



WOLF WILLOW PARK

ARCHITECTURAL
casola-koppe
ARCHITECTS

CIVIL
Stantec

ELECTRICAL + MECHANICAL
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MECHANICAL ELECTRICAL
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LANDSCAPE
arquiecos

DRAWING LIST (DP)

ARCHITECTURAL

- DP0.0 TITLE PAGE, LIST OF CONSULTANTS, DRAWING INDEX
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- DP1.5 VEHICLE SWEEP PATHS
- DP1.6 PARKADE RAMP
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LANDSCAPE

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CIVIL

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ELECTRICAL

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REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2025-05-12	ISSUED FOR DP
2	2025-08-01	DTR #1
4	2025-08-23	DTR #2
5	2025-10-22	PTR #1
6	2026-02-13	REVISED DP SUBMISSION

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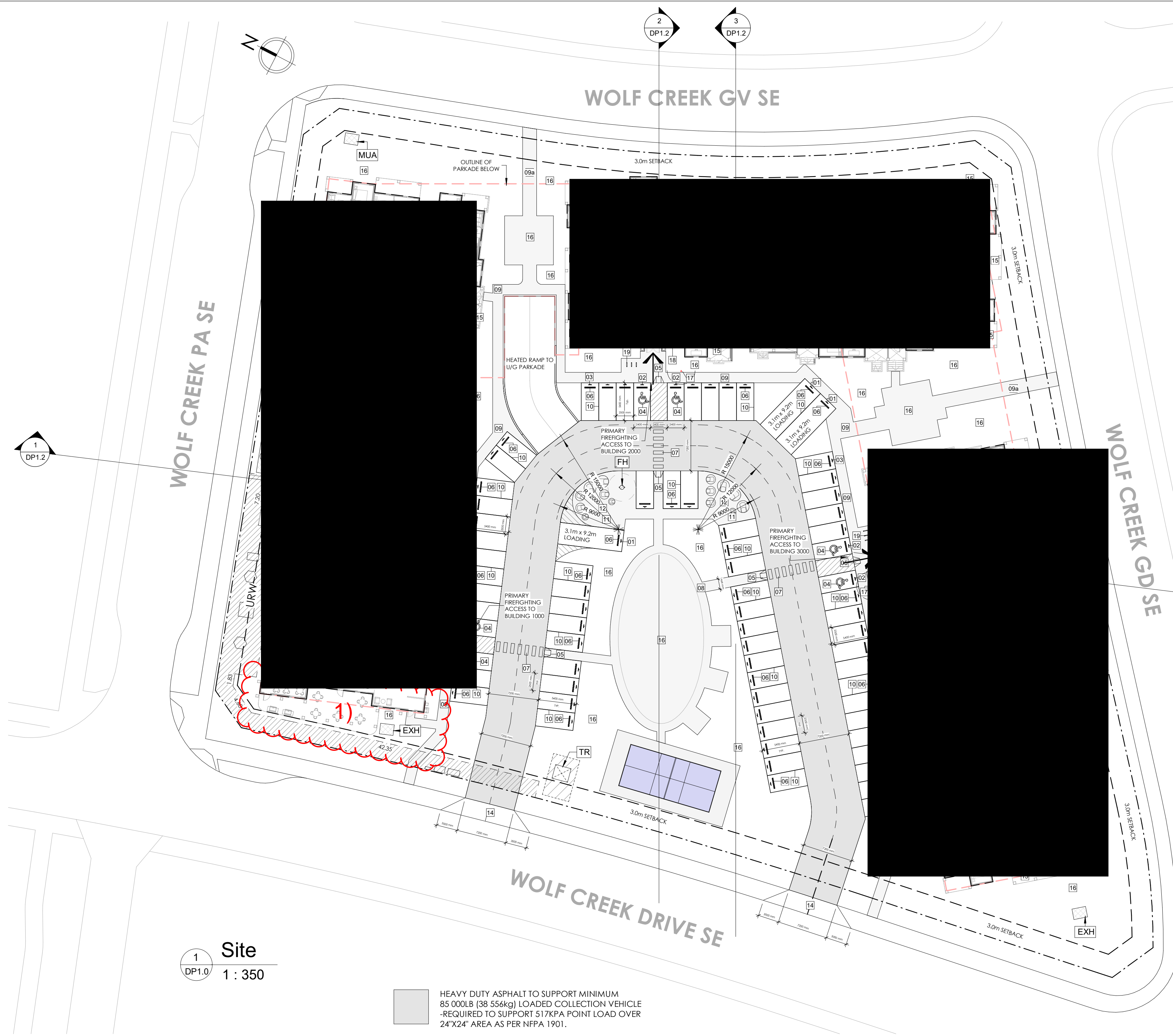
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PROJECT NAME AND ADDRESS
WOLF WILLOW PARK
418 Wolf Creek Drive SE
LOT 1 BLOCK 45 PLAN 071 2785

DRAWING
TITLE PAGE, LIST OF CONSULTANTS, DRAWING INDEX

DRAWN BY KS	JOB NO. 2502	Building Permit #
CHECKED BY SV		SHEET
ISSUE DATE (yy/mm)	2025/09	
SCALE AS NOTED	DP0.0	



1 Site
1 : 350

HEAVY DUTY ASPHALT TO SUPPORT MINIMUM 85 000LB (38 556kg) LOADED COLLECTION VEHICLE
-REQUIRED TO SUPPORT 517KPA POINT LOAD OVER 24'X24' AREA AS PER NFPA 1901.

SITE KEYNOTES	
KEYNOTE	DESCRIPTION
01	LOADING STALL SIGNAGE
02	BARRIER FREE PARKING SIGNAGE
03	TITLED STALL SIGNAGE
04	BARRIER FREE PARKING SYMBOL PAINTED ON ASPHALT
05	CURB CUT
06	WHEEL STOP
07	PAINTED CROSSWALK
08	2.0m CONCRETE PATHWAY
09	1.2m SIDEWALK - BROOM FINISH CONCRETE
09a	1.5m SIDEWALK - BROOM FINISH CONCRETE
10	100mm PAINTED PARKING LINES

SITE KEYNOTES	
KEYNOTE	DESCRIPTION
11	CONCRETE PAD FOR MOLOK BINS
12	WASTE & RECYCLING AREA
13	M-5000 BIN FOR RECYCLING
14	CONCRETE DRIVEWAY (SEE CIVIL FOR DETAILS)
15	AT GRADE UNIT PATIO
16	REFER TO LANDSCAPE DRAWINGS
17	SIAMESE CONNECTION
18	LOCKBOX
19	CLASS 2 BICYCLE STALLS
20	FIRE ALARM PANEL
21	3.0 MULTI-USE PATHWAY
TR	TRANSFORMER

PROJECT INFORMATION & ZONING COMPLIANCE TABLE

(CALGARY ZONING BYLAW NO. 1P 2007)

SITE ADDRESS:	418 Wolf Creek Drive SE
SITE LEGAL ADDRESS:	LOT 1 BLOCK 45 PLAN 0712785
ZONING:	M-2 Multi-Residential - Medium Profile District
SITE AREA:	1.18 Hectares / 2.91 acres / 11809.08 m ²
DENSITY:	193 units = 163.56 UPH / 66.32 UPA
PROPOSED DEVELOPMENT:	(3) MULTI-FAMILY RESIDENTIAL BUILDINGS / WOOD FRAME / NEW CONSTRUCTION / 4-STORY WITH SINGLE STOREY U/G PARKADE
BUILDING GFA:	Building 1000 : 6344.97 m ² Building 2000 : 5196.30 m ² Building 3000 : 5196.30 m ²
Total GFA:	16737.57 m ²
F.A.R.:	16737.57 m ² / 11809.08 m ² = 1.42
BUILDING HEIGHT:	MAX. 16.0m HEIGHT AT HIGHEST ROOF: 16.5m
PARKING REQ:	RESIDENT PARKING REQUIRED: 193 UNITS (0.625 STALLS / DWELLING UNIT) = 121 STALLS BARRIER FREE PARKING REQUIRED: N.B.C. (AE) 2023: 4 FOR 51-100 STALLS, 1 STALL FOR EACH ADDITIONAL 100 STALLS = 5 STALLS LOADING STALLS REQUIRED: 1 LOADING STALL REQUIRED PER BUILDING OF 20 UNITS OR MORE = 3 STALLS TOTAL PARKING STALLS REQUIRED: 126 (+3 LOADING)
PARKING PROVIDED:	PARKING STANDARDS RESIDENT STALLS = 2.5m x 5.4m BARRIER FREE STALLS = 2.6m x 5.4m LOADING STALLS = 3.1m x 9.2m 90° PARKING = 7.2m DRIVE AISLE 153 UNDERGROUND STALLS 70 SURFACE DWELLING (INCLUDING 6 BARRIER FREE) TOTAL PROVIDED = 223 STALLS 3 LOADING STALLS TOTAL PROVIDED = 3
BICYCLE PARKING	CLASS 1: 193 UNITS (1.0/UNIT) = 193 STALLS 223 BIKE CAGES PROVIDED U/G CLASS 2: 193 UNITS (0.11/UNIT) = 20 STALLS 20 PROVIDED AT SURFACE
STREET SETBACKS:	Min. 3.0m 3.0m @ NORTH, EAST, WEST, AND SOUTH PROPERTY LINE
LANDSCAPED AREA:	40% of site area 40.84% PROVIDED
WASTE & RECYCLING:	(193 UNITS) X 0.24m ³ = 46.32m ³ 15 MOLOK BINS PROVIDED: 5 X M-5000 RECYCLE BINS @ 5m ³ /BIN = 25m ³ 6 X M-3000 WASTE BINS @ 3m ³ /BIN = 18m ³ 3 X M-1300 ORGANICS BINS @ 1.3m ³ /BIN = 3.9m ³ TOTAL PROVIDED = 46.9m ³

- A. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
- B. REFER TO LANDSCAPE DRAWINGS FOR ALL MATERIALS SPECIFIC TO LANDSCAPING
- C. REFER TO ELECTRICAL FOR SITE LIGHTING LAYOUT
- D. ALL PARKING STALLS AND DRIVEWAYS SHALL NOT HAVE ANY GRADES GREATER THAN 4%
- E. ALL PATIOS TO PROVIDE MIN. 5 SQM OF AMENITY SPACE AND HAVE NO DIMENSION LESS THAN 2.0M
- F. PARKING STALLS TO BE:
2500mm x 5400mm - RESIDENT STALLS
2800mm x 5400mm - VISITOR STALLS
- G. ALL BARRIER-FREE STALLS TO BE: 3700mm x 5400mm
- H. ALL STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
- I. WASTE & RECYCLING - PRIVATE EARTH BIN PICK-UP
- J. ALL LOADING STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
- K. ALL LOADING STALLS SURFACE - HEAVY DUTY ASPHALT
- L. ALL SIDEWALKS 1200MM WIDE - TYPICAL
- M. ALL VISITORS PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
- N. ALL BARRIER FREE PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
- O. ALL DEVELOPMENT ON SITE IS PROPOSED
- P. SEE CIVIL DRAWINGS FOR LOCATIONS OF ALL CATCH BASINS, UTILITY POLES AND GUY WIRES
- Q. EMERGENCY ACCESS TO BE CONSTRUCTED TO SUPPORT 85000LBS AND TO BE MAINTAINED CLEAR OF ICE AND SNOW
- R. ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE / APPROACH AREA / CONCRETE PADS / CONCRETE APRONS / PARKING STRUCTURES ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM WEIGHT OF 85,000 LBS/38,556 KG

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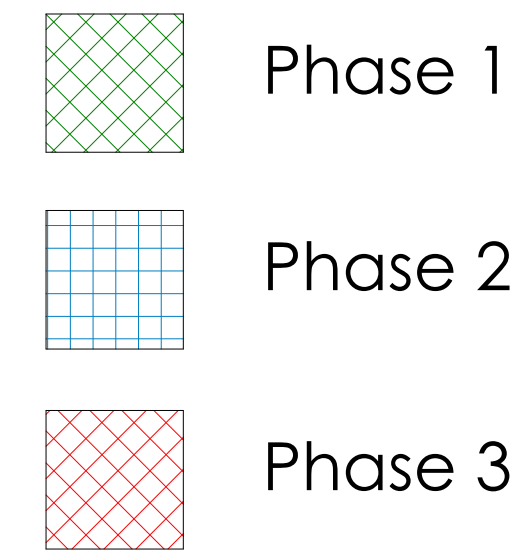
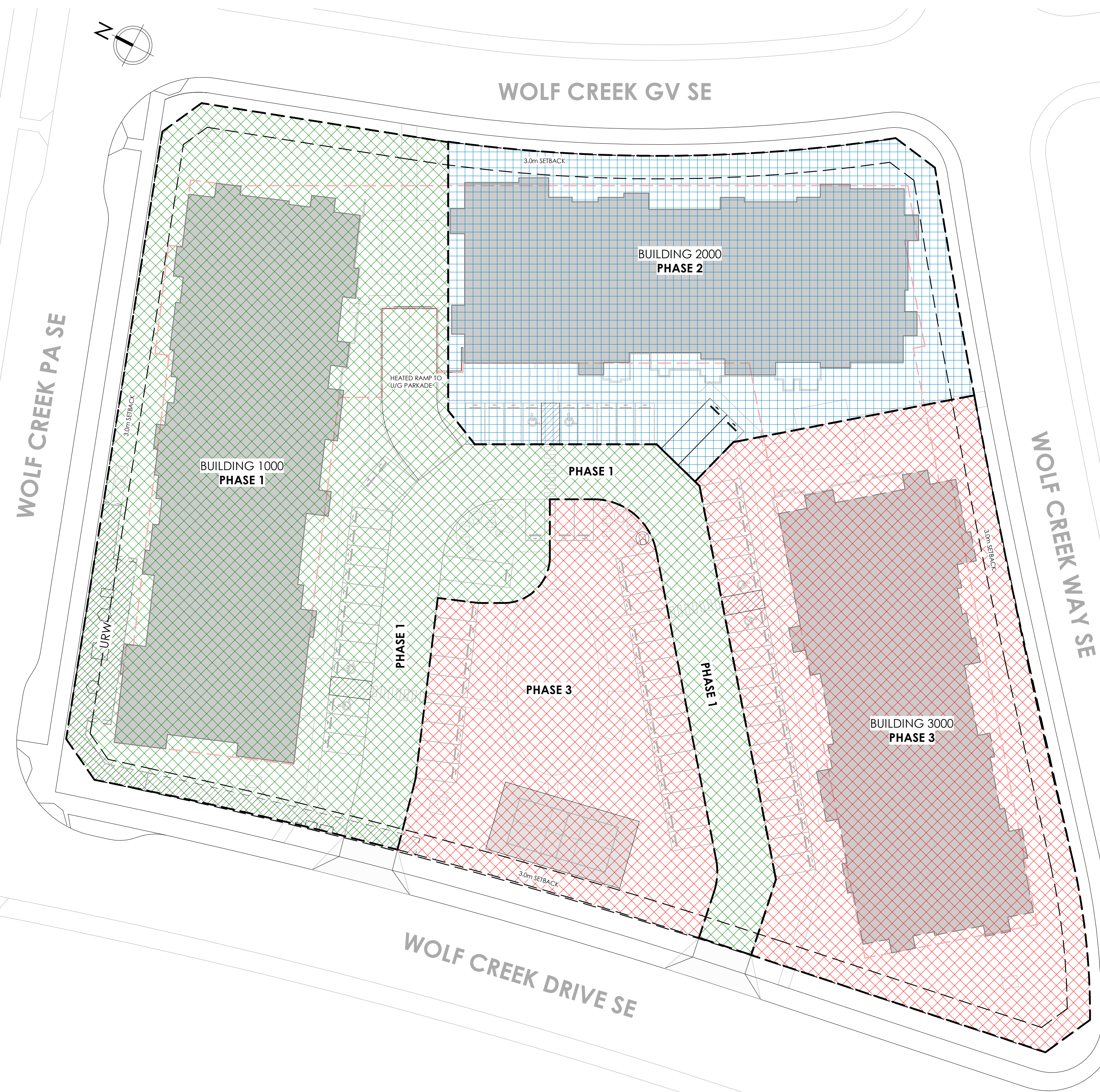
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418 Wolf Creek Drive SE
LOT 1 BLOCK 45 PLAN 071 2785

DRAWING
SITE PLAN

DRAWN BY KS	JOB NO. 2502	Building Permit #
CHECKED BY SV		SHEET
ISSUE DATE (yy/mm/dd) 2025/09		
SCALE AS NOTED		

DP1.0

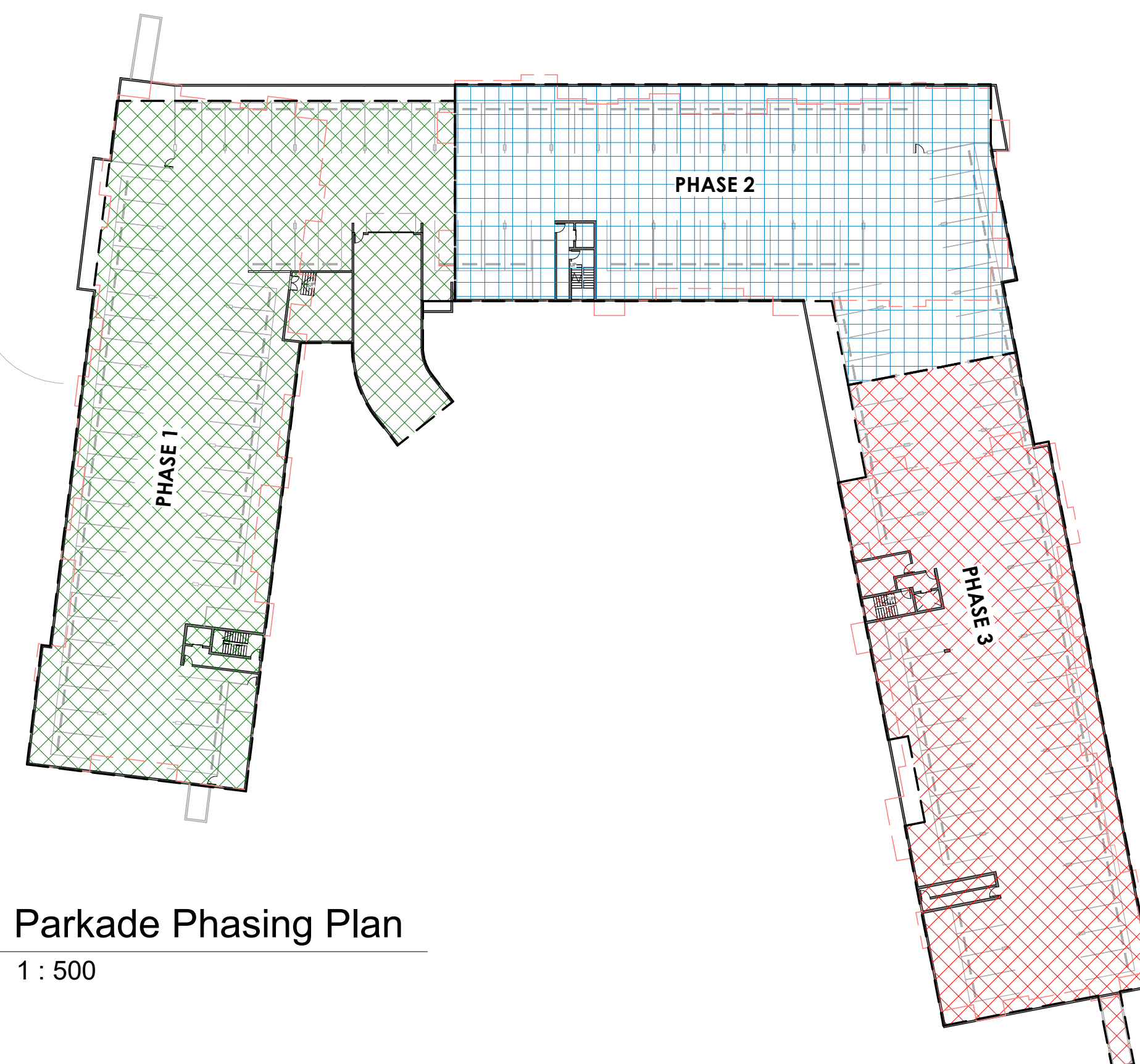


PHASING LEGEND:

- PHASE 1:**
- DEEP SERVICES AND CONNECTION TO EXISTING SERVICES
 - ROADWAY, DRIVEWAYS, WALKWAYS AND SIDEWALKS
 - WASTE, RECYCLING, AND ORGANICS EARTH BINS
 - PARKING
 - BUILDING 1000 AND CORRESPONDING PART OF PARKADE
 - LANDSCAPING SPECIFIC TO BUILDING 1000

- PHASE 2:**
- BUILDING 2000 AND CORRESPONDING PART OF PARKADE
 - DRIVEWAYS, WALKWAYS AND SIDEWALKS
 - PARKING
 - LANDSCAPING SPECIFIC TO BUILDING 2000

- PHASE 3:**
- BUILDING 3000 AND CORRESPONDING PART OF PARKADE
 - DRIVEWAYS, WALKWAYS AND SIDEWALKS
 - PARKING
 - LANDSCAPING SPECIFIC TO BUILDING 3000



2
DP1.1
Parkade Phasing Plan
1 : 500

1
DP1.1
Site Phasing Plan
1 : 350

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418 Wolf Creek Drive SE
LOT 1 BLOCK 45 PLAN 071 2785

DRAWING
SITE PHASING PLAN

DRAWN BY KS	JOB NO. 2502	Building Permit #
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2025/09		DP1.1
SCALE AS NOTED		



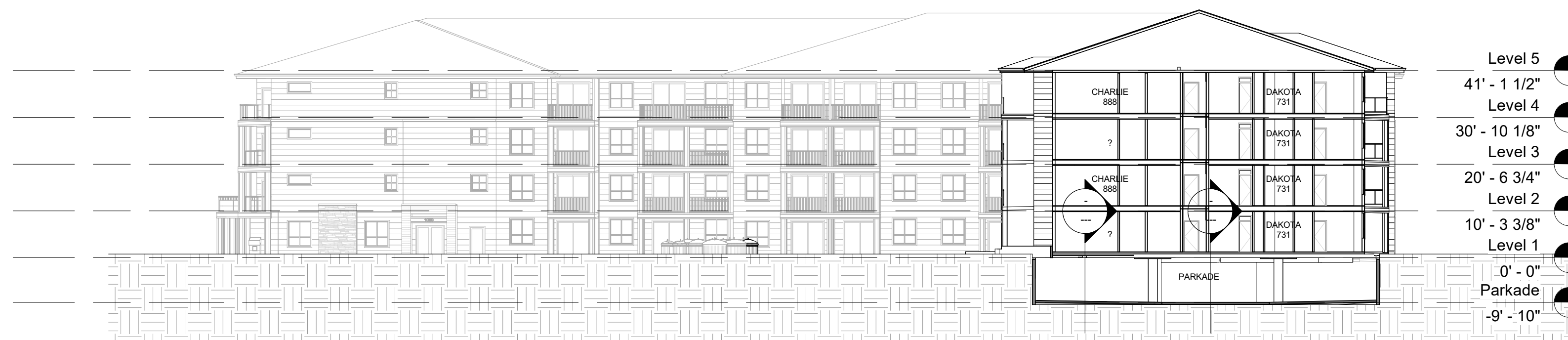
- T.O. ROOF
54' - 1 7/8"
- ROOF
39' - 4 3/8"
Level 4
- 30' - 5 1/8"
Level 3
- 20' - 3 1/2"
Level 2
- 10' - 1 3/4"
Level 1
- 0"
PARKADE
- 9' - 0"

1 SITE SECTION 1
1 : 250



- T.O. ROOF
54' - 1 7/8"
- ROOF
39' - 4 3/8"
Level 4
- 30' - 5 1/8"
Level 3
- 20' - 3 1/2"
Level 2
- 10' - 1 3/4"
Level 1
- 0"
PARKADE
- 9' - 0"

2 SITE SECTION 2
1 : 250



- Level 5
41' - 1 1/2"
- Level 4
30' - 10 1/8"
- Level 3
20' - 6 3/4"
- Level 2
10' - 3 3/8"
- Level 1
0' - 0"
- Parkade
-9' - 10"

3 SITE SECTION 3
1 : 250

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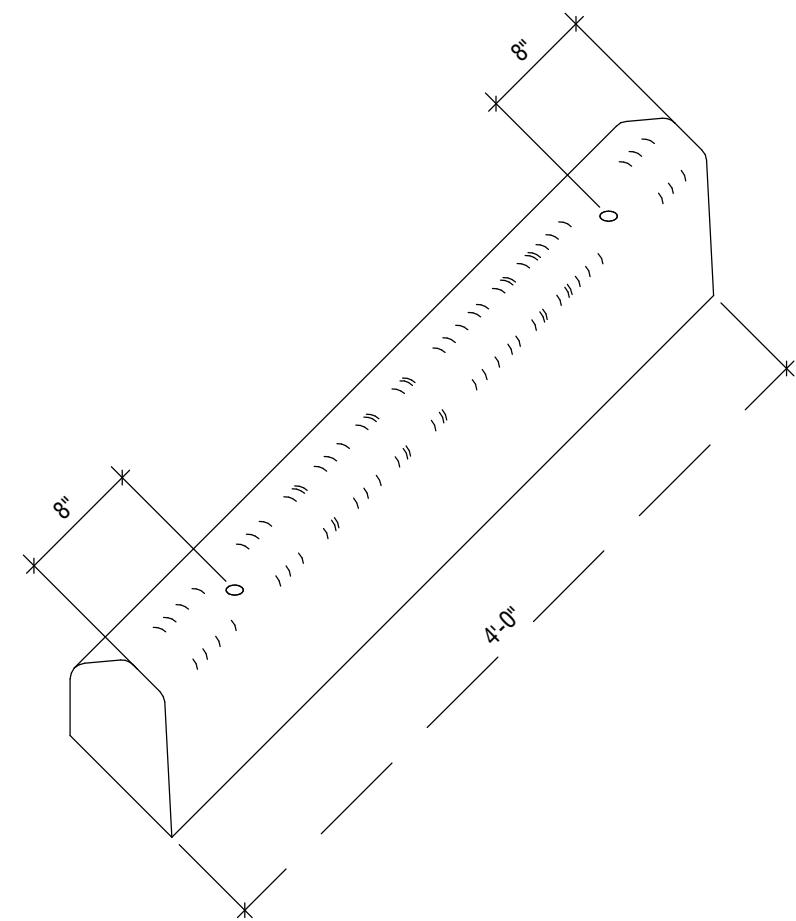
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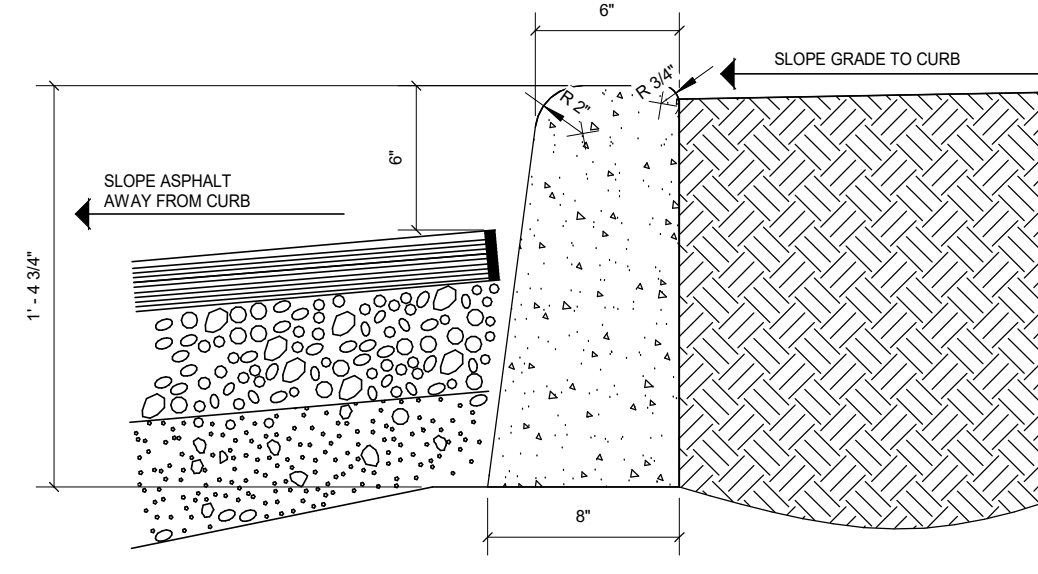
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418 Wolf Creek Drive SE
LOT 1 BLOCK 45 PLAN 071 2785

DRAWING
SITE SECTIONS

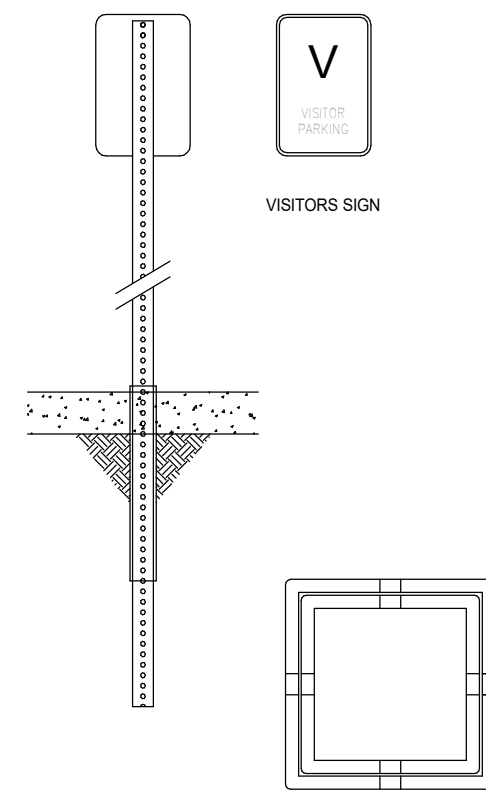
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SCALE AS NOTED	DP1.2	



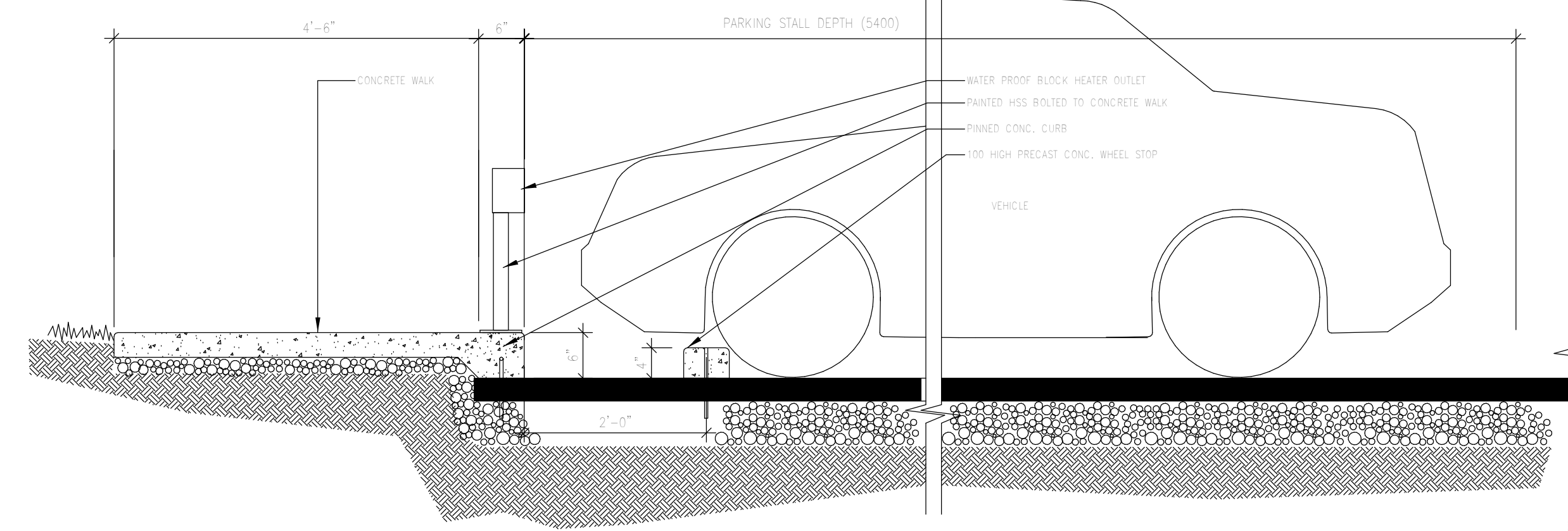
3 DP1.3 RUBBER WHEEL STOP
1" = 1'-0"



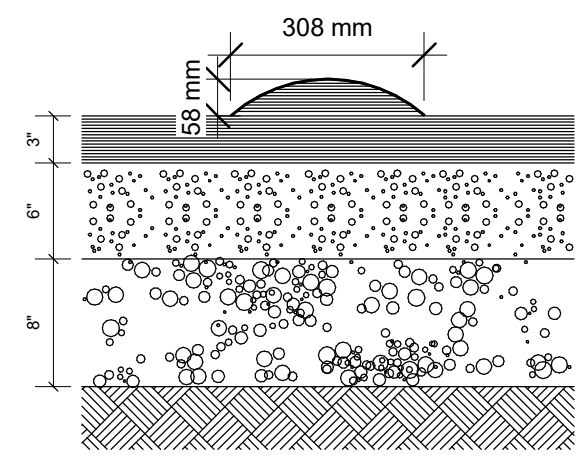
11 DP1.3 CONCRETE CURB DETAIL
1 1/2" = 1'-0"



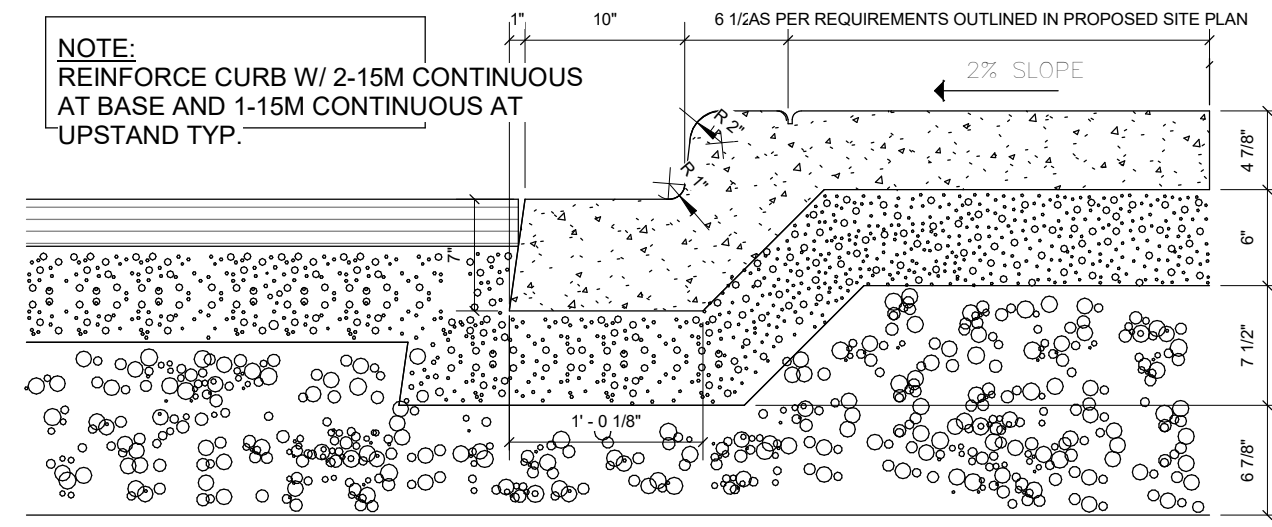
14 DP1.3 VISITOR SIGNAGE
1/2" = 1'-0"



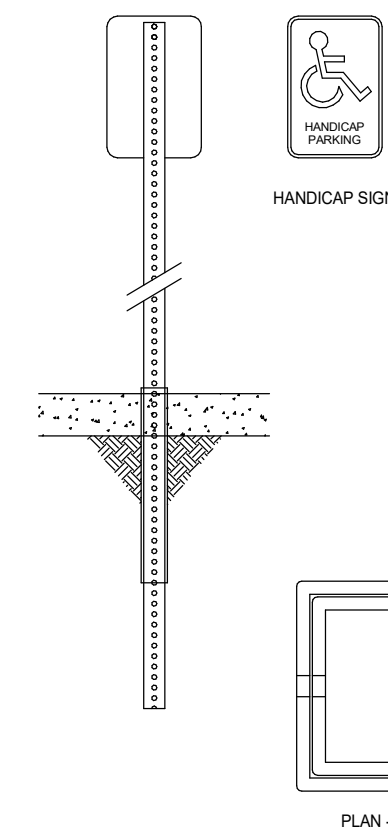
16 DP1.3 PARKING STALL DETAIL
3/4" = 1'-0"



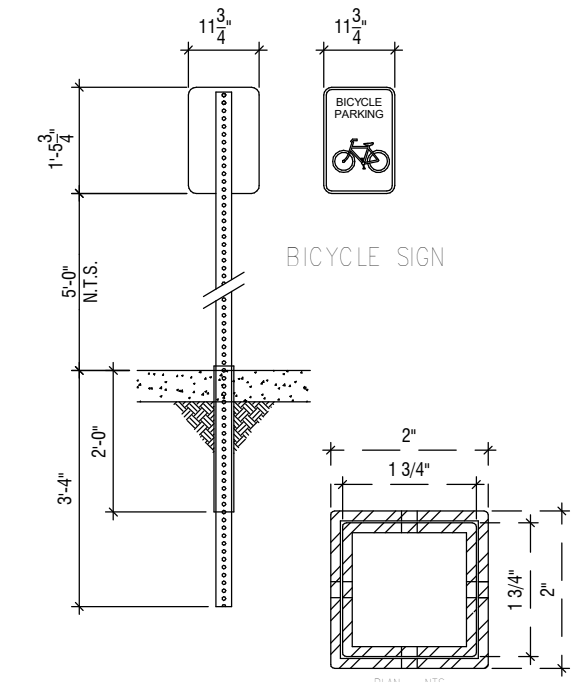
4 DP1.3 SPEED BUMP DETAIL
1" = 1'-0"



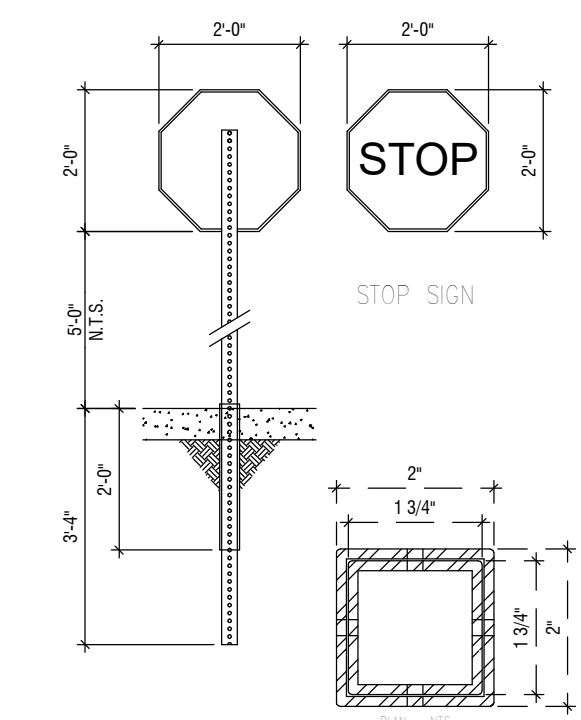
12 DP1.3 CURB DETAIL AT SIDEWALK
1" = 1'-0"



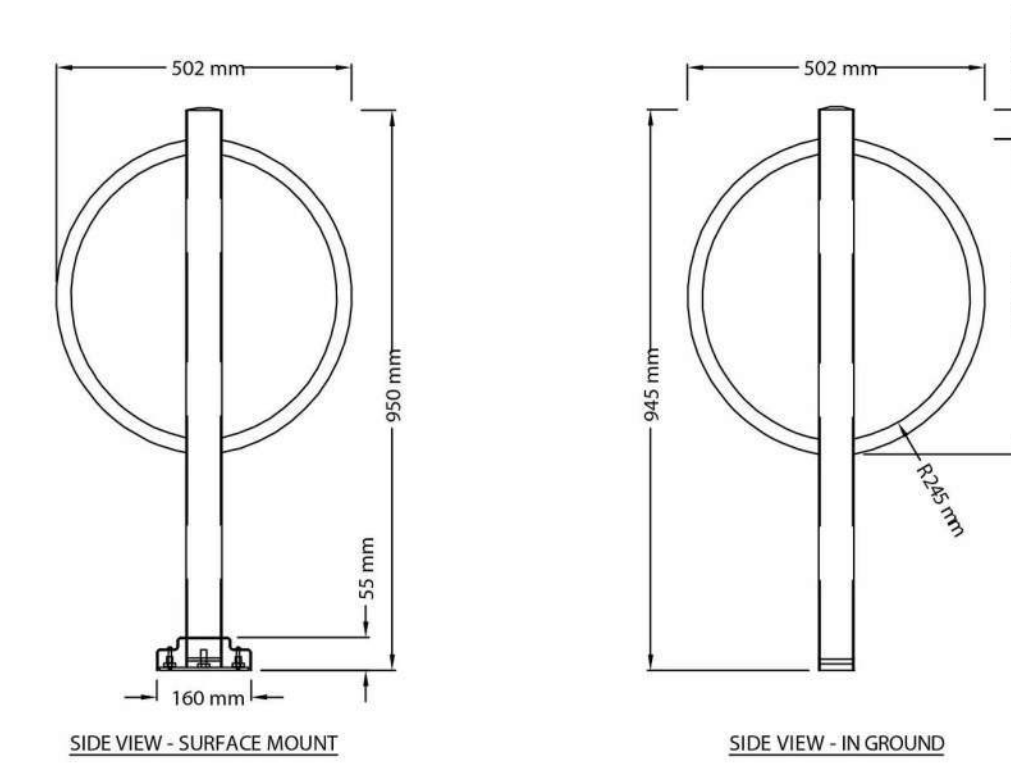
9 DP1.3 BARRIER FREE SIGNAGE
1/2" = 1'-0"



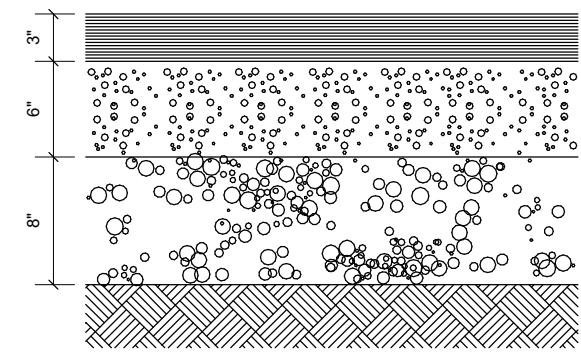
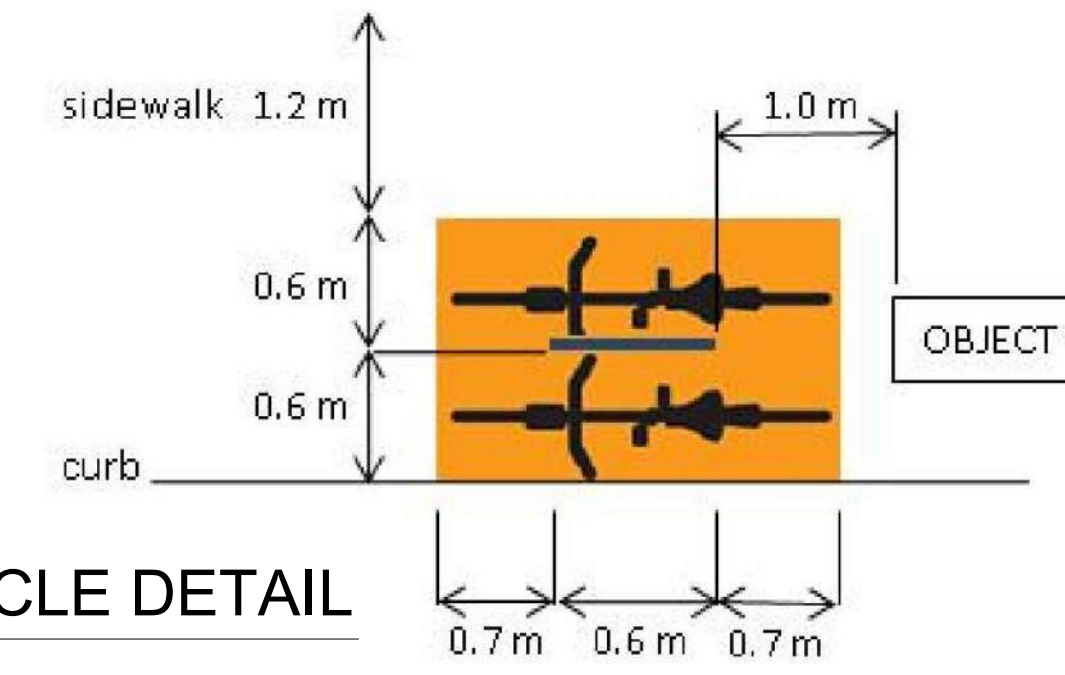
10 DP1.3 BICYCLE SIGNAGE
3/8" = 1'-0"



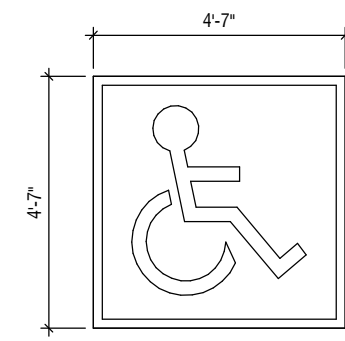
15 DP1.3 STOP SIGN SIGNAGE
3/8" = 1'-0"



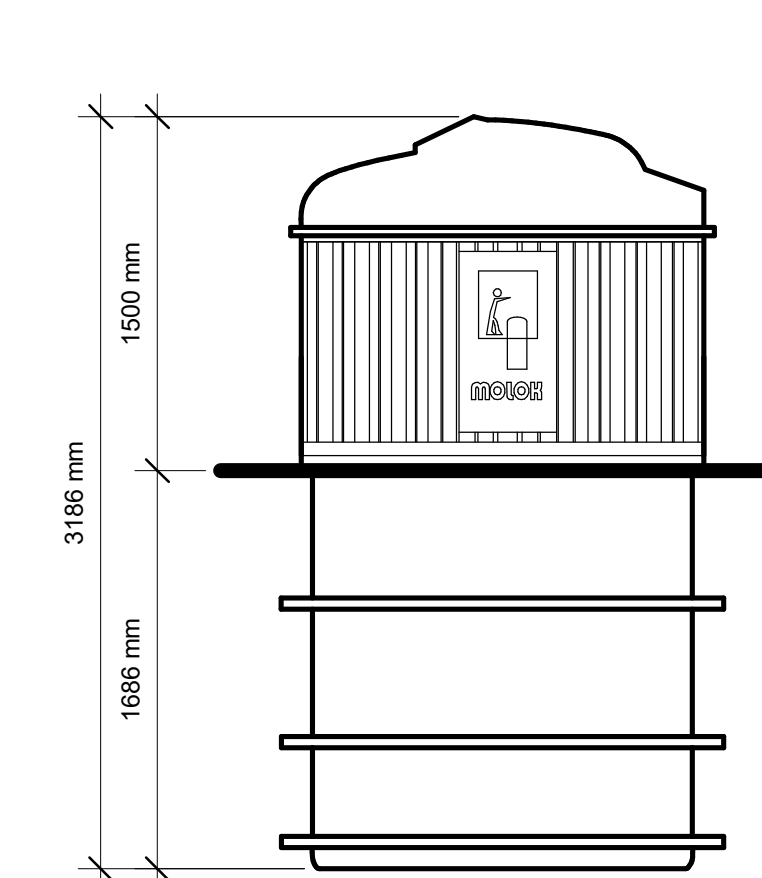
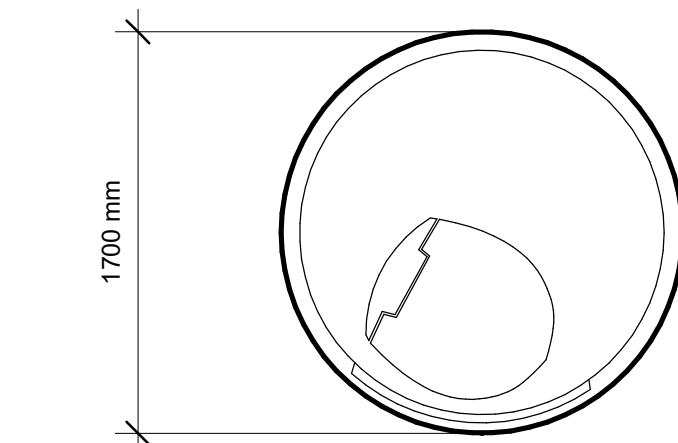
17 DP1.3 CLASS 2 BICYCLE DETAIL
3/8" = 1'-0"



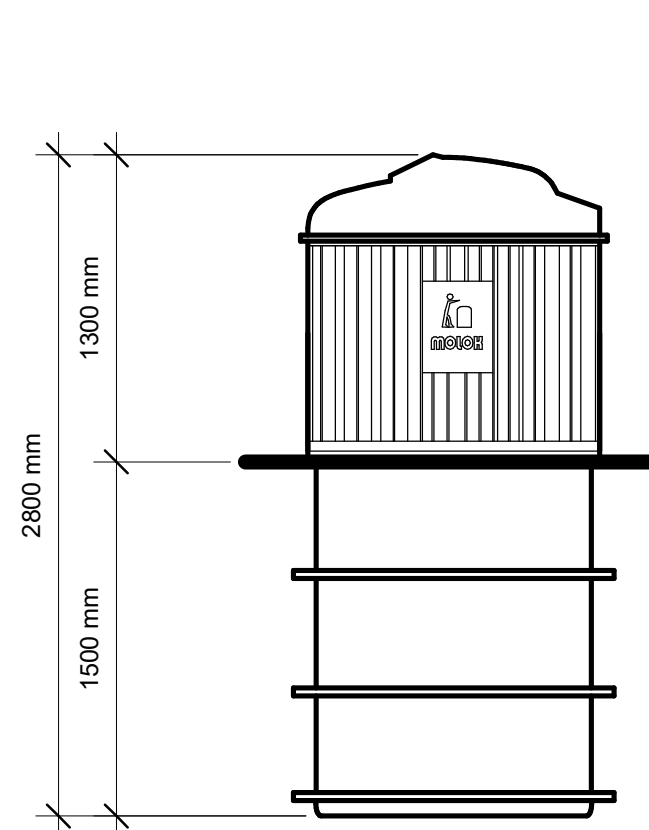
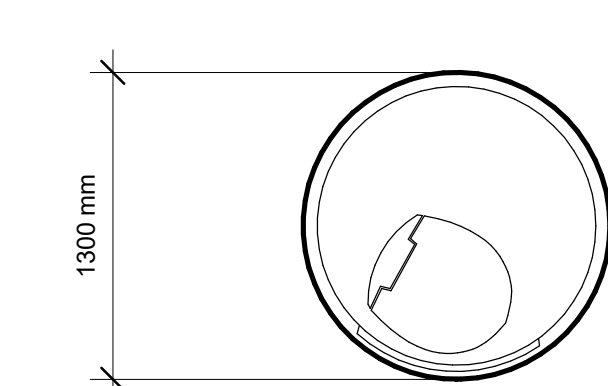
7 DP1.3 ASPHALT DETAIL
1" = 1'-0"



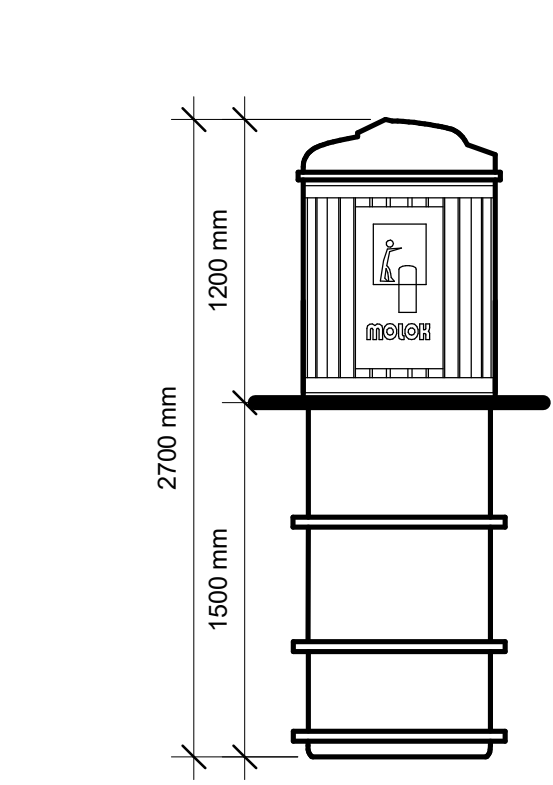
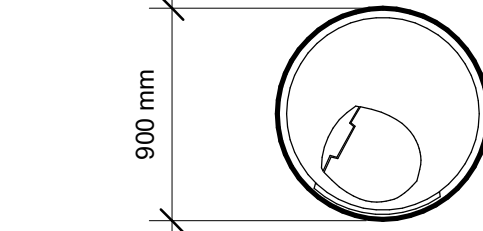
8 DP1.3 BARRIER FREE SIGN
3/8" = 1'-0"



5 DP1.3 Molok Detail - M-5000
3/8" = 1'-0"



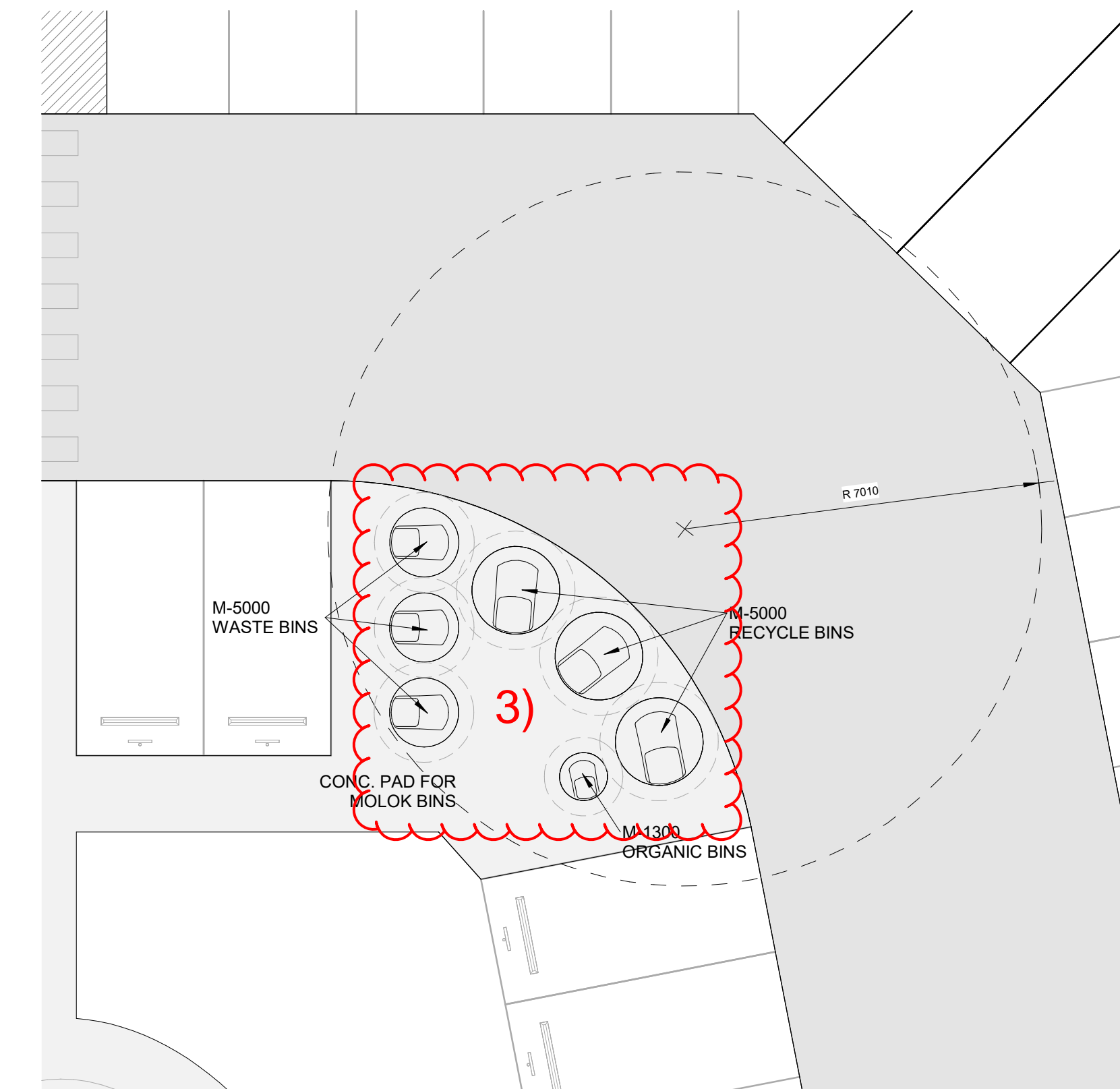
13 DP1.3 Molok Detail - M-3000
3/8" = 1'-0"



6 DP1.3 Molok Detail - M-1300
3/8" = 1'-0"



1 DP1.3 Waste Collection North
1 : 100



2 DP1.3 Waste Collection South
1 : 100

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SITE DETAILS

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DP1.3



1. NORTH WEST CORNER



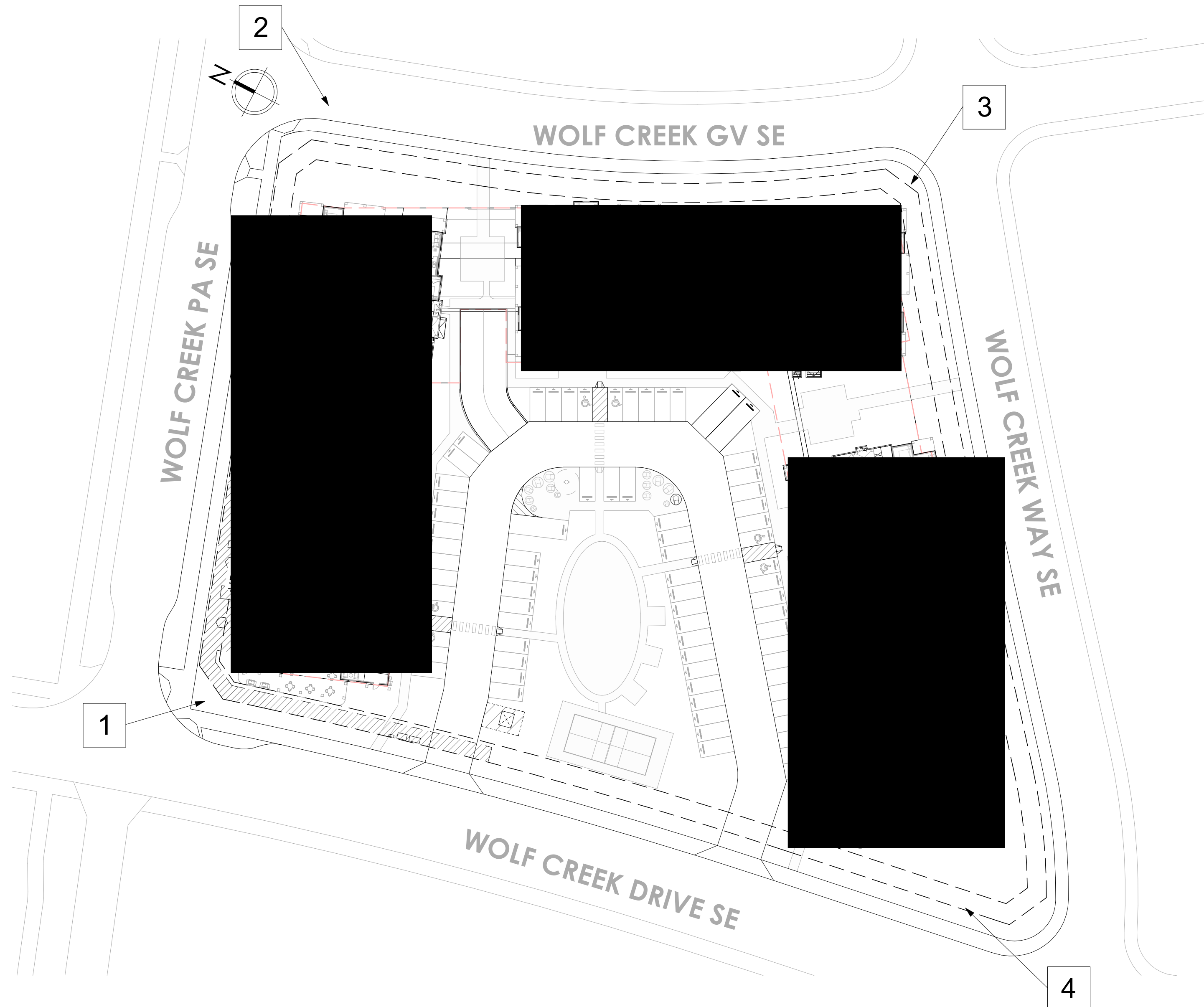
2. NORTH EAST CORNER



3. SOUTH EAST CORNER



4. SOUTH WEST CORNER



1 Site Context
DP1.4 1 : 500

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SCALE AS NOTED	DP1.4	

WOLF CREEK PA SE

WOLF CREEK GV SE

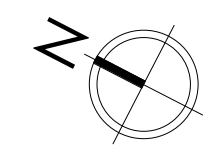
WOLF CREEK WAY SE

WOLF CREEK DRIVE SE

BUILDING 1000
76 UNITS
4 STOREY

BUILDING 2000
60 UNITS
4 STOREY

BUILDING 3000
60 UNITS
4 STOREY



GENERAL NOTES
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REVISIONS

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2025-05-12	ISSUED FOR DP
2	2025-08-01	DTR #1
4	2025-08-23	DTR #2
5	2025-10-22	PTR #1
6	2026-02-13	REVISED DP SUBMISSION

FIRE ACCESS ROUTE
ON-SITE FIRE TRUCK ACCESS AND/OR ROUTES (INCLUDING ANY BELOW GRADE STRUCTURES UNDER THE FIRE ACCESS ROUTES) SHALL BE DESIGNED TO SUPPORT A 38,556KG/85,000 LBS LOAD AND THE NFPA 1901 POINT LOAD OF 517KPA (75 PSI) OVER A 24 INCH X 24 INCH AREA (WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE), TO BE MAINTAINED CLEAR OF ICE AND SNOW.

PERMIT TO PRACTICE

STAMP

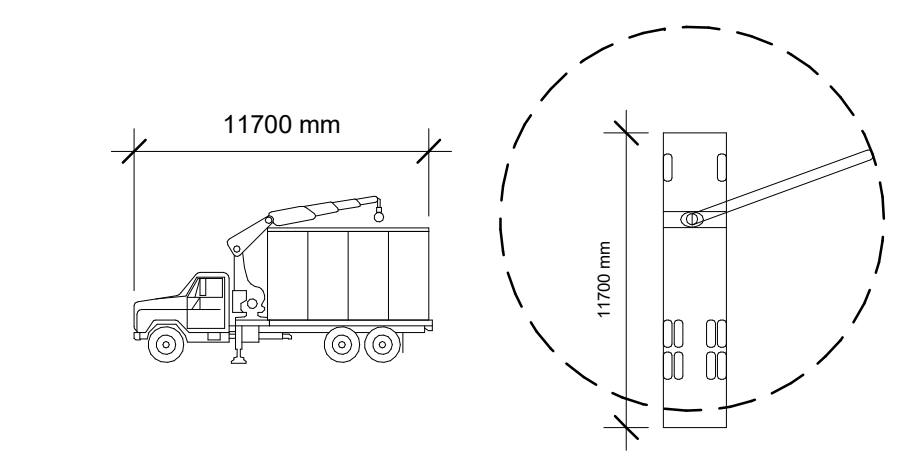
ARCHITECT
casola koppe
ARCHITECTS
#500 - 396 11 av SW , calgary, alberta T2R 0C5
(403) 287-9960 info@ckarch.ca

PROJECT NAME AND ADDRESS
WOLF WILLOW PARK
418 Wolf Creek Drive SE
LOT 1 BLOCK 45 PLAN 071 2785

DRAWING
VEHICLE SWEEP PATHS

DRAWN BY KS	JOB NO. 2502	Building Permit #
CHECKED BY SV	ISSUE DATE (yy/mm)	SHEET
	2025/09	
SCALE AS NOTED	DP1.5	

1
DP1.5
Vehicle Sweep Paths
1 : 250



2
DP1.5
Waste Collection Vehicle (SU-9)
1 : 300

LEGEND
■ WASTE AND LOADING VEHICLE ACCESS ROUTE
■ FIRE TRUCK ACCESS ROUTE



2 SOUTH
1" = 10'-0"



1 WEST
1" = 10'-0"

Keynotes	
1	WOOD LAP SIDING
2	FIBRE-CEMENT SIDING - HARDIE (IRON GREY)
3	FIBRE-CEMENT BATTEN (FLAT)(1x6) - HARDIE (IRON GREY)
5	FIBRE-CEMENT SIDING - HARDIE (ARCTIC WHITE)
7	BLACK METAL RAILINGS
8	PREFINISHED ALUMINUM GUTTER
9	ROOF - ASPHALT SHINGLES
10	BUILT UP COLUMN - FIBRE CEMENT BOARD (ARCTIC WHITE)
11	PATIO/BALCONY - SLIDING DOOR C/W GLAZING (BLACK)
12	BUILDING ENTRY - DOUBLE DOOR C/W GLAZING (BLACK)
13	VINYL WINDOWS (BLACK)
14	BUILDING ADDRESS
15	10" FASCIA (BLACK)
18	STAIR EXIT DOOR C/W GLAZING (BLACK)
28	SMARTBOARD - FIBRE CEMENT BOARD (ARCTIC WHITE)
30	ARBUTIS STONE
31	GLASS PANEL HANDRAIL
32	FIBRE-CEMENT SIDING - PARTITION (ARCTIC WHITE)

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REVISIONS

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4	2026-02-13	REVISED DP SUBMISSION

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PROJECT NAME AND ADDRESS
BUILDING 1000

DRAWING
ELEVATIONS

DRAWN BY KS	JOB NO. 2502	Building Permit #
CHECKED BY SV	ISSUE DATE (yy/mm)	2025/09
SCALE AS NOTED	DP3.1	



3 NORTH
1" = 10'-0"



1 EAST
1" = 10'-0"

Keynotes	
1	WOOD LAP SIDING
2	FIBRE-CEMENT SIDING - HARDIE (IRON GREY)
3	FIBRE-CEMENT BATTEN (FLAT)(1x6) - HARDIE (IRON GREY)
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PERMIT TO PRACTICE

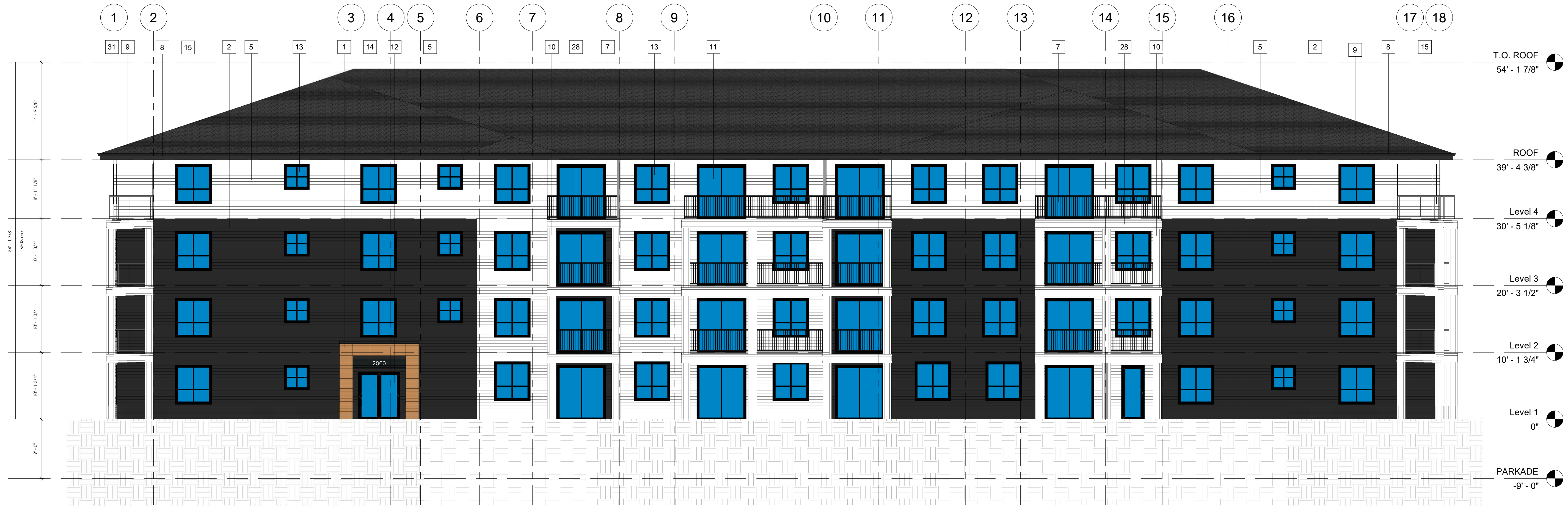
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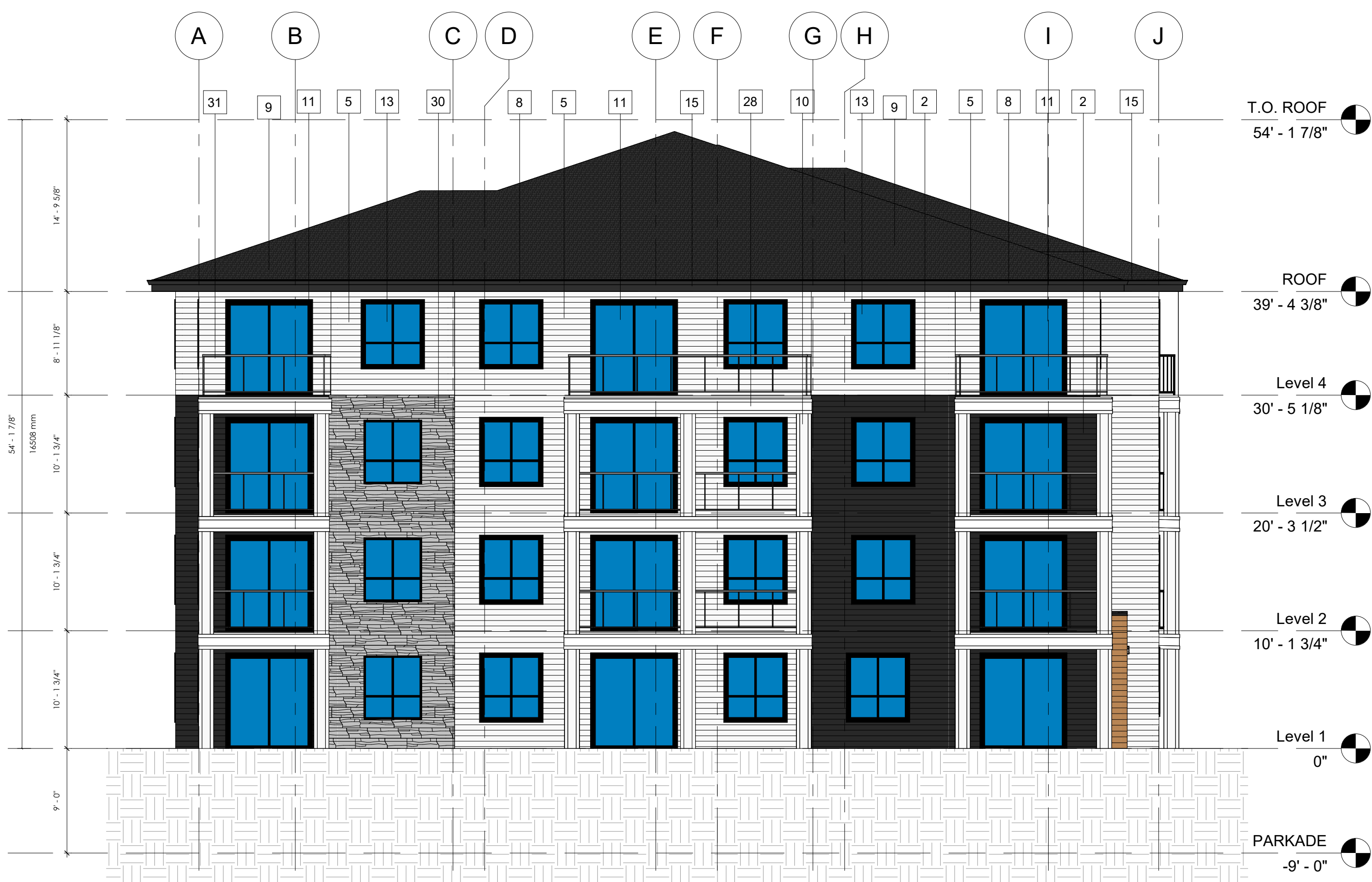
PROJECT NAME AND ADDRESS
BUILDING 1000

DRAWING
ELEVATIONS

DRAWN BY KS	JOB NO. 2502	Building Permit #
CHECKED BY SV	ISSUE DATE (yy/mm)	SHEET
	2025/09	
SCALE AS NOTED	DP3.2	



2 WEST (2000) NORTH (3000)
1/8" = 1'-0"



1 NORTH (2000) EAST (3000)
1/8" = 1'-0"

Keynotes	
1	WOOD LAP SIDING
2	FIBRE-CEMENT SIDING - HARDIE (IRON GREY)
5	FIBRE-CEMENT SIDING - HARDIE (ARCTIC WHITE)
7	BLACK METAL RAILINGS
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4	2026-02-13	REVISED DP SUBMISSION

PERMIT TO PRACTICE

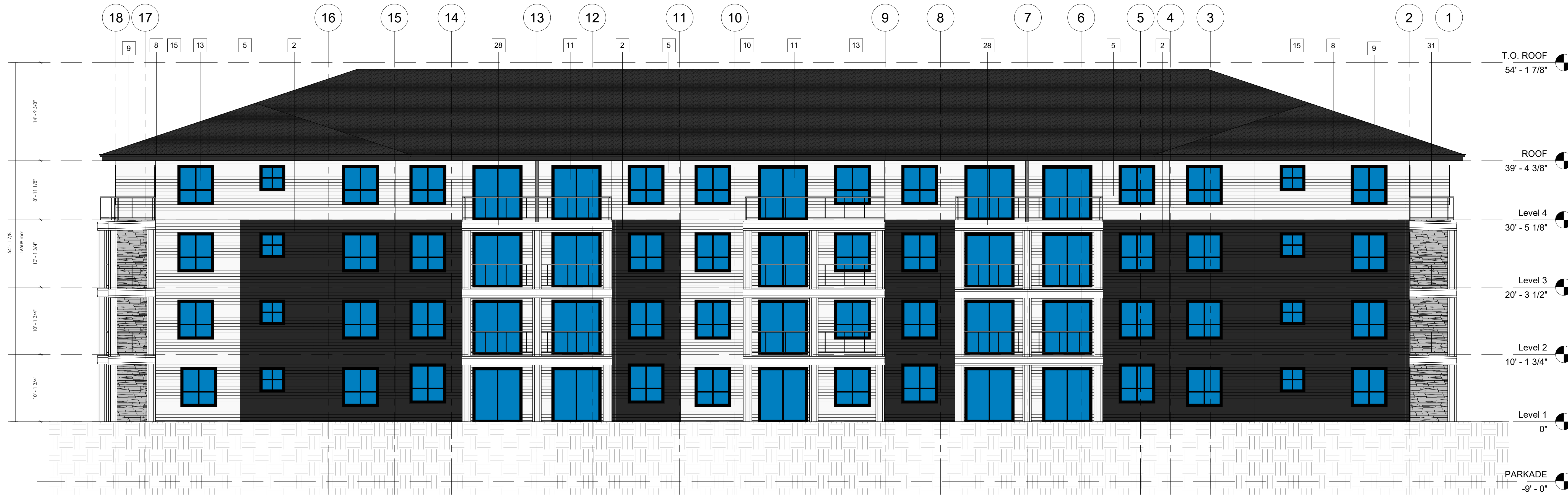
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PROJECT NAME AND ADDRESS
BUILDING 2000 & 3000

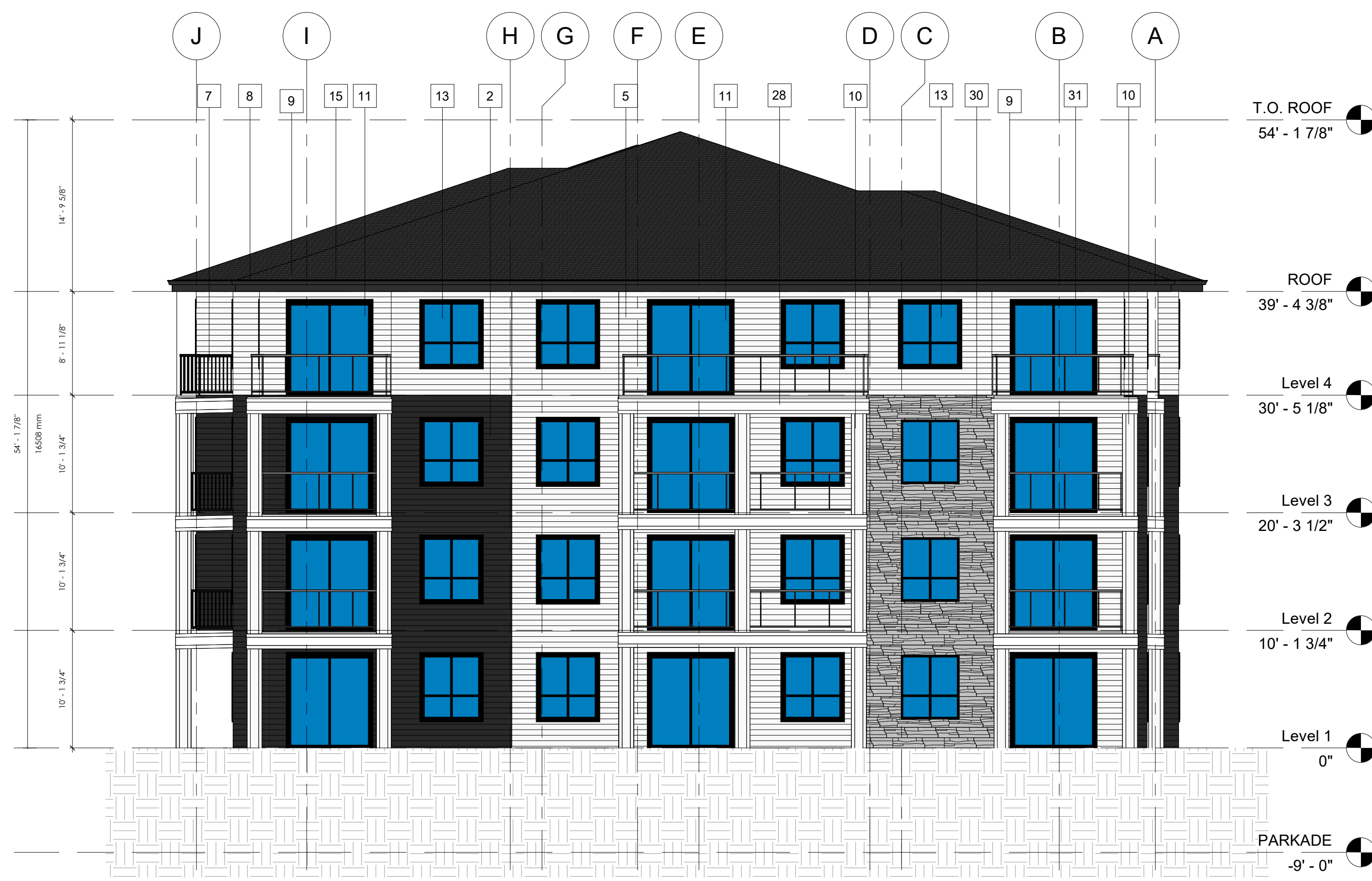
DRAWING
ELEVATIONS

DRAWN BY KS	JOB NO. 2502	Building Permit #
CHECKED BY SV	ISSUE DATE (yy/mm) 2025/05	SHEET
SCALE AS NOTED		DP3.3



EAST (2000) SOUTH (3000)

1/8" = 1'-0"



SOUTH (2000) WEST (3000)

1/8" = 1'-0"

Keynotes	
1	WOOD LAP SIDING
2	FIBRE-CEMENT SIDING - HARDIE (IRON GREY)
5	FIBRE-CEMENT SIDING - HARDIE (ARCTIC WHITE)
7	BLACK METAL RAILINGS
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PERMIT TO PRACTICE

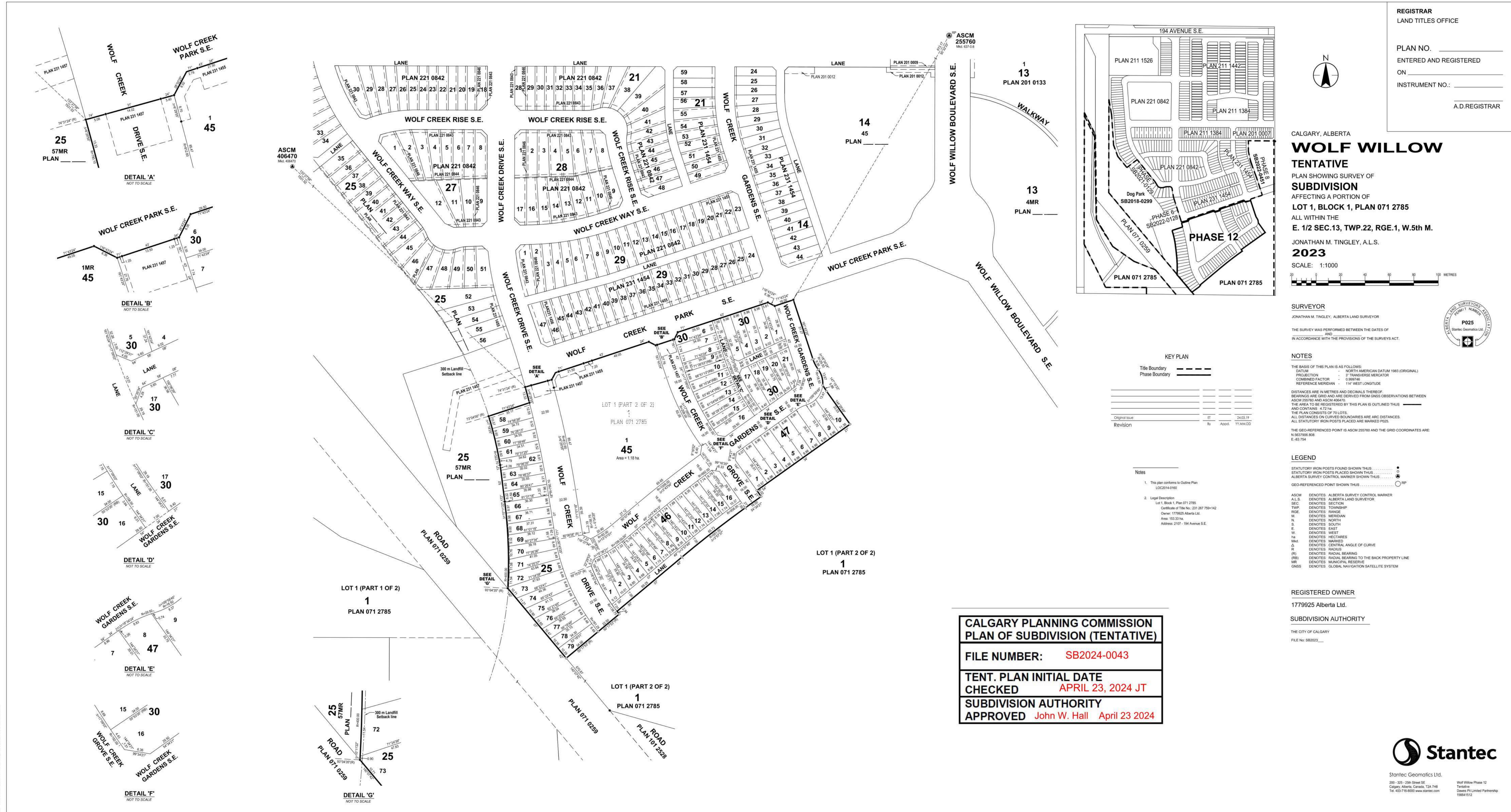
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PROJECT NAME AND ADDRESS
BUILDING 2000 & 3000

DRAWING
ELEVATIONS

DRAWN BY KS	JOB NO. 2502	Building Permit #
CHECKED BY SV	ISSUE DATE (yy/mm) 2025/05	SHEET
SCALE AS NOTED		DP3.4



CALGARY PLANNING COMMISSION
PLAN OF SUBDIVISION (TENTATIVE)

FILE NUMBER: SB2024-0043

TENT. PLAN INITIAL DATE CHECKED APRIL 23, 2024 JT

SUBDIVISION AUTHORITY APPROVED John W. Hall April 23 2024

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4	2025-08-23	DTR #2	
5	2025-10-22	PTR #1	
6	2026-02-13	REVISED DP SUBMISSION	

PROJECT NAME AND ADDRESS
WOLF WILLOW PARK
418 Wolf Creek Drive SE
LOT 1 BLOCK 45 PLAN 071 2785

DRAWING
SITE SURVEY

DRAWN BY SV	JOB NO. 2502	Building Permit #
CHECKED BY TC		SHEET
ISSUE DATE (yy/mm)		
SCALE		
AS NOTED		

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Stantec
Stantec Geomatics Ltd.
200, 100, 10th Street SE
Calgary, Alberta, Canada, T2A 7H8
Tel: 403-778-8800 www.stantec.com

Wolf Willow Phase 12
Township of Calgary
Division of Landmark Partnerships
15864512

S-1

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- This drawings have been drawn to scale as indicated in the titleblock and viewpoints. Do not scale drawings. Due to printing and reproduction scale may vary slightly. Written dimensions rule over scaled dimensions. Contractors to verify all dimensions, datum, elevations and grading on site prior to commencing work. Report any discrepancies immediately.
- Any variations and design changes to the information shown on these drawings must not be carried out without written authorization from Arquecos Group Ltd. the Project Owner or the Owner's Representative.
- Any references made to the location of all existing and proposed utilities, including URW must be verified on site prior to commencing work. Report any and all conflicts identified immediately.
- Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards. Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

Irrigation Notes

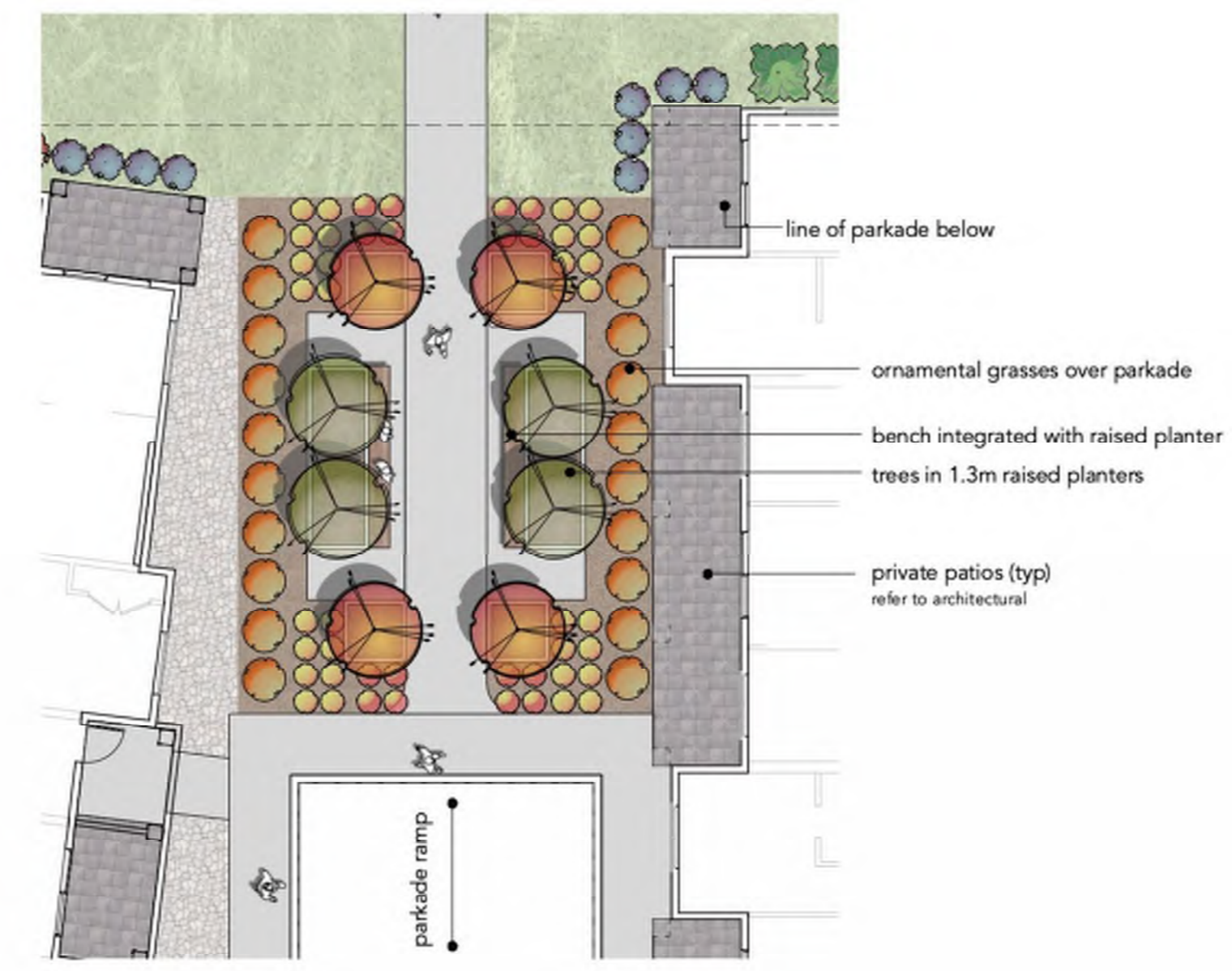
- All landscape areas shall be watered by an automatic, low water use, underground irrigation system as per municipal standards. Water delivery is to be confined to trees and shrubs.
- Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. If possible, connect to existing irrigation system. Ensure power and water meters are properly installed and operating prior to utilization of the system.



- Trees**
- Dakota Pinnacle Birch
 - Schubert Chokecherry
 - Dropmore Linden
 - Green Wall Flowering Crab
 - Ivory Silk Japanese Tree Lilac
 - Red Rocket Red Maple
 - Columnar Spruce
 - Scotch Pine
- Shrubs**
- Alpine Currant
 - Siberian Coral Dogwood
 - Dwarf Mugo Pine
 - Little Devil Ninebark
 - Potentilla
 - Wild Rose
 - Arcadia Juniper
- Grasses**
- Flame Grass
 - Foerster's Feather Reed Grass
 - Prairie Fire Red Switch Grass
- Softscape**
- Wood Mulch
 - Rock Mulch
 - Drought tolerant sod over 300mm of topsoil
- Hardscape**
- concrete sidewalks



1 central amenity area
 Scale: 1:150



2 NE Plaza
 Scale: 1:150



3 SE Plaza
 Scale: 1:150

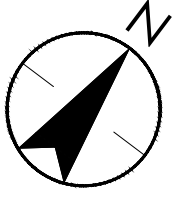
6	development permit revision	26.02.03
4	development permit PTR	25.09.25
3	development permit DR	25.08.25
2	development permit DR	25.07.30
1	development permit	25.05.08
Issued for:		Date: yy.mm.dd

Project No. 18-010
 Project Title: **Wolf Willow park**
 Calgary, A.B.

Drawing Title: **Landscape Details**

Drawn by: cmp
 Checked by: cmp
 Drawing No. **L-2**

Scale: 1:150



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REVISIONS

Number	Date (yy/mm/dd)	Description
1	2025-05-12	SUBMITTED FOR DP
2	2025-07-31	SUBMITTED FOR DR RESPONSE
3	2026-02-05	RE-SUBMITTED FOR DP

- NOTES:
- ALL PLANS SUBJECT TO TERMS OF THE DEVELOPMENT PERMIT.
 - ALL WORK TO CONFORM TO CURRENT EDITION CITY OF CALGARY STANDARDS AND TECHNICAL SPECIFICATIONS FOR SEWERS, WATERWORKS, AND ROAD CONSTRUCTION.
 - CONTRACTOR TO CONFIRM AND PROTECT LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - TOP AND BOTTOM OF RETAINING WALL GRADES SHOWN ON THIS PLAN REPRESENT THE FINISHED GRADE AT THE WALL. THIS DRAWING IS INTENDED ONLY TO PROVIDE INFORMATION IN REGARDS TO THE GRADE DIFFERENCE AT THE WALL LOCATION, AND DOES NOT PROVIDE ALL REQUIRED INSTALLATION INFORMATION. REFER TO THE RETAINING WALL CONSTRUCTION DETAILS DRAWINGS (i.e. STRUCTURAL, GEOTECHNICAL OR LANDSCAPE PLANS) FOR TOTAL WALL HEIGHTS, FOUNDATION DETAILS AND FURTHER INSTALLATION REQUIREMENTS.
 - SULPHATE RESISTANT CONCRETE (TYPE 50) MAY BE REQUIRED FOR CONCRETE WORK, AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM PRIOR TO STARTING WORK.

LEGEND

	CONSTRUCTION BOUNDARY
	PROPERTY LINE
	UNDERGROUND PARKADE
	EXISTING UNDERGROUND POWER LINE
	EXISTING STREETLIGHT
	EXISTING STORM CATCH BASIN
	PROPOSED HYDRANT
	EXISTING GRADE
	PROPOSED FINISHED GRADE
	EXISTING GRADE SLOPE
	PROPOSED FINISHED GRADE SLOPE
	RETAINING WALL
	EXISTING UTILITY OF WAY
	PROPOSED UTILITY OF WAY

File Path: U:\116536070\drawing\sheet_files\cad\eng\116536070C-SF.dwg
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1
 C1.1
Grading Plan
 1 : 300



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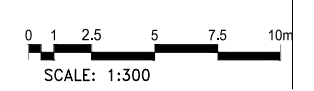
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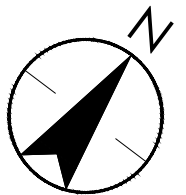
BRAD REMINGTON HOMES
Multi-family Excellence

PROJECT NAME AND ADDRESS
WOLF WILLOW PARK
 418 WOLF CREEK DR SE
 CALGARY, ALBERTA
 LOT 1 BLOCK 45 SECTION 13 T22 R1 W5M

DRAWING
SURFACE GRADING PLAN

DRAWN BY KO	JOB NO. 36070	Building Permit #
CHECKED BY JC	ISSUE DATE (yy/mm) 2026/02	SHEET
SCALE 1:300	C1.1	





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3	2026-02-05	RE-SUBMITTED FOR DP

LEGEND

	CONSTRUCTION BOUNDARY
	PROPERTY LINE
	UNDERGROUND PARKADE
	EXISTING UNDERGROUND POWER LINE
	EXISTING STREETLIGHT
	EXISTING SANITARY SEWER & TYPE SA MANHOLE
	PROPOSED SANITARY SEWER & TYPE SA MANHOLE
	EXISTING STORM SEWER & TYPE IS MANHOLE
	PROPOSED STORM SEWER & TYPE SA MANHOLE
	EXISTING STORM CATCH BASIN
	PROPOSED STORM GRATED TOP MANHOLE
	PROPOSED WATER CHECK VALVE
	DEEP UTILITY CROSSING
	PROPOSED WATER METER
	EXISTING WATERLINE & VALVE
	PROPOSED WATERLINE & VALVE
	EXISTING WATERLINE & REDUCER
	PROPOSED WATERLINE & REDUCER
	EX HYDRANT
	PROPOSED HYDRANT
	EXISTING WATER TEE
	PROPOSED WATER TEE
	EXISTING UTILITY OF WAY
	PROPOSED UTILITY OF WAY

PERMIT TO PRACTICE
 STAMP

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 #300 - 1410 1st street sw, calgary, alberta T2R 0V8
 bus (403) 287-9960 fax (403) 287-9962 info@ckarch.ca

BRAD REMINGTON HOMES
Multi-Family Excellence

PROJECT NAME AND ADDRESS
WOLF WILLOW PARK
 418 WOLF CREEK DR SE
 CALGARY, ALBERTA
 LOT 1 BLOCK 45 SECTION 13 T22 R1 W5M

DRAWING
**UNDERGROUND UTILITY
 SERVICING PLAN**

DRAWN BY KO	JCB NO. 36070	Building Permit #
CHECKED BY JC	ISSUE DATE (yy/mm) 2026/02	SHEET
SCALE 1:400	C1.2	

DEEP UTILITY CROSSINGS TABLE

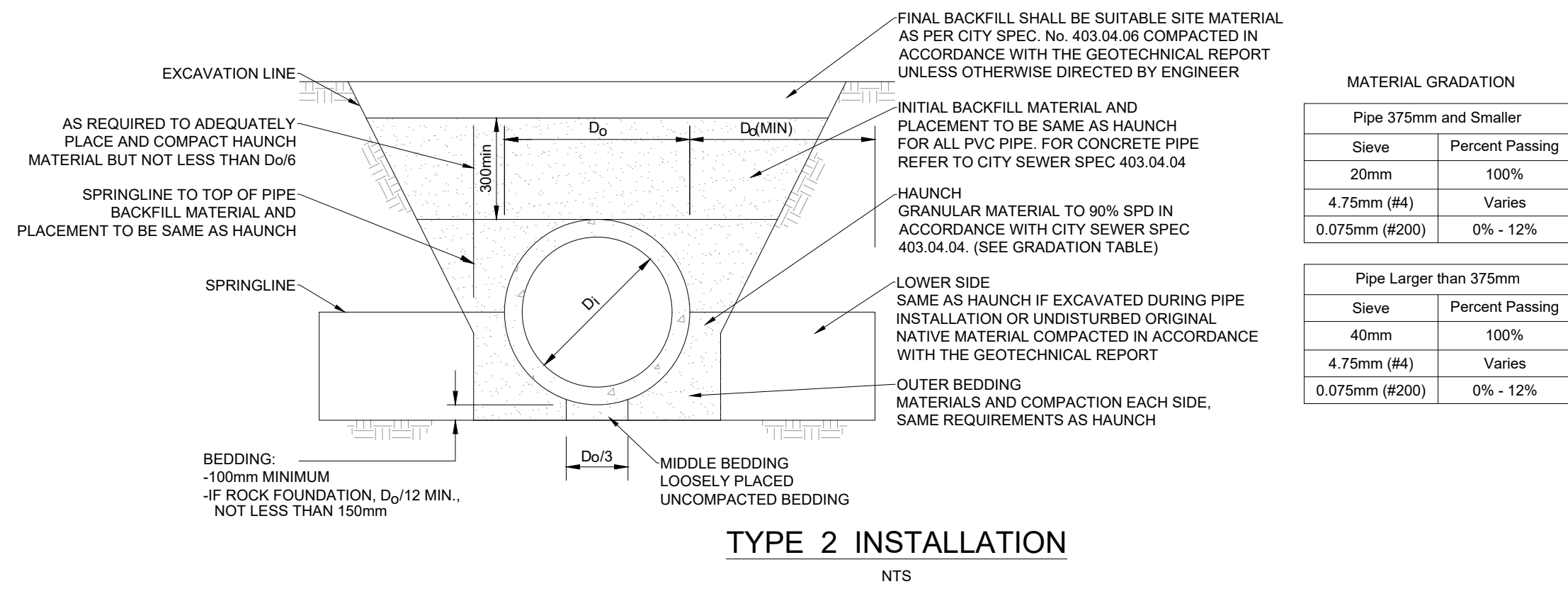
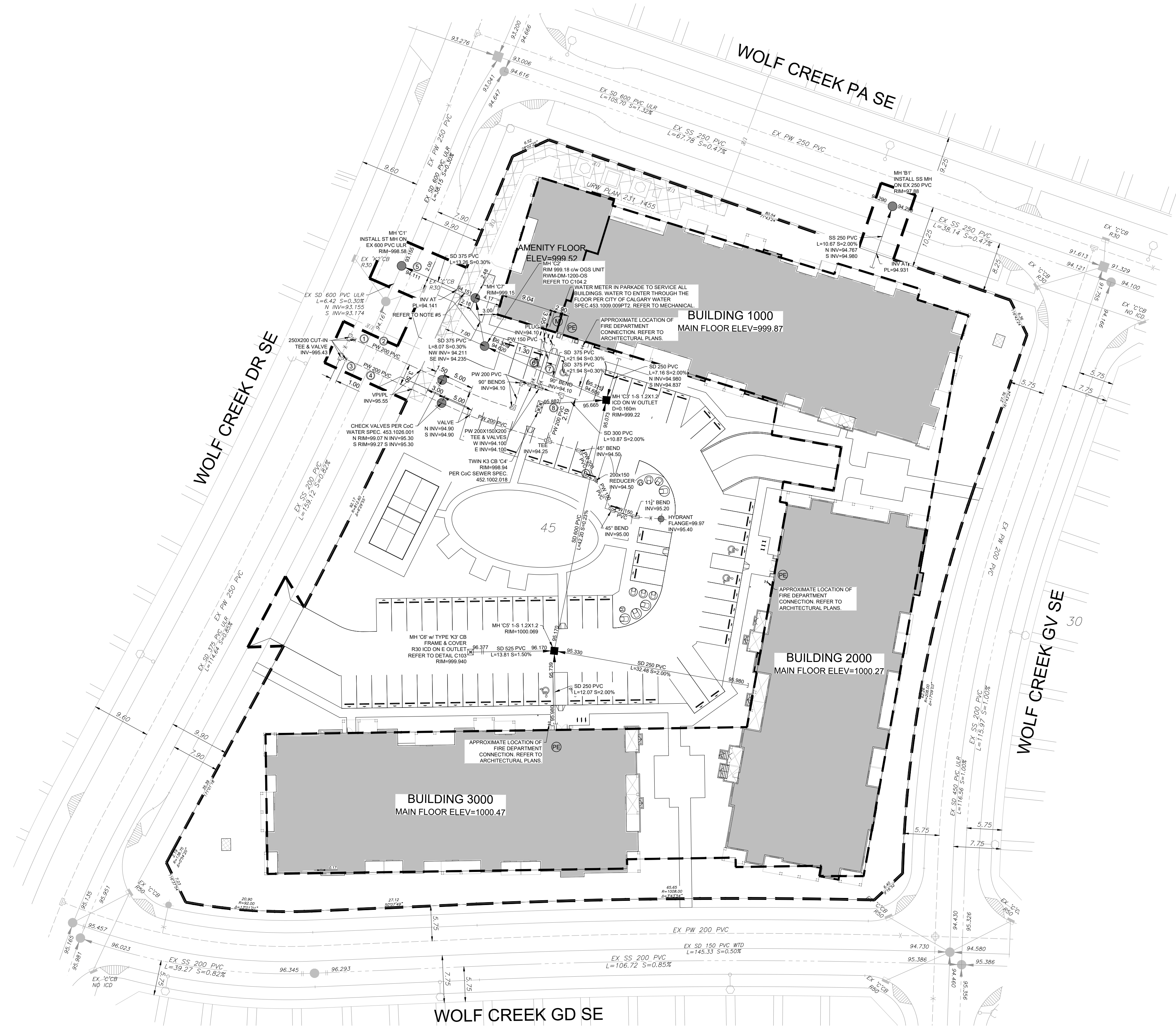
CROSSING NUMBER	BOTTOM OF TOP UTILITY	TOP OF BOTTOM UTILITY	DIFFERENCE
1	W 200 PVC 95.450	EX SD 375 PVC 94.600	0.85
2**	W 200 PVC 95.550	EX SS 200 95.261	0.29
3	W 200 PVC 95.450	EX SD 375 PVC 94.632	0.82
4**	W 200 PVC 95.550	EX SS 200 PVC 95.289	0.26
5	EX SS 200 PVC 95.194	SD 375 PVC 94.559	0.64
6	SD 375 PVC 94.648	W 150 PVC 94.250	0.40
7	SD 375 PVC 94.652	W 150 PVC 94.250	0.40
8	SD 300 PVC 95.809	W 200 PVC 94.350	1.46
9	SD 400 PVC 95.083	W 200 PVC 94.700	0.38

** PIPE SUPPORT AT UTILITY CROSSING NUMBER 2 AND 4, AS PER CITY OF CALGARY WATER SPEC.453.1003.005

- NOTES:**
- ALL PLANS SUBJECT TO TERMS OF THE DEVELOPMENT PERMIT.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NOTIFICATION TO THE AUTHORITIES HAVING JURISDICTION AND OBTAINING ALL PERMITS RELEVANT TO COMPLETE THE SCOPE OF WORK INDICATED ON THE DRAWINGS.
 - ALL WORK TO CONFORM TO CURRENT EDITION CITY OF CALGARY STANDARDS AND TECHNICAL SPECIFICATIONS FOR SEWERS, WATERWORKS, AND ROAD CONSTRUCTION.
 - CONTRACTOR TO CONFIRM AND PROTECT LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - WHERE SERVICE CONNECTIONS CROSS SHALLOW UTILITY RIGHT OF WAYS, THE CONTRACTOR SHALL HAND EXPOSE THE EXISTING SHALLOW UTILITIES AND PROVIDE THE EXISTING ELEVATION TO THE ENGINEER. 1m VERTICAL CLEARANCE IS REQUIRED BETWEEN DEEP AND SHALLOW UTILITIES.
 - MATERIALS LISTED AS APPROVED IN THE LATEST CITY OF CALGARY SPECIFICATIONS ARE PERMISSIBLE FOR USE.
 - ALL CONCRETE STORM SEWER TO BE ASTM C76 RG SRC.
 - ALL SANITARY AND STORM MANHOLES TO BE SRC.
 - ALL PIPE TO BE BEDDED WITH CLASS II EMBEDMENT TYPE II INSTALLATION 20mm MAX FOR S375 PIPE, 40mm MAX FOR >375 PIPE MATERIAL.
 - MINIMUM COVER FOR ALL WATERMAINS IS 3.0m TO CROWN UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
 - ALL COMPACTION TO BE 98% STANDARD PROCTOR DENSITY AT OPTIMUM TO ±3% OF OPTIMUM MOISTURE CONTENT.
 - SHALLOW UTILITY INFORMATION SHOWN IS FOR CITY OF CALGARY DEVELOPMENT SITE SERVICING PLAN APPROVAL PROCESS ONLY.
 - REFER TO SHALLOW UTILITY DRAWINGS FOR ALL DETAILS REGARDING ELECTRICAL, TELEPHONE, CABLE TV, GAS, AND SITE LIGHTING. DO NOT USE THIS DRAWING AS REFERENCE FOR ANY SHALLOW UTILITY SURVEY.
 - PLASTIC PLUGS REQUIRED IN ALL SANITARY MANHOLES WITHIN TRAPWAYS.
 - EXISTING UTILITY INFORMATION FROM THE WOLF WILLOW PHASE 12 BLOCK PROFILES. STANTEC DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.
 - TRUNCATED INVERTS AND CROSSINGS ARE ADDITIVE TO DATUM ELEVATION 900.00m UNLESS NOTED OTHERWISE.
 - NO CORRECTION MADE FOR CONSTRUCTION AND DATUM ERROR.
 - ALL VALVES, CAST IRON FITTINGS & COUPLINGS REQUIRE A 2.3KG ZINC ANODE. ALL HYDRANTS REQUIRE A 5.4KG ZINC ANODE.
 - ALL HYDRANTS TO BE SAND BLASTED & EPOXY COATED.
 - HYDRANT PUMPER PORTS TO FACE ROADWAY.
 - ALL WATER VALVE RODS SHALL BE ONE CONTINUOUS LENGTH FROM THE TOP NUT TO SURFACE.
 - PROVIDE MIN 2% SLOPE FOR CB LEADS.
 - CO'S ARE PERMANENT INFRASTRUCTURE AND CANNOT BE REMOVED AS PER CITY OF CALGARY DRAINAGE BYLAW 37M2005.
 - THE HYDRAULIC GRADE LINE OF THE STORM SYSTEM IS AT AN ELEVATION OF 999.04m. ALL MECHANICAL SYSTEMS MUST BE DESIGNED TO MEET THIS CONDITION AND MAINTAIN OPERATION WHILE THE SYSTEM IS SURCHARGED.
 - OGS UNIT TO BE 1.2m PER DRAWING C104.2. THE OGS UNIT IS TO BE DESIGNED AND CONSTRUCTED TO OPERATE UNDER SURCHARGED CONDITIONS AND ACCOUNT FOR A HYDRAULIC GRADE LINE ELEVATION OF 999.04m.
 - PIPE SUPPORT AT UTILITY CROSSING NUMBER 2 AND 4, AS PER CITY OF CALGARY WATER SPEC.453.1003.005
 - WHERE CURVATURE EXCEEDS THE LIMIT SHOWN BELOW, IN THE HORIZONTAL OR VERTICAL PLANE, ONE OR MORE 5 DEGREE LONG BODY ELBOWS SHALL BE USED.

WATER PIPE THICKNESS

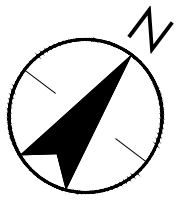
SIZE (mm)	100	150	200	250	300	400
CLASS	DR14	DR18	DR19	DR20	DR21	DR22
MIN RADIUS OF CURVE	46m	73m	91m	NOT ALLOWED	NOT ALLOWED	NOT ALLOWED



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 Plotted: 2/3/2026 4:18 PM By: Jomaa, Kalime

1
 C1.2
Servicing Plan
 1 : 400

SCALE: 1:400



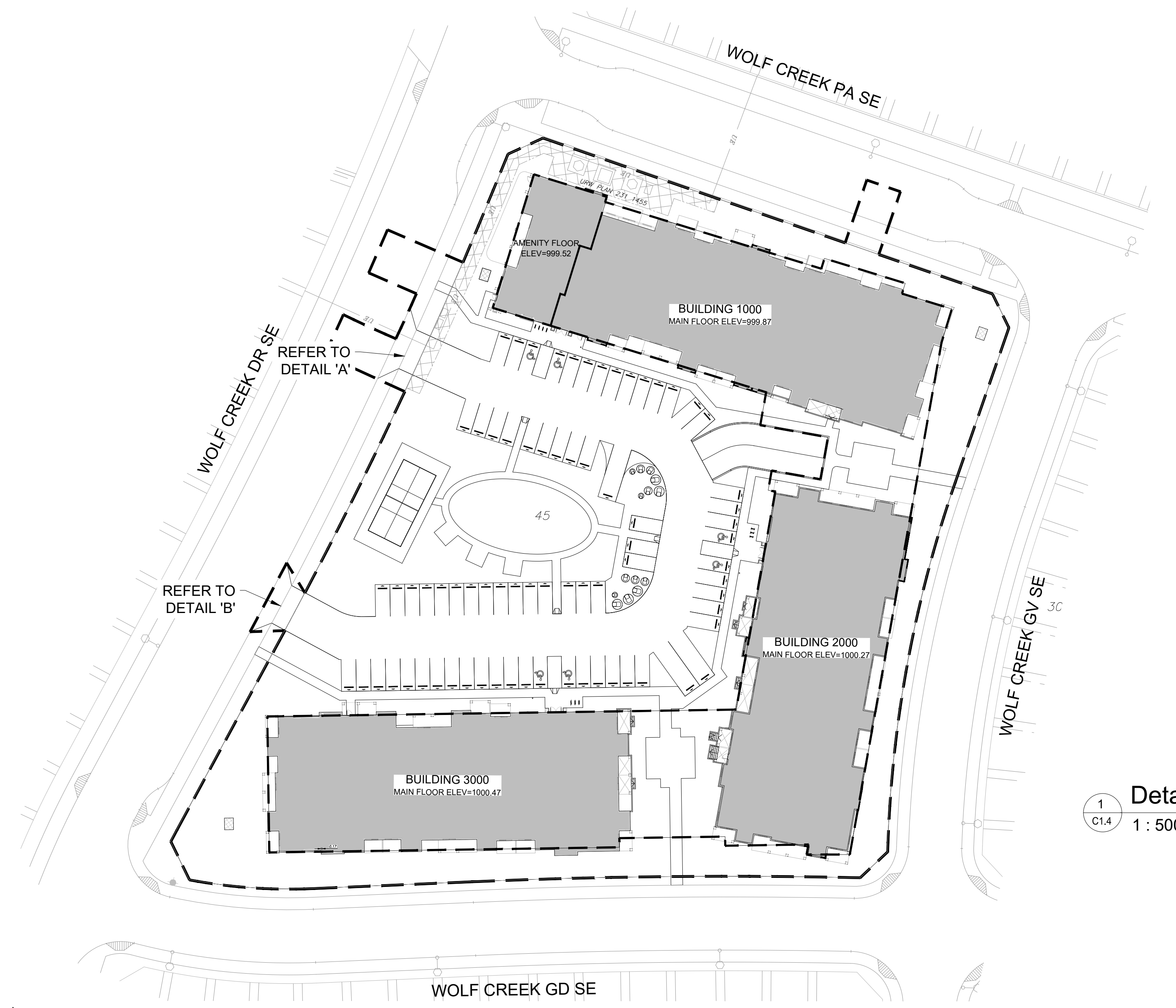
GENERAL NOTES
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REVISIONS

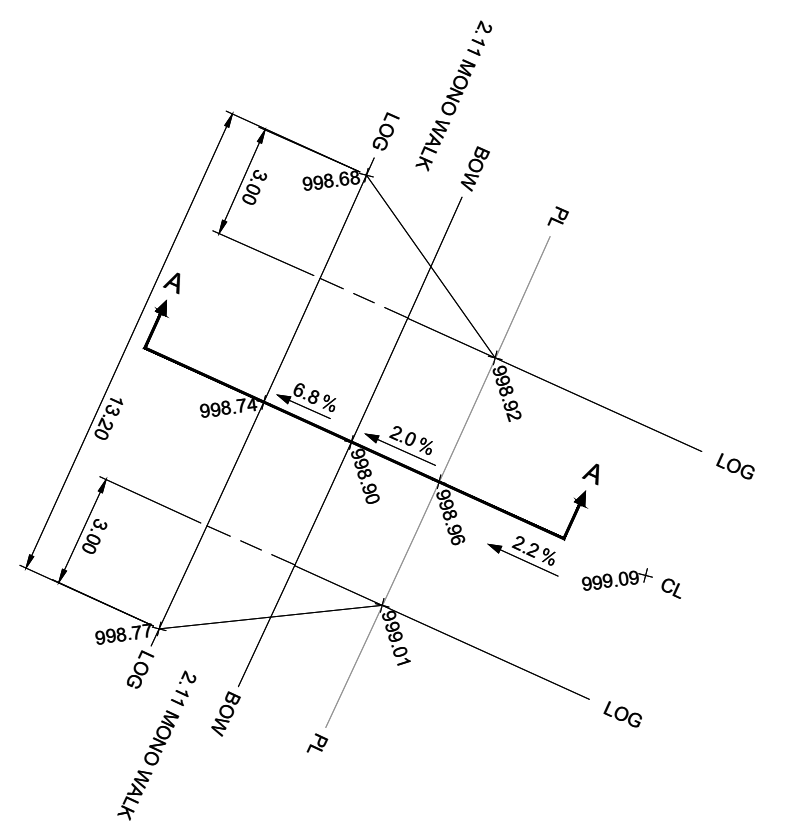
Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	2025-05-12	SUBMITTED FOR DP
2	2025-07-31	SUBMITTED FOR DR RESPONSE
3	2026-02-05	RE-SUBMITTED FOR DP

LEGEND

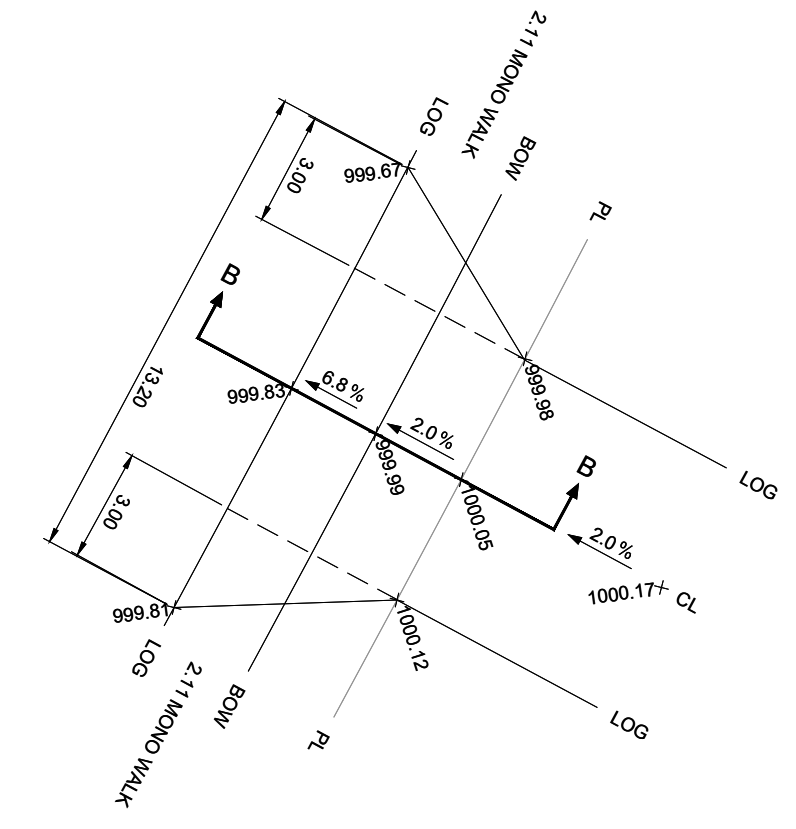
	CONSTRUCTION BOUNDARY
	PROPERTY LINE
	UNDERGROUND PARKADE
	EXISTING UNDERGROUND POWER LINE
	EXISTING STREETLIGHT



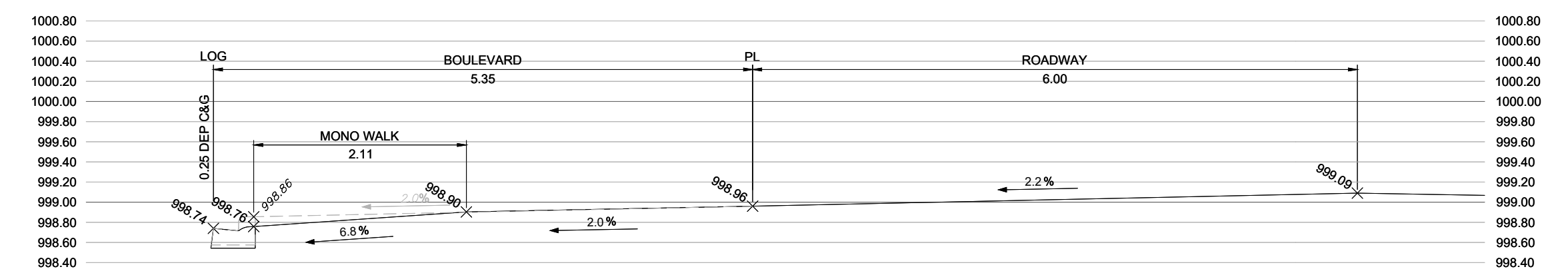
1
 C1.4
Details Plan
 1 : 500



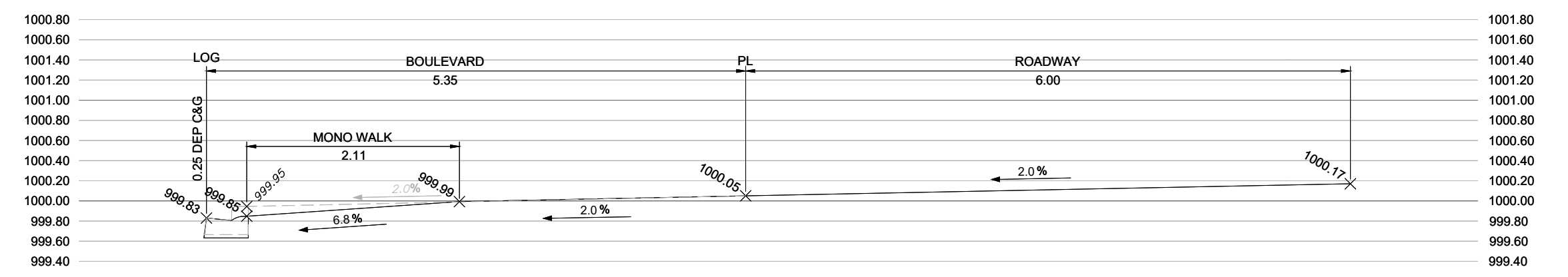
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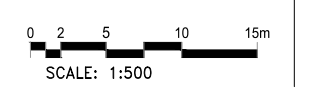
DETAIL 'B'
 SCALE 1:200



SECTION A-A
 SCALE 1:50



SECTION B-B
 SCALE 1:50



PERMIT TO PRACTICE

STAMP

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BRAD REMINGTON HOMES
Multi-Family Excellence

PROJECT NAME AND ADDRESS
WOLF WILLOW PARK
 418 WOLF CREEK DR SE
 CALGARY, ALBERTA
 LOT 1 BLOCK 45 SECTION 13 T22 R1 W5M

DRAWING

DETAILS PLAN

DRAWN BY KO	JOB NO. 36070	Building Permit #
CHECKED BY JC	ISSUE DATE (yy/mm) 2026/02	SHEET
SCALE 1:500		C1.3

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