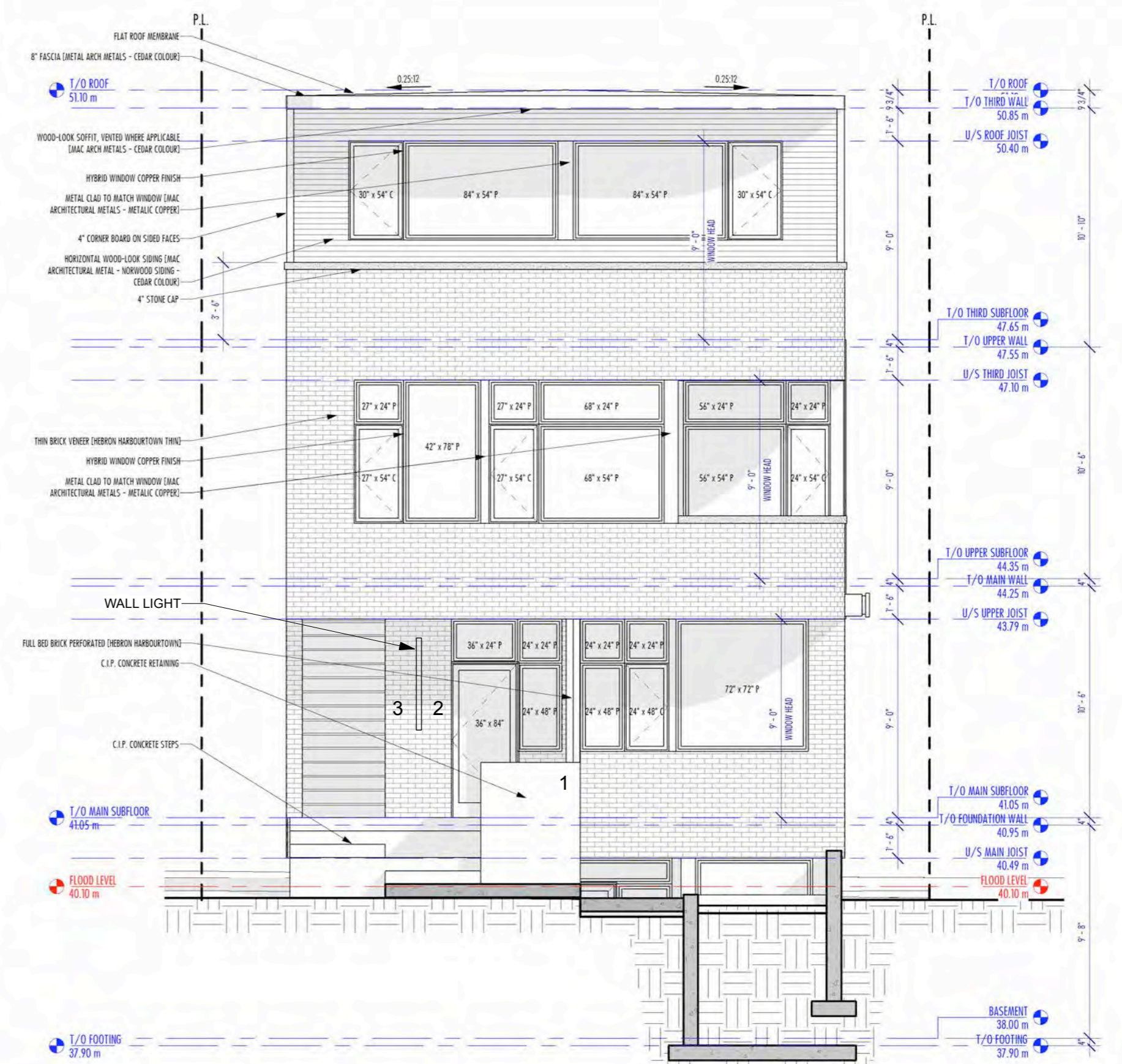
3 LEFT ELEVATION (EAST)
 A5 3/16" = 1'-0"

MATERIAL: BRICK VENEER	MATERIAL: HORIZONTAL SIDING	MATERIAL: METAL SIDING	NOTE:
HARBOR TOWN HARBOUR TOWN * THIS BRICK FOR ALL LOCATIONS ON WALLS, TOP * FULL BRICK FOR ALL PERIMETER SCREENS * FULL BRICK FOR ALL CORNER BRICK AREAS ON WALLS	MAC METAL ARCHITECTURE - HARBOR SIDING - CEDAR COLOR * 1/2" MATCHING CORNER BOARDS FOR SIDING AREAS	MAC METAL ARCHITECTURE - METAL COPPER * MATCHING EXTERIOR WINDOW FRAMA	COLORS, IN MODEL, DO NOT NECESSARILY REPRESENT ACTUAL COLOR OF PRODUCT. REFER TO SPEC, AND VISUALIZATION.

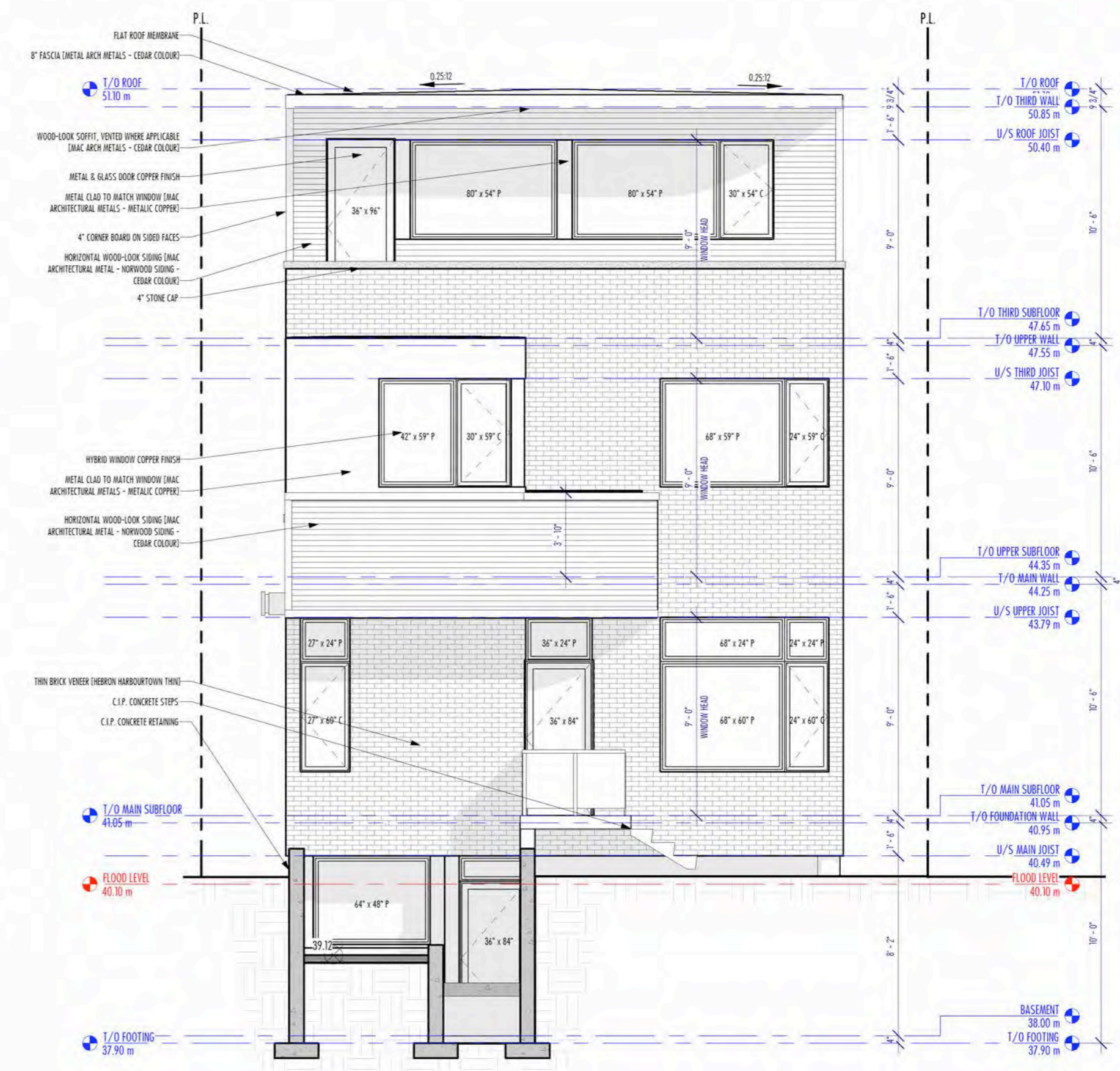
5 EXT. MATERIAL LEGEND
 A5 3/16" = 1'-0"



4 RIGHT ELEVATION (WEST)
 A5 3/16" = 1'-0"



1 FRONT ELEVATION (NORTH)
 A5 3/16" = 1'-0"



2 REAR ELEVATION (SOUTH)
 A5 3/16" = 1'-0"

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ELEVATIONS

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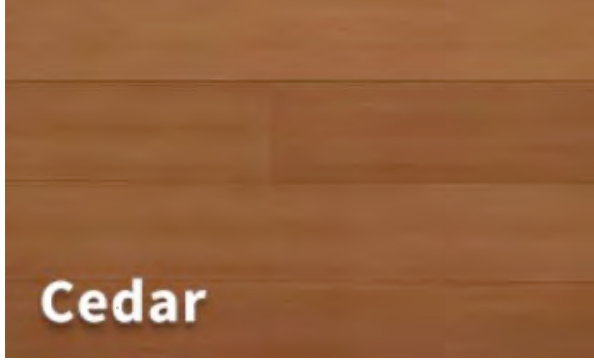
A5.1A



Brick

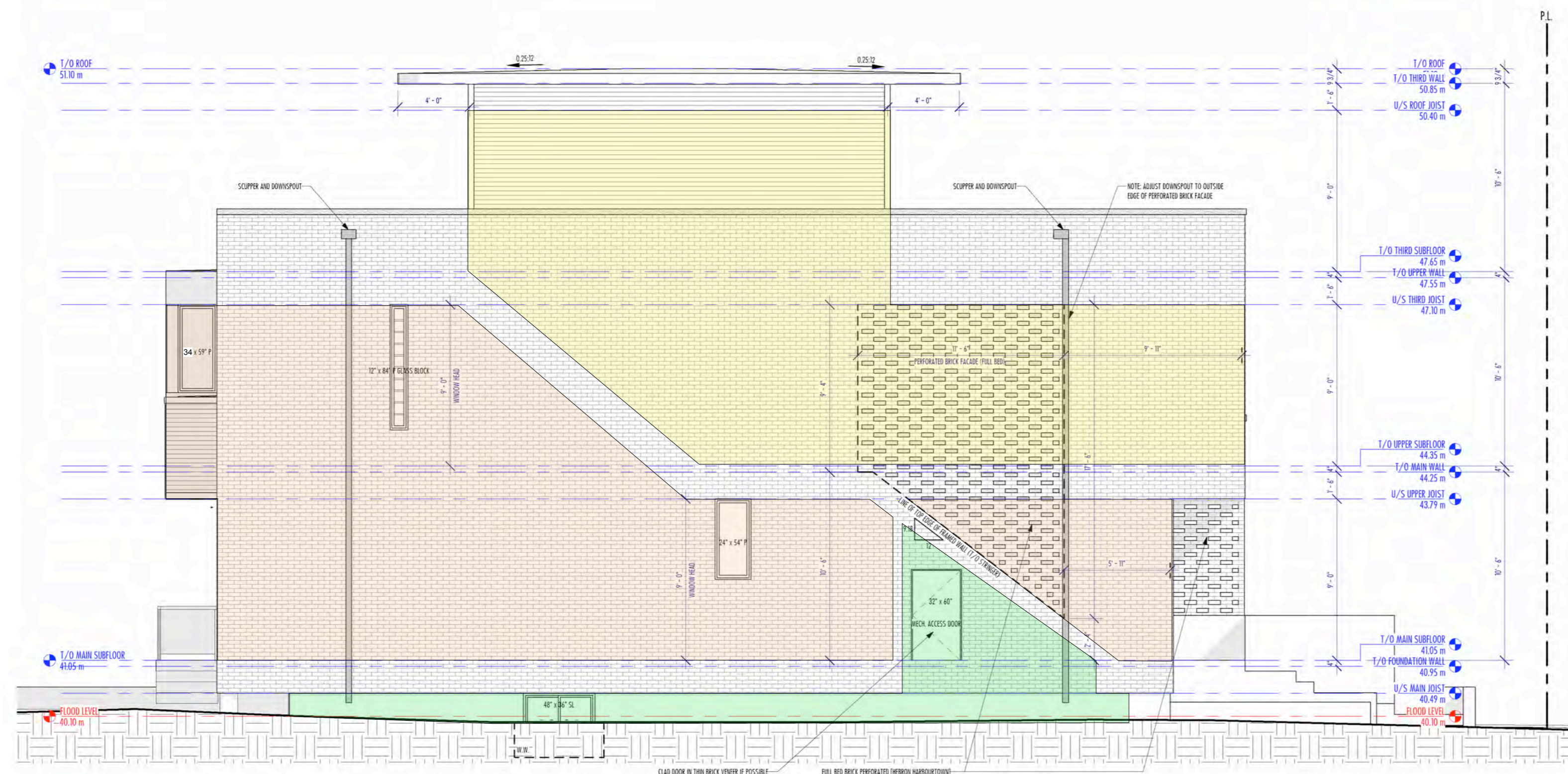


Metallic bronze or Metallic Copper



Cedar

Exterior Colours
Brick: Harbortown by Hebron
Window and some flat panel: Metallic Copper or Bronze by MAC Architectural Metals
Siding: Cedar, by MAC Architectural Metals
Wood Screen: Cedar to match metal
Brick Screens: to match brick siding



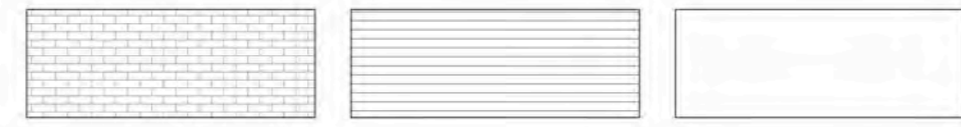
3 LEFT ELEVATION (EAST)
A5 3/16" = 1'-0"

MATERIAL BRICK TYPERS
HARBOR TOWN HARBOUR TOWN
- THIN BRICK FOR ALL LOCATIONS ON WALLS, TYP.
- FULL BED FOR ALL PERFORATED SCREENS
- FULL BED FOR ALL CEDAR BRICK AREAS ON WALLS

MATERIAL HORIZONTAL SIDING
MAC METAL ARCHITECTURE - HARBOR SIDING, CEDAR COLOR
- 1/2" MATCHING CORNER BOARDS FOR SIDING AREAS

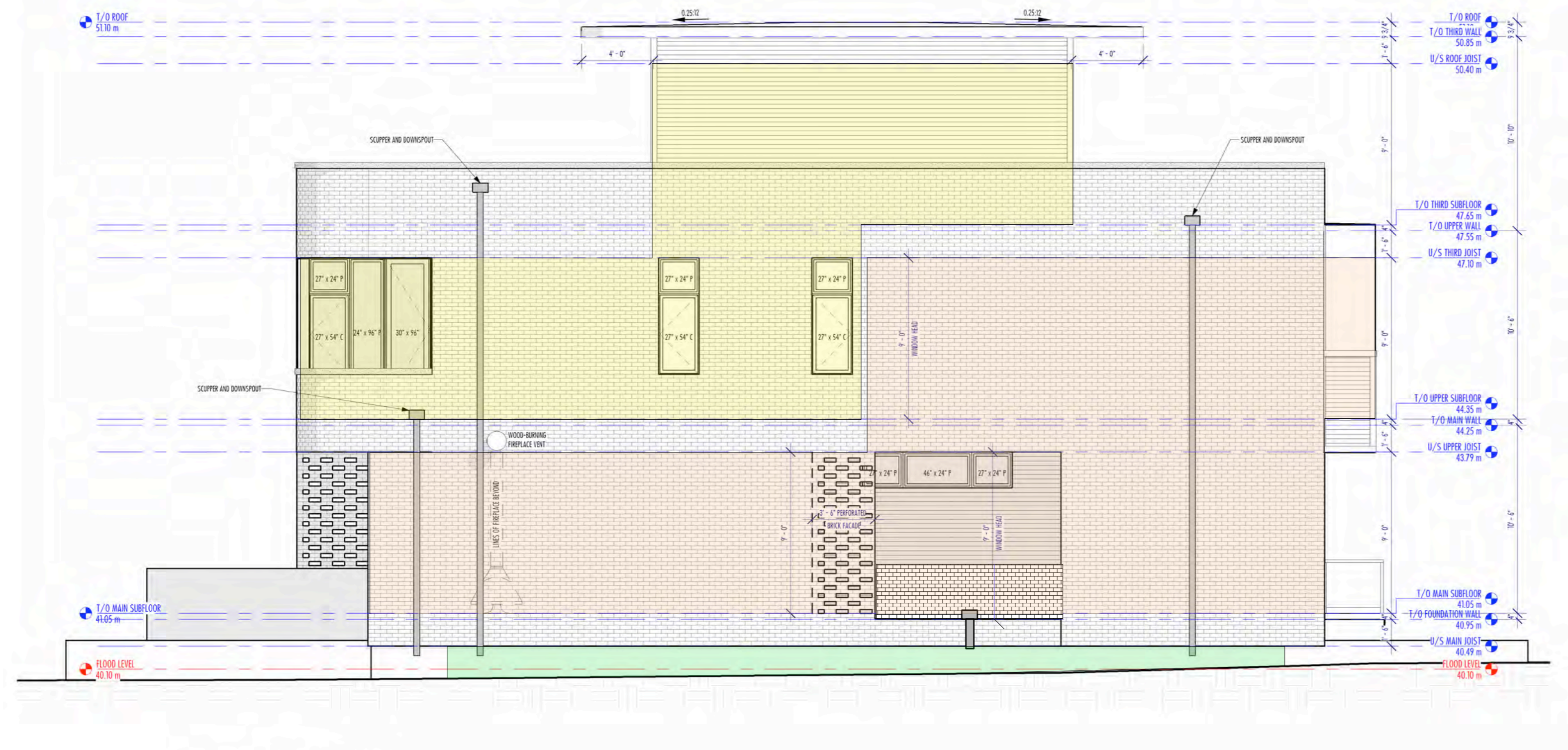
MATERIAL METAL SIDING
MAC METAL ARCHITECTURE - METAL COPPER
- MATCHING EXTERIOR WINDOW FINISH

NOTE:
COLORS, IN MODEL DO NOT NECESSARILY REPRESENT ACTUAL COLOR OF PRODUCT. REFER TO SPEC AND ADJUST VENDORING.



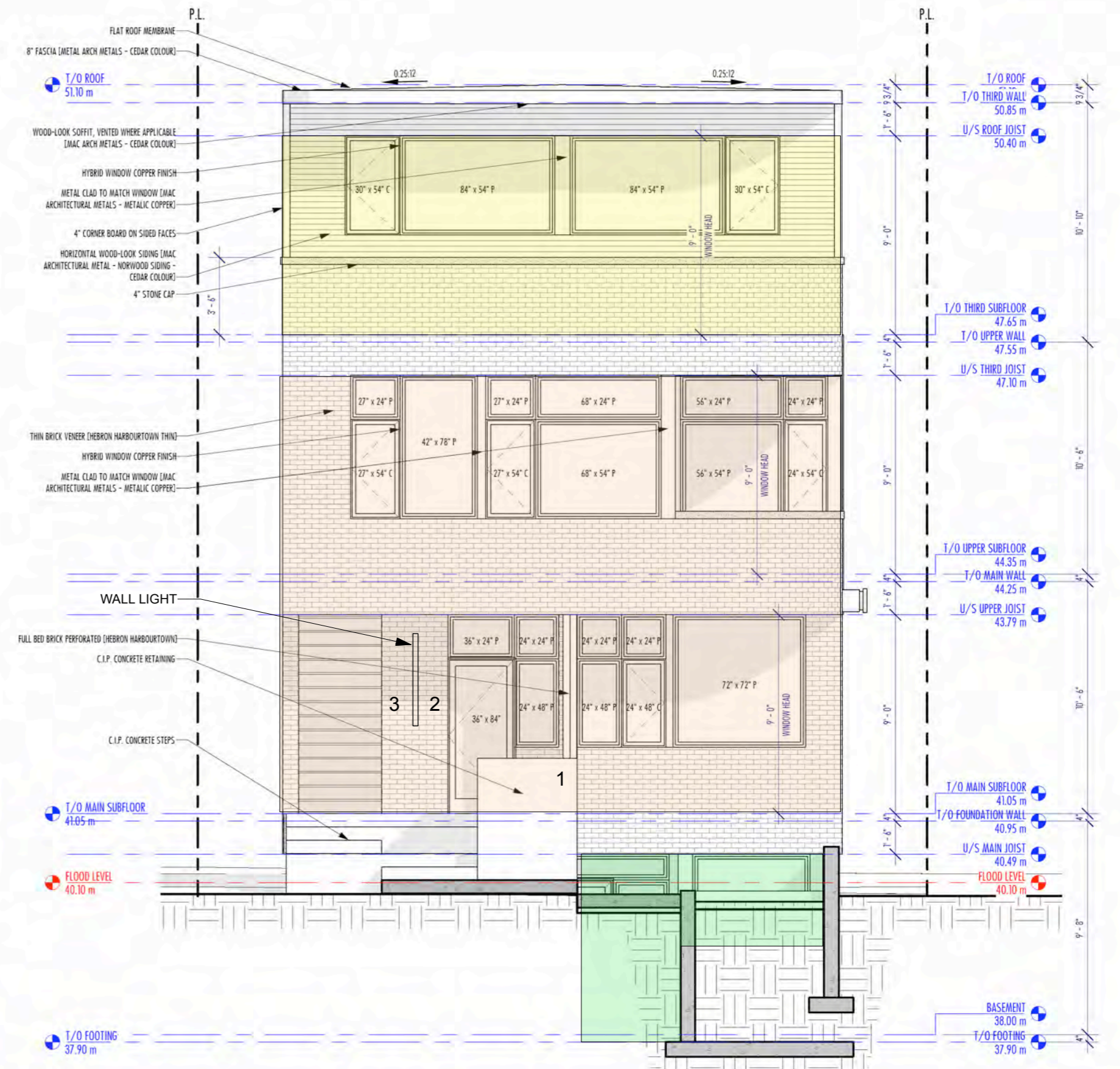
5 EXT. MATERIAL LEGEND
A5 3/16" = 1'-0"

SPATIAL SEPARATION:
UNIT 3 = 573.156 SQFT/0 SQFT OPENING = 0%
UNIT 2 = 661.6 SQFT/ 23.9 SQFT OPENING = 3.6%
UNIT 1 = 132.27 SQFT/15.3 SQFT OPENING = 11%
AT 1.2M SIDE YARD SETBACK
ENTIRE BUILDING IS SPRINKLERED = 14% ALLOWABLE OPENINGS

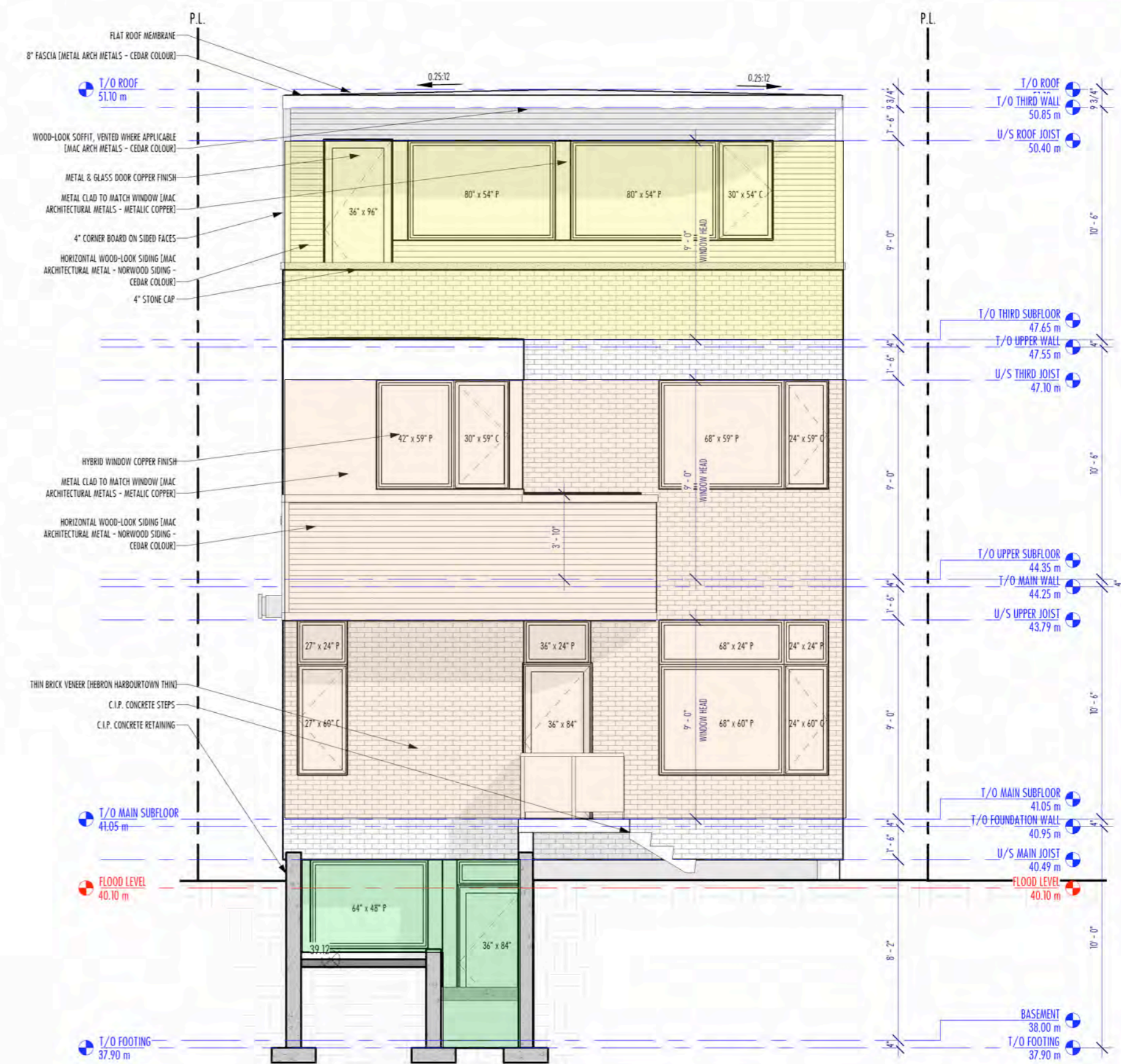


4 RIGHT ELEVATION (WEST)
A5 3/16" = 1'-0"

SPATIAL SEPARATION:
UNIT 3 = 530.875 SQFT/73.125 SQFT OPENING = 13.77%
UNIT 2 = 756.3 SQFT/ 16.6 SQFT OPENING = 2.2%
UNIT 1 = 88.20 SQFT/0 SQFT OPENING = 0%
AT 1.2M SIDE YARD SETBACK
ENTIRE BUILDING IS SPRINKLERED = 14% ALLOWABLE OPENINGS



1 FRONT ELEVATION (NORTH)
A5 3/16" = 1'-0"



2 REAR ELEVATION (SOUTH)
A5 3/16" = 1'-0"

SPATIAL SEPARATION:
UNIT 3 = 225 SQFT/84.75 SQFT OPENING = 37.66%
UNIT 2 = 495.83 SQFT/ 67.3 SQFT OPENING = 13.57%
UNIT 1 = 44.09 SQFT/44.09 SQFT OPENING = 100%
ENTIRE BUILDING IS SPRINKLERED = DOUBLE
% ALLOWABLE OPENINGS

10.5M SETBACK
5.0M SETBACK
5.6M SETBACK
SETBACKS ARE TO FACE OF GARAGE

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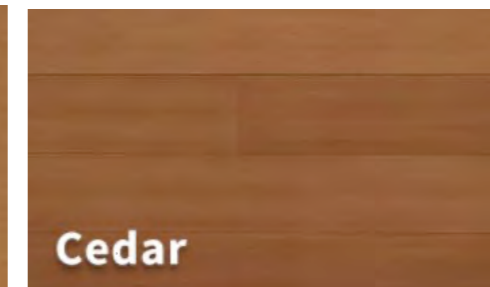
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ELEVATIONS WITH SPATIAL SEPARATIONS

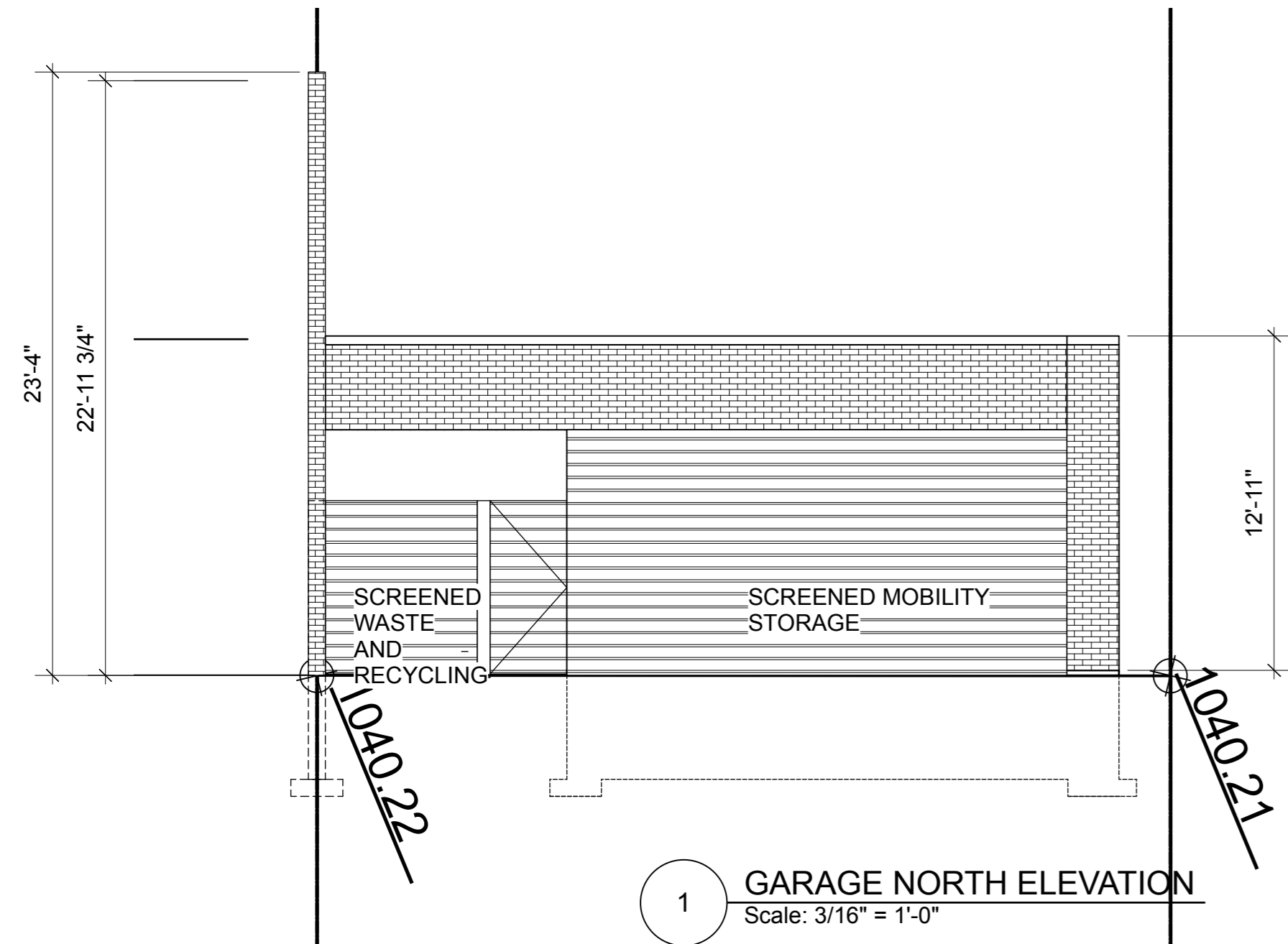
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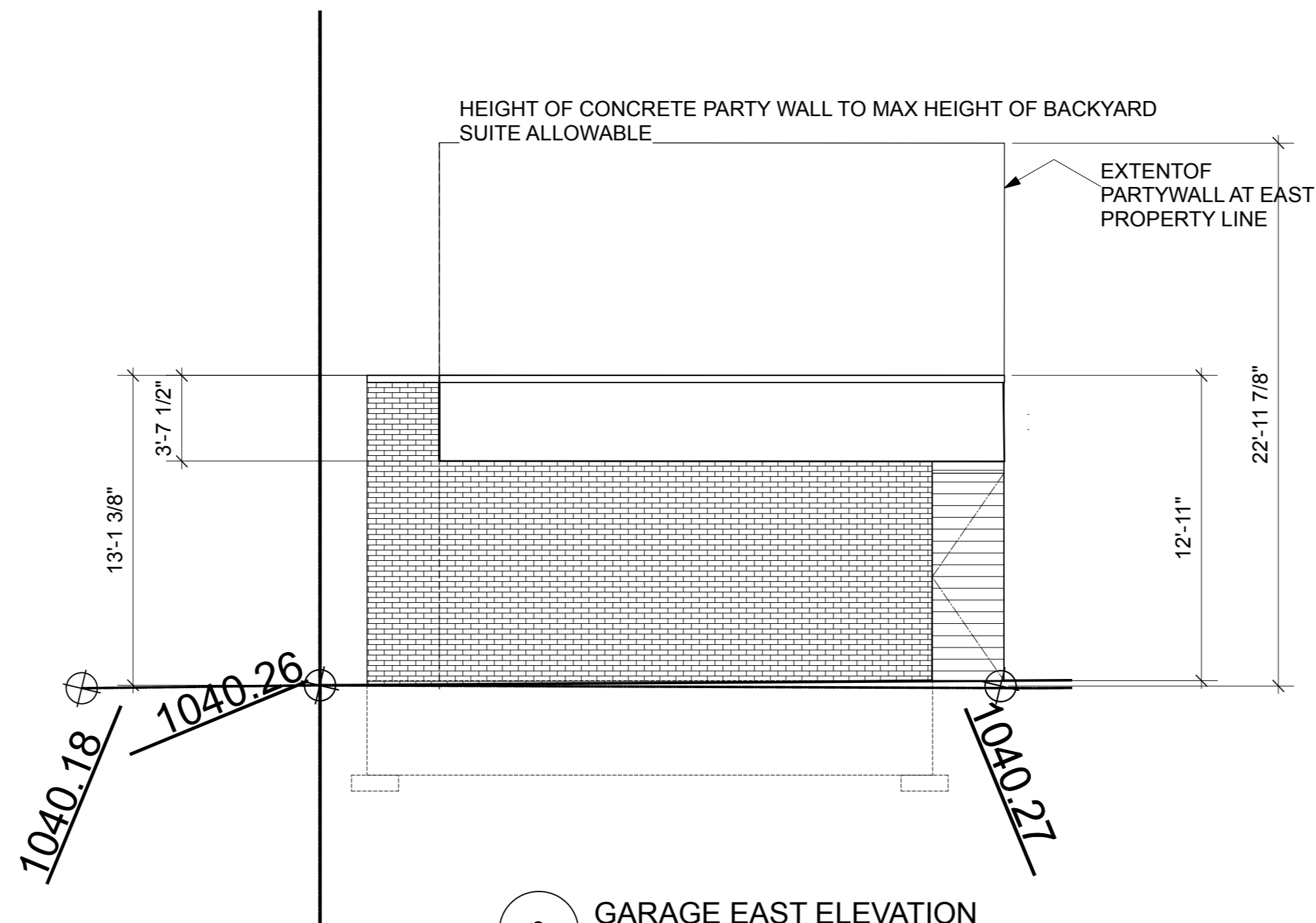
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HEIGHT OF CONCRETE PARTY WALL TO MAX HEIGHT OF BACKYARD SUITE ALLOWABLE

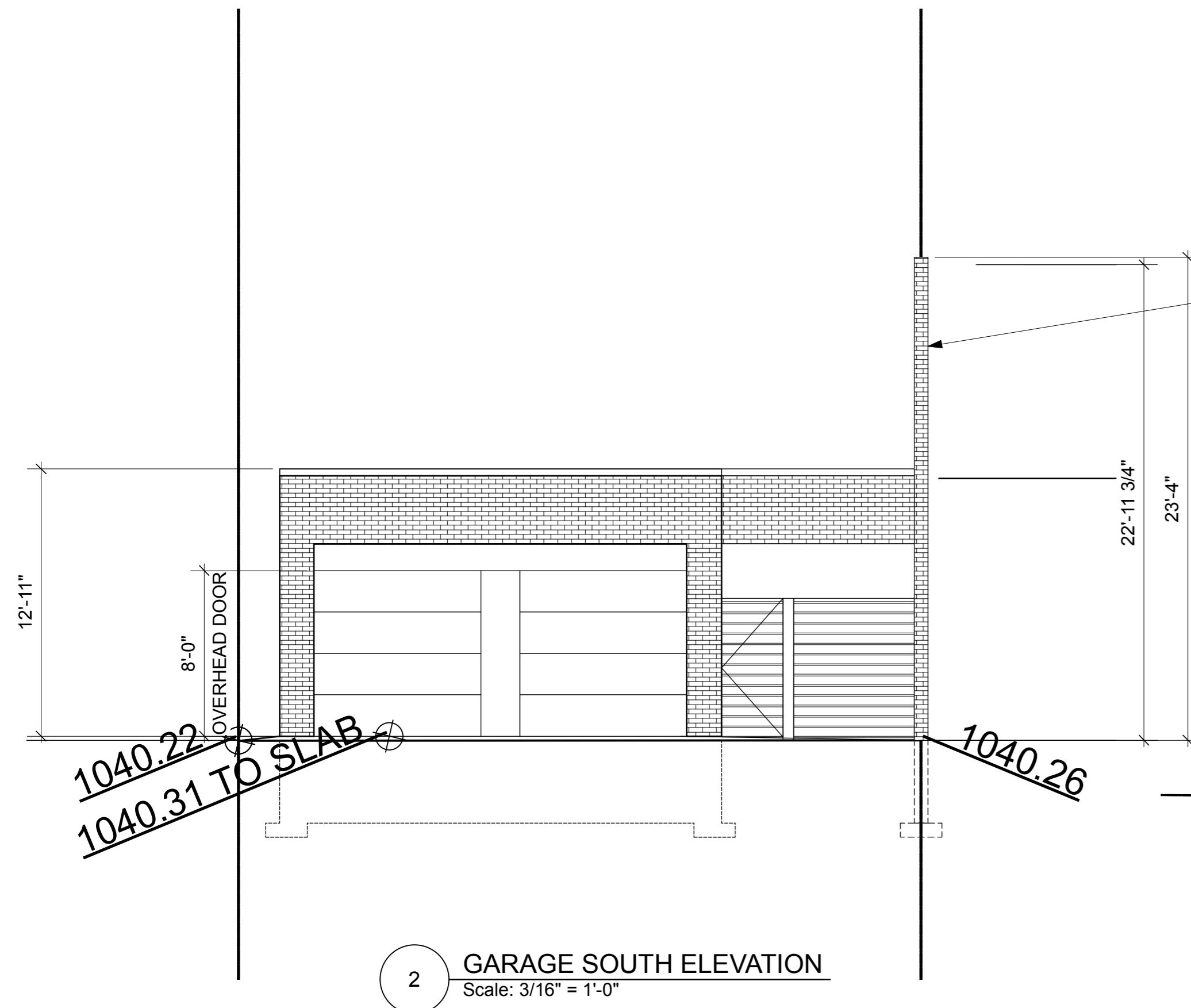


1 GARAGE NORTH ELEVATION
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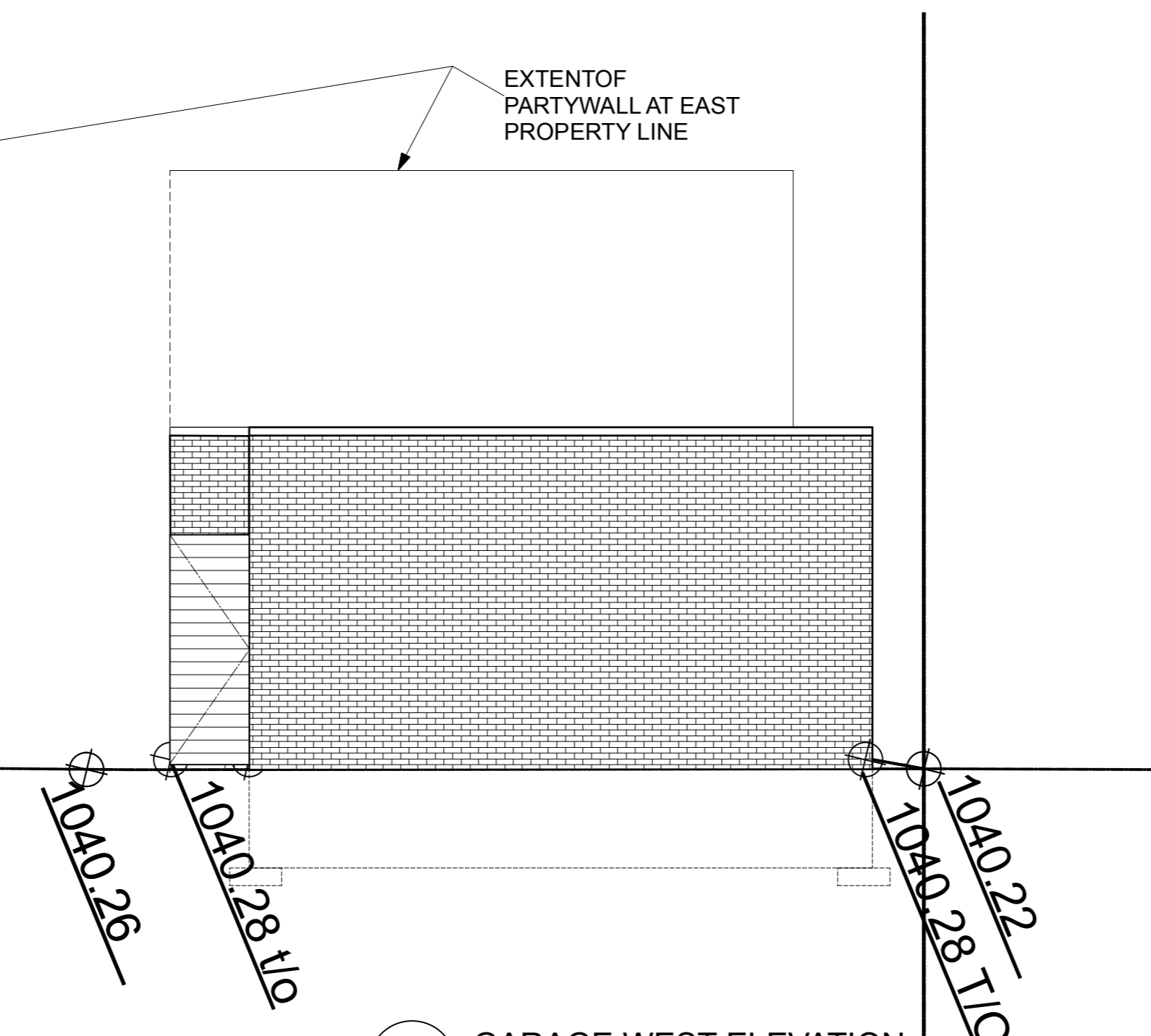


3 GARAGE EAST ELEVATION
 Scale: 3/16" = 1'-0"



2 GARAGE SOUTH ELEVATION
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EXTENT OF PARTYWALL AT EAST PROPERTY LINE



4 GARAGE WEST ELEVATION
 Scale: 3/16" = 1'-0"

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LEGAL ADDRESS: LOT 24, BLOCK 5, PLAN A3

OWNER: PRIVATE OWNER

LOT ZONING: R-CG to H-GO

PAGE: ARCH D / 36 x 24"

SCALE: As indicated

SHEET:
 GARAGE

PAGE:

A5.2